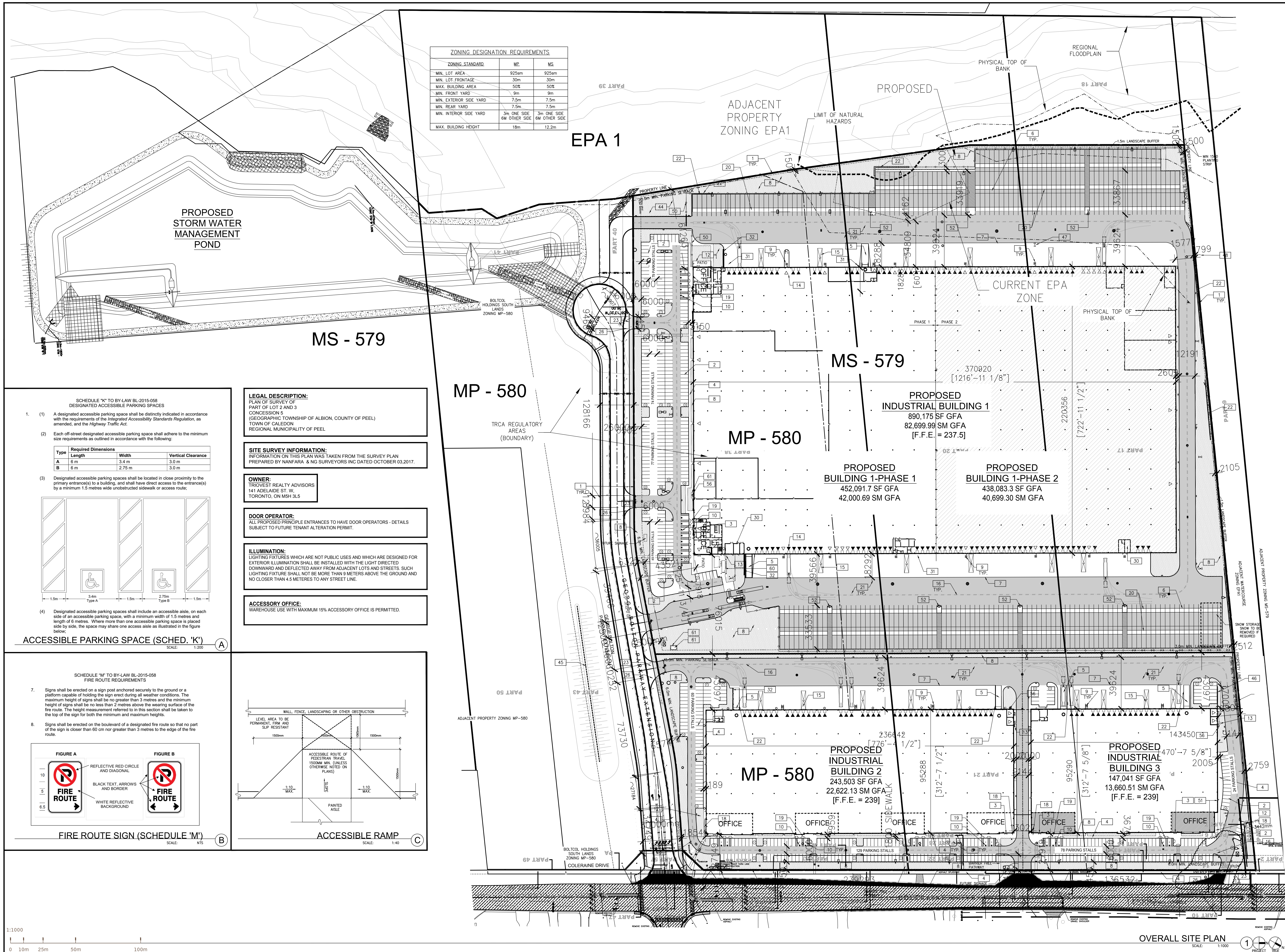




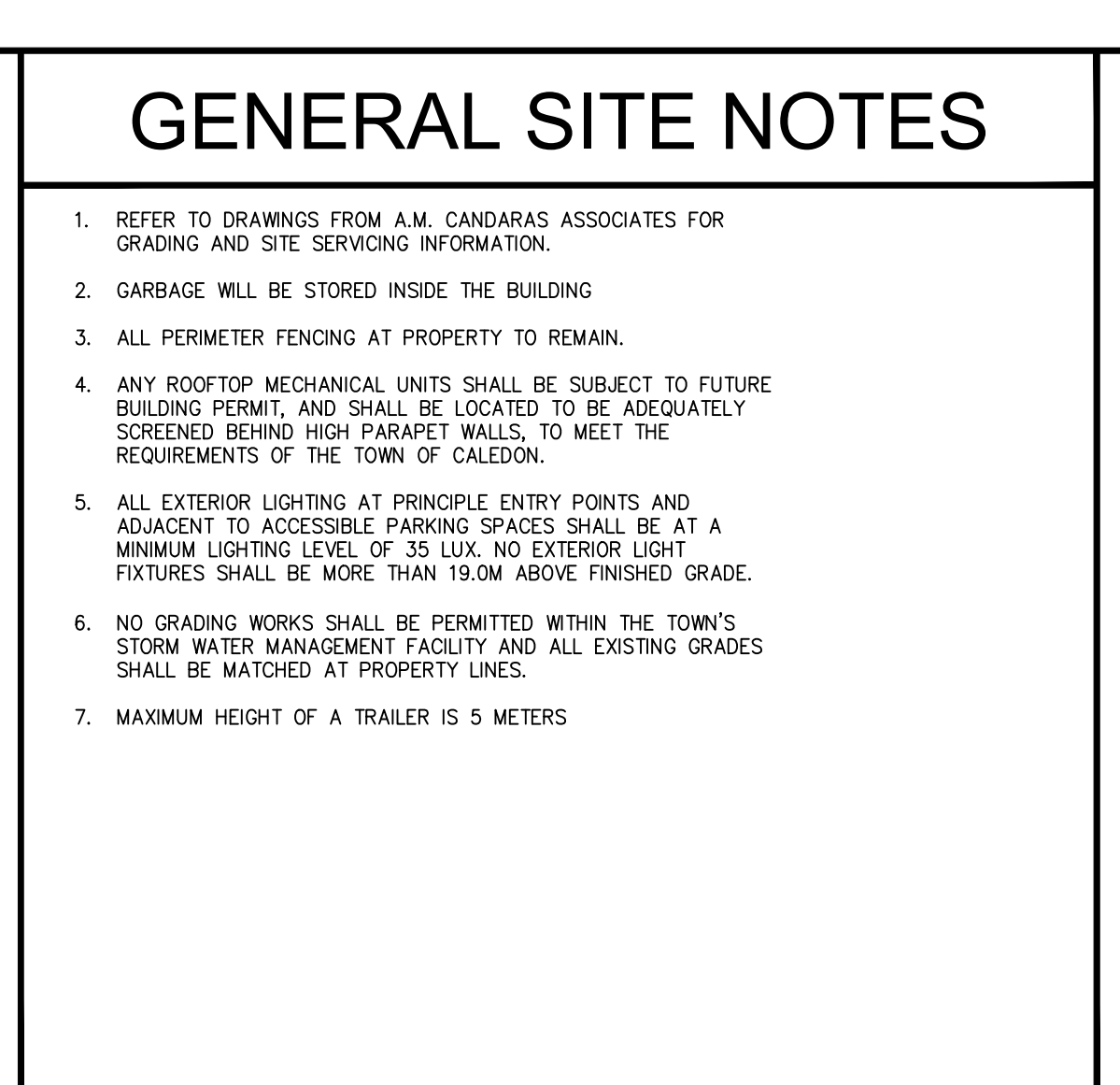
GENERAL NOTES	
1	PROPERTY LINE
2	2700x6000 PARKING STALL, PAINTED PARKING STRIPPING PER CITY STANDARDS.
3	PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
4	1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O.
5	DRIVE-IN RAMP, SEE CIVIL DRAWING FOR SLOPE %
6	3660x16755 (12'x55') TRAILER PARKING STALL TYP.
7	CONCRETE APRON
8	LANDSCAPE AREA - SEE LANDSCAPE DWGS.
9	EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
10	TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPPING PER CITY STANDARDS. EACH PAIR OF SHARED STALLS TO HAVE (1) TYPE A (3400x6000) & (1) TYPE B (2750x6000) STALL C/W A 1.5M PAINTED AISLE - REFER TO SCHEDULE 'K' TOWN OF CALEDON STANDARDS, AND DETAIL A/10.0.
11	1500mm WIDE CURB TYPICAL
12	EMPLOYEE AMENITY AREA - SEE LANDSCAPE DWGS.
13	FIRE DEPARTMENT CONNECTION / SIAMSE
14	TRUCK LOADING DOCK (TYPICAL)
15	LOADING SPACE - L.S. (3.5m W x 14.0m L x 3.5m H)

16	FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED AS PER DETAIL B/A1.0.)
17	15.0M CENTERLINE RADIUS FOR FIRE ROUTE ACCESS
18	LINE OF CANOPY ABOVE
19	ACCESSIBLE RAMP, REFER TO DETAIL C/A1.0. - SEE CIVIL DRAWINGS
20	3.0M WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
21	HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
22	RETAINING WALL - SEE CIVIL & STRUCTURAL DWGS.
23	ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
24	PROPOSED LOCATION OF MECHANICAL ROOM
25	PROPOSED LOCATION OF GAS METER
26	CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
27	PROPOSED LOCATION OF ELECTRICAL ROOM
28	DECORATIVE PAVING - SEE LANDSCAPE DRAWINGS.
29	PRE-FABRICATED GATEHOUSE
30	UTILITY ROOM
31	COMPACTOR LOCATIONS
32	PRECAST LOADING DOCK SCREEN WALLS
33	CONCRETE SIDE WALK, REFER TO LANDSCAPE
34	LINE PAINTED CROSSWALK.

35	RAW SAMPLES
36	FOOD COOLER AREA
37	OPS CENTRE
38	QA CENTRE
39	CO-PACK AREA
40	MINT ROOM / MINT CO-PACK
41	STORAGE MEDIA
42	RAW MATERIAL AREA
43	PACKAGING MATERIAL AREA
44	LANDSCAPED AREA. REFER TO LANDSCAPE DWGS FOR YEARROUND SCREENING
45	FOR SOUND BARRIER AT SOUTH SIDE AT GEORGE BOLTON, REFER TO VALCOUSTICS CANADA LTD. REPORT
46	NOISE MITIGATION MEASURES TO BE REVIEWED UNDER NEW DEVELOPMENT. REFER TO CIVIL DRAWINGS.
47	PRECAST 4.5m HIGH SOUND BARRIER (17 m LENGTH)
48	PIV LOCATION WITH BOLLARDS
49	MINIMUM 1500 PLANTING STRIP
50	FOR THE PURPOSE OF THIS ZONE, THE MAXIMUM BUILDING AREA SHALL BE CALCULATED AS A PERCENTAGE OF THE LOT AREA
51	FENCELINE
52	RAISED TOP OF FOUNDATION WALL. REFER TO CIVIL
53	FIRE HYDRANT LOCATION WITH BOLLARD PROTECTION.
54	BOLLARD PROTECTION
55	CONCRETE EXTERIOR STAIR. REFER TO CIVIL DRAWINGS

56	ENTRANCE FEATURE WALL. REFER TO LANDSCAPE DRAWINGS
57	GAS METER LOCATION
58	PROPOSED FIRE HYDRANT - REFER TO CIVIL DRAWINGS
59	NO SMOKING SIGN AT ALL BUILDING ENTRANCES - REFER TO 2/A1.0
60	BOUNDARY OF AREA WHERE SMOKING IS PROHIBITED
61	GENERATOR
62	CONCRETE PAD FOR GAS METER/REGULATOR - REFER TO REQUIREMENTS FROM ENBRIDGE
63	1500mm DIAMETER CONCRETE FILLED POSTS - REFER TO REQUIREMENTS FROM ENBRIDGE

GENERAL SITE NOTES	
1	REFER TO DRAWINGS FROM A.M. CANDARAS ASSOCIATES FOR GRADING AND SITE SERVING INFORMATION.
2	GARBAGE WILL BE STORED INSIDE THE BUILDING
3	ALL PERMITTER FENCING AT PROPERTY TO REMAIN.
4	ANY ROOFTOP MECHANICAL UNITS SHALL BE SUBJECT TO FUTURE BUILDING PERMIT, AND SHALL BE LOCATED TO BE ADEQUATELY SCREENED BEHIND HIGH PARAPET WALLS, TO MEET THE REQUIREMENTS OF THE TOWN OF CALEDON.
5	ALL EXTERIOR LIGHTING AT PRINCIPLE ENTRY POINTS AND ADJACENT TO ACCESSIBLE PARKING SPACES SHALL BE AT A MINIMUM LIGHTING LEVEL OF 35 LUX. NO EXTERIOR LIGHT FIXTURES SHALL BE MORE THAN 15.0M ABOVE FINISHED GRADE.
6	NO GRADING WORKS SHALL BE PERMITTED WITHIN THE TOWN'S STORM WATER MANAGEMENT FACILITY AND ALL EXISTING GRADES SHALL BE MATCHED AT PROPERTY LINES.
7	MAXIMUM HEIGHT OF A TRAILER IS 5 METERS



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OVERALL SITE PLAN (PHASE 1)	
DATE	06/17/2020
PA/PM	EM
DRAWN BY	EM
JOB NO.	
SHEET	
A1.0.1	
SPA FILE NO.:	SPA-19-44

PROJECT DATA		
ZONING DESIGNATION: EPA1, MS-579, MP-580 SERVICED INDUSTRIAL		
PROPOSED USE: Single Occupancy Warehouse Shel Building		
LANDSCAPE BUFFER (MINIMUM DEPTH)		
- FROM FRONT LOT LINE	6.0m	
- ABUTTING ANY OTHER LOT LINE	6.0m	
SITE AREAS:		
GROSS SITE AREAS		
BUILDING 1	166,885.79 SM	16.69 Ha 41.24 ACRES
BUILDING 2	43,475.56 SM	4.35 Ha 10.75 ACRES
BUILDING 3	23,308.81 SM	2.33 Ha 5.75 ACRES
TOTAL GROSS SITE AREA	237,470.16 SM	23.75 Ha 58.69 ACRES
TOTAL GROSS SITE WITHOUT EPA	232,342.27 SM	23.33 Ha 57.40 ACRES
ROW	15,477.5 SM	1.55 Ha 3.82 ACRES
PAVED AREAS		
BUILDING 1	65,692.08 sm	6.56 Ha 16.37 ACRES
BUILDING 2	12,788.85 sm	1.27 Ha 3.15 ACRES
BUILDING 3	10,450.63 sm	1.04 Ha 2.59 ACRES
TOTAL PAVED AREA	96,254.77 sm	9.69 Ha 23.95 ACRES
LANDSCAPE AREA		
BUILDING 1	18,293.72 sm	1.82 Ha 4.50 ACRES
BUILDING 2	5,064.58 sm	0.51 Ha 1.26 ACRES
BUILDING 3	3,238.67 sm	0.32 Ha 0.79 ACRES
TOTAL LANDSCAPED AREA	26,596.97 sm	2.65 Ha 6.55 ACRES
TRAILER PARKING 3 BUILDING 1	23,935 sm	2.39 Ha 5.91 ACRES
TOTAL GFA		
BUILDING 1	82,699.99 SM	890,175 SF
BUILDING 1 OFFICE <150	212,39 SM	22,845.22 SF
BUILDING 2	27,622.13 SM	294,175 SF
BUILDING 2 OFFICE <150	27,622.13 SM	294,175 SF
BUILDING 3	22,622.13 SM	243,502 SF
BUILDING 3 OFFICE <150	22,622.13 SM	243,502 SF
TOTAL	13,660.51 SM	147,041 SF
TOTAL GFA	118,982.63 SM	1,280,718 SF
LOT COVERAGE	49.47%	
PARKING REQUIREMENTS		
PARKING STALL SIZES	2.75M X 6.0M	
PARKING TYPE	PERPENDICULAR	
ASLE WIDTH	6.0 M	
ZONING BY-LAW MATRIX		
ZONING STANDARD	REQUIREMENTS	PROPOSED
MIN. LOT AREA	925sm	24,09sm
MIN. LOT FRONTAGE	30m	424.58m
MAX. BUILDING AREA	83 1-60%	49.47%
MIN. FRONT YARD	9.0m	18.54m

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SPA FILE NO.: SPA-19-44