
DESIGN BRIEF ARCHITECTURAL GUIDELINES

McKee Drive
Condominium Single Family
& Custom Estate Residence
Caledon, Ontario

For 2031818 Ontario Ltd.

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1.0 INTRODUCTION

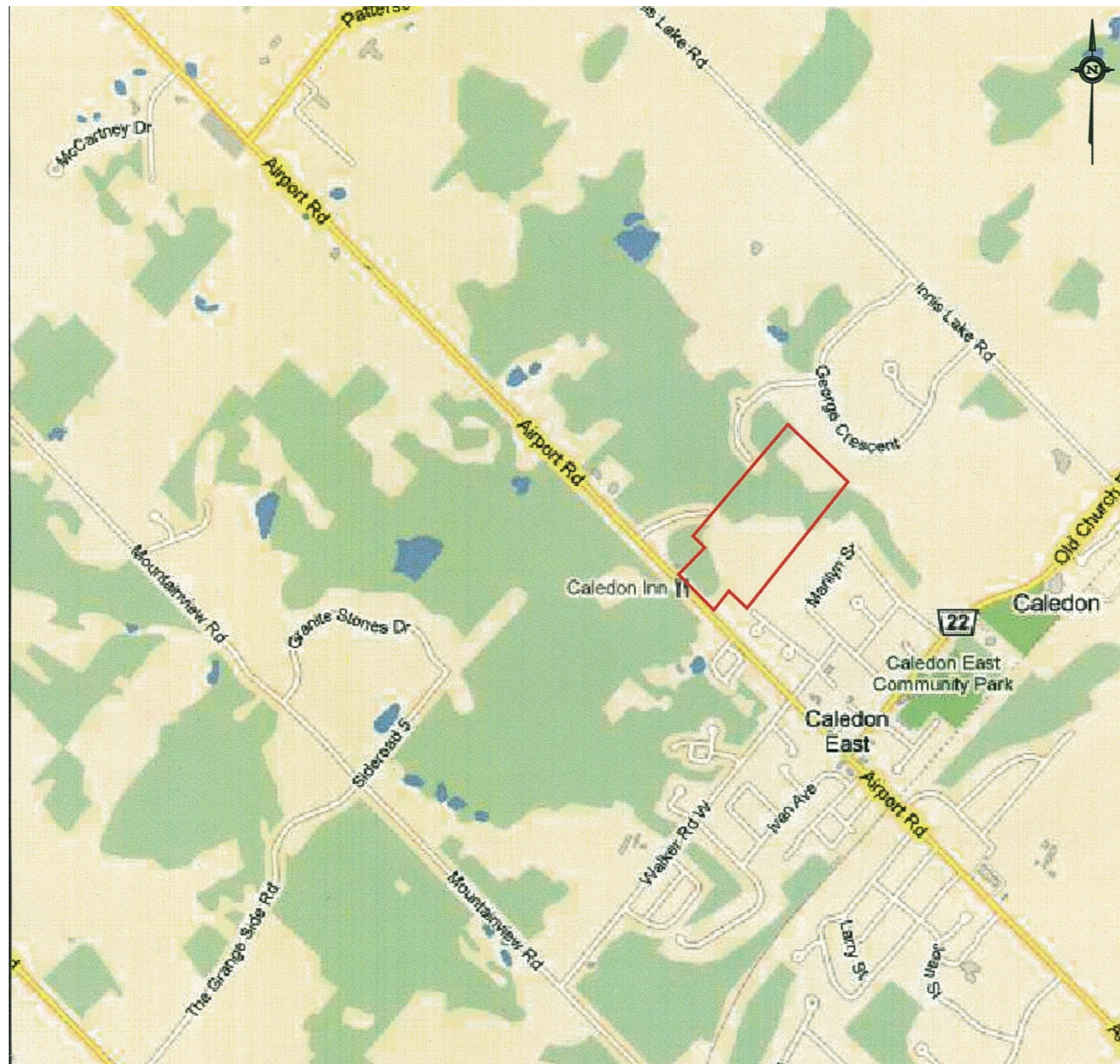
The entire parcel of land is 18.6 hectares, situated on the Oak Ridges Moraine. The Boyce's Creek is the boundary between the Settlement Area designation and the Countryside Designation of the Oak Ridges Moraine Conservation Plan. The proposal is to develop the lands within the Settlement Area designation for condominium single family residences and a single family custom estate residence. The additional environmental studies have limited the development area on the west side of the Creek to 2.63 hectares. The remainder of the westerly portion will be designated and protected as Environmental Area. The West portion will be developed for single family residences and the east portion for a single family custom estate residence. The unique natural features dictate that the community design approach to take a distinctive approach as well. The Design Brief will describe in greater detail the Urban Design Principles and how they have been addressed in the planning of the condominium single family development and a single family custom estate residence.

1.1 Development Vision

The overall Community Vision is to create an environment for the residents, which will contribute to their quality of life. The residence enjoyment and perception of their community is influenced by the character and physical elements, which define it. The intention of the guidelines is to foster this vision by the implementation of these guidelines. Through the compatibility of materials, colours massing, site planning and landscaping, we will create the foundation for this vision.

The vision and principles are based upon realizing key objectives of a number of the Town of Caledon's design initiatives and the Toronto and Region Conservation Authority policies. They are:

- The Town of Caledon's Community Design and Architectural Guidelines.
- The Provincial Planning Policy (PPS) (MMAH, 2005b).
- The Provincial Greenbelt Plan (ORMCP.2002).
- The Oakridge Moraine Conservation Plan (ORMCP, 2002).



 Subject lands

Figure 1.1 The Context Plan

1.2 DEVELOPMENT CONTEXT

The proposed condominium single family development and single family custom estate residence are within the Settlement Area of the Town of Caledon East, north-west of the downtown heritage district.

1.2.1 Context

The site is bounded by Airport Road to the west, existing residential to the east, north and south. Boyce's Creek runs through the middle of the site effectively creating two separate parcels. The condominium single family development is limited to the lands west of Boyce's Creek and the single family custom estate residence to the east of the creek.

1.2.2 Site Analysis

The condominium single family development borders Airport Road to the west and McKee Drive to the south. The proposed McKee Drive access has been selected because of challenging sight lines along Airport Road and the least impact on the wetland feature. No access to Airport Road shall be permitted. The single family custom estate residence will have access to the north portion of McKee Drive.

The natural site features and conservation limitations have reduced the developable site area to a portion only 1.70 ha in size. This limited area requires a unique approach to the overall site plan development of single family residence design concept.

The custom estate residence developable area is limited to a portion of 0.219 ha in size.

1.2.3 Community Concept Plan

Taking into account the limited developable area, the approach of an executive style cluster condominium single family concept was the preferred option to address the site economics, unique site features and exclusive location (Figure 1.2).

The secluded location of the site dictates the need to create two-car garages to suit this reality and also address the executive lifestyle approach which is a necessity to ensure a successful outcome.

The east portion, due to the limited developable area, is only suitable for a single family custom estate residence.



2.0 LANDSCAPE GUIDELINES

2.1 OPEN SPACE ELEMENTS (Figure 2.1)

The majority of the site will remain untouched in its natural state to preserve the environmentally sensitive areas of the site. The developable portion has natural features which present opportunities for open space design to be incorporated into the site plan concept. The open space system consists of:

- Boyce's Creek.
- Wet lands.
- Significant woodlands.
- Look-out.
- Trail opportunities.
- Other woodland features.

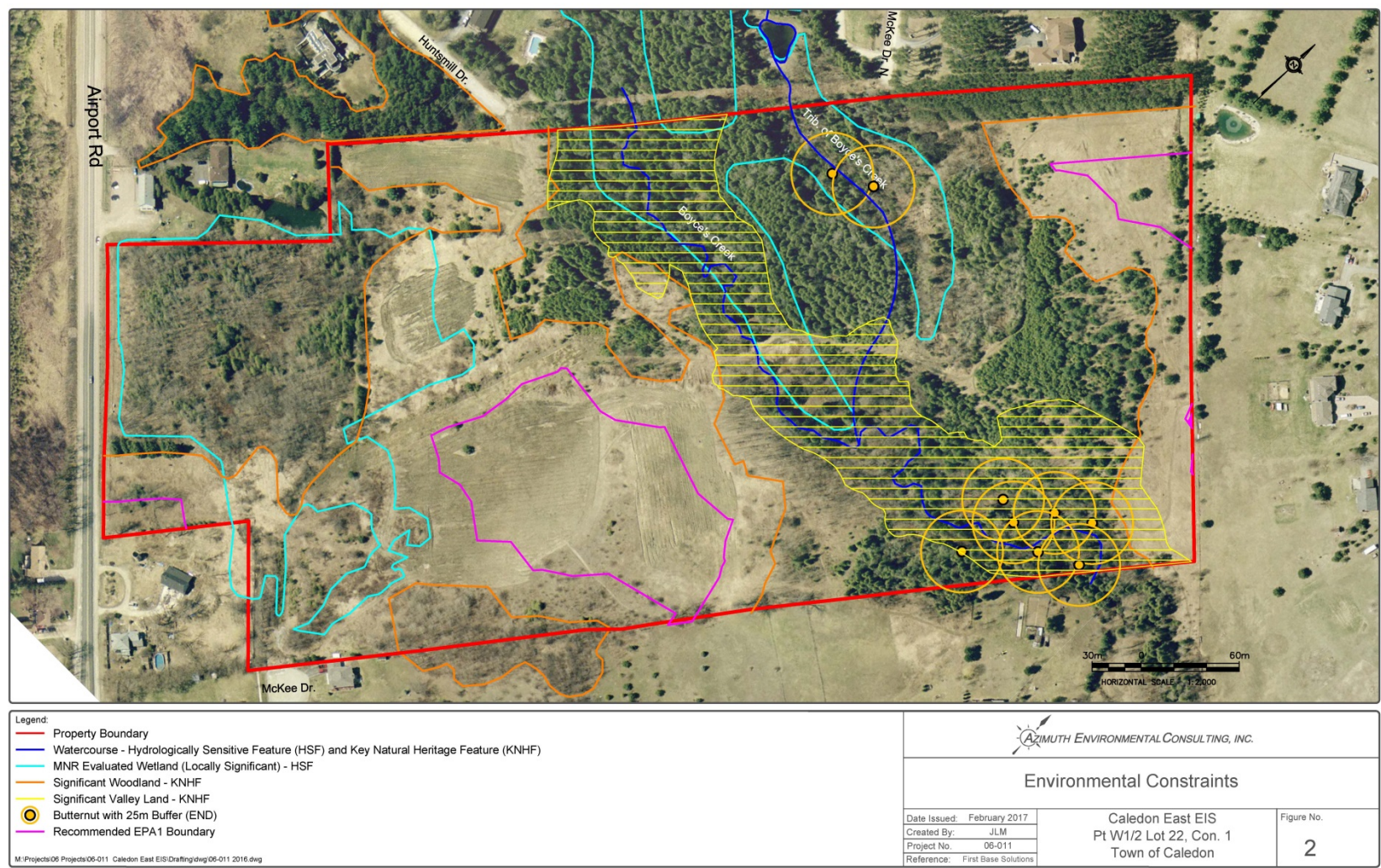


Figure 2.1 Illustrates the extent of Open Space associated with the Development.

2.1.1 Boyce's Creek / Wet Lands / Significant Woodlands / Landscape (Figure 2.1.1.1)

The Natural Heritage Evaluation Report prepared by Azimuth Environment Consulting Inc. addresses the environmentally significant features of these areas. The opportunity to provide a trail through the Boyce's Creek Valley area to link it to the existing community trails will be considered. A possible link from this trail to the proposed development will also be considered to incorporate the development to the natural trail system (Figure 2.1.1.2):



Figure 2.1.1.1 View to Boyce's Creek & Wetlands



Figure 2.1.1.2 Site Context to Boyce's Creek & Natural Features (Condominium Single Family)

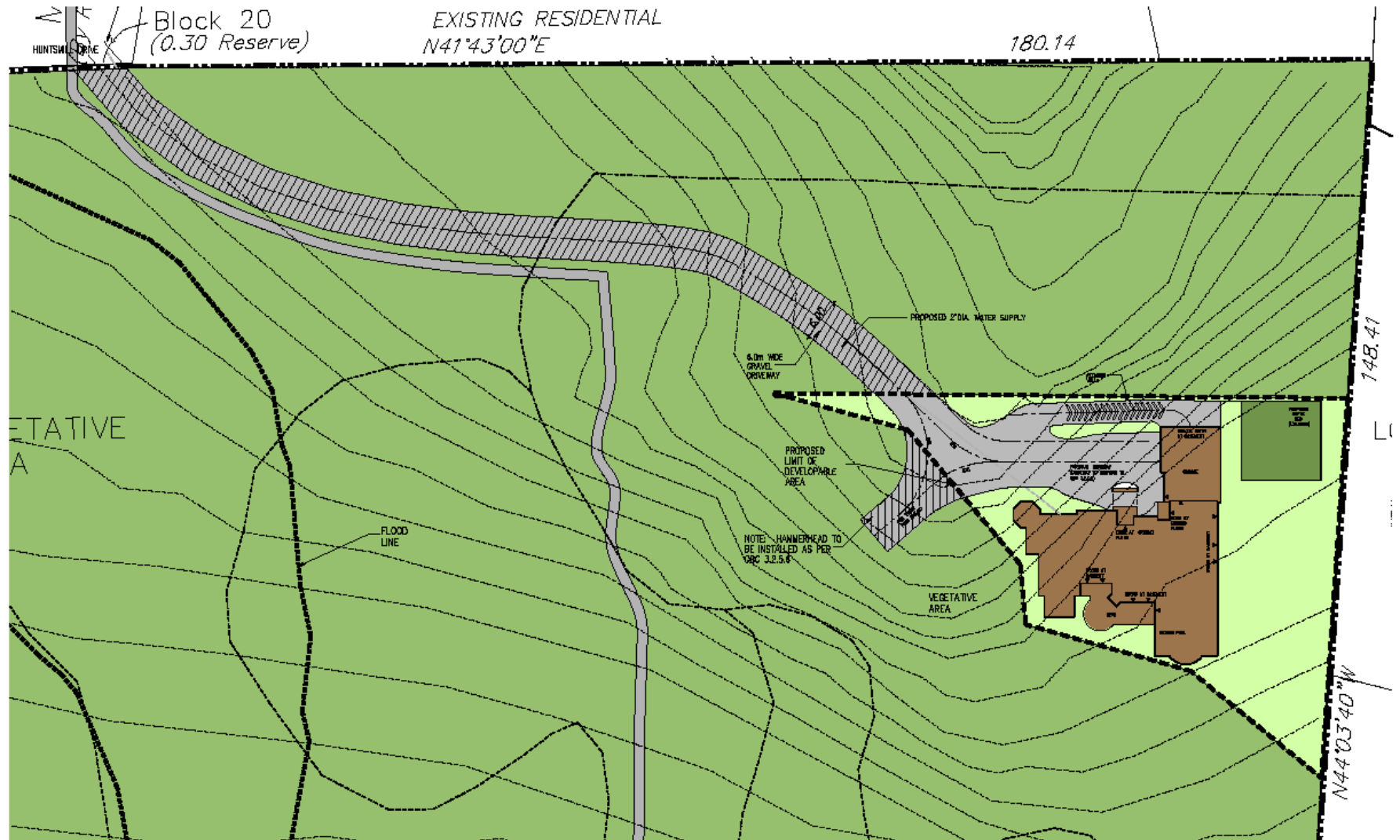


Figure 2.1.1.3 Site Context to Boyce's Creek & Natural Features (Custom Estate Residence)



Figure 2.1.1.4 Landscape Plan

2.1.2 Look-out

The eastern edge of the site has some more challenging grading features. This provides some opportunity to incorporate amenity features which would be more desirable for the anticipated adult residence of this development. Due to the more severe grade change in this area of the land, a winding sloped walkway from the residences to a potential look-out structure at the top of the slope for a look-out area to offer residents an opportunity to enjoy the site's natural characteristics at a distance without disturbing the environment below (Figure 2.1.2.1).



Figure 2.1.2.1 Look-Out Area

2.1.3 Other Woodland Features

2.1.3.1 Condominium Single Family

The existing woodlands to the south-east will largely remain in their original state. However, the northern section will allow for the walkway to the look-out. Significant existing trees should be maintained. The path of the walkway shall be designed to ensure as much tree preservation as possible.

2.1.3.2 Custom Estate Residence

The existing Woodlands will remain in their original state with the pervious driveway leading to the single family residence to be constructed over the existing trail to have the least environmental impact to the woodlands.

The driveway shall be in the residential Block 2 and the public use path shall be within the open space Block 3.

2.2 STREETScape ELEMENTS

2.2.1 Site Access

The access to the development will be by means of the existing McKee Drive to the south-west. This relatively small development with only 21 residential lots will not create a significant impact on the local road volume and also provides an exclusive element to the development.

The custom estate residence will be accessed from the north section of McKee Drive and follows the existing trail into the site.

2.2.2 Private Condominium Road Network (Figure 2.2.2)

The limited developable area and seclusion of the site allow for only one entry road access to the single family development. The private road will articulate its way through the site following contours of the lands and terminates at a hammer-head built to region specifications allowing for emergency and service vehicle turning radius.

To ensure the least amount of environmental impact, a sidewalk access along the private road was provided to encourage foot traffic along the road corridor and to discourage hiking and foot traffic on more sensitive areas. This sidewalk will also link to the existing pathway along Boyce Creek. Design considerations shall include:

- Sodded boulevards.
- Pedestrian scale lighting.
- Corner lot fencing for privacy of amenity spaces (Figure 2.2.3).
- Accent planting at corner lots to reinforce architectural treatments.
- Curb cuts at pedestrian networks.
- Street tree planting



Figure 2.2.2 Illustrates Private Condominium Road Network

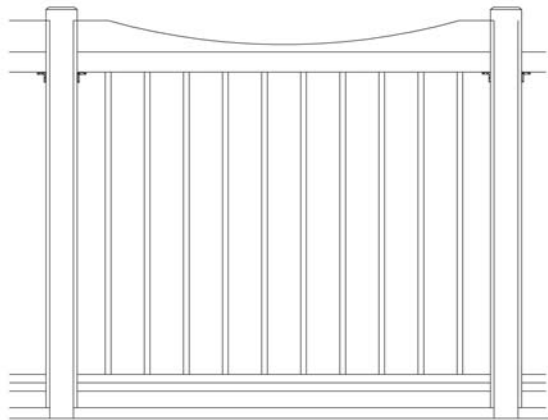


Figure 2.2.3 Typical Wood Privacy Fence

2.3 GATEWAYS

The access point from McKee Drive functions as a gateway to this unique community. Consideration should be given to the following elements in the design of the gateway feature:

- The use of columns and / or decorative metal fences to create a prominent visual element.
- A variety of landscape plantings for emphasis and visual interest.
- Building materials and style consistent with adjacent architecture.
- Incorporation of berming where appropriate.
- Minimal disruption of the access beyond the entry to maintain the natural environment with planting of native species where possible.



Figure 2.3 Gateway Feature

3.0 ARCHITECTURAL GUIDELINES

3.1 DESIGN PRINCIPLES

The following design principles have been adopted in the development of the Community Planning. These principles embody the Town of Caledon's goal of creating high quality communities as defined in the Caledon East Community Design and Architectural Guidelines.

3.2 OVERALL INTENT

3.2.1 Condominium Single Family Residences

To create a community which embodies the Town of Caledon's goal of achieving high quality developments with careful integration of Urban Design Principles and Architectural Elements in both the public and private realm to create a sense of community. The concept of this community relates to an understanding of market conditions and good design principals to ensure the development becomes a successful and livable community. The economics of this site dictate an exclusive executive community with upscale features, materials and amenities that warrant the uniqueness of the site. Market forces would dictate that a double-car garage for this high-end product is essential especially given the isolated location with little pedestrian access. All designs shall conform to Section 5.0 of the Town of Caledon Community Design and Architectural Guidelines. Design features to be incorporated into the building shall include:

- The builder shall provide to the public universal design features available as a standard or as options on the models for sale. This information shall be clearly displayed in the sales office for public view.
- Dwellings are to create a unifying building element with the main roof lines integrating the house and garage as one large building rather than allowing the garage to dominate the elevation.
- Garages to be setback from the face of the front wall or porch for front facing garages (*see Figure 3.2.1*).
- Allow for the possibility of orientating garages at 90° to the road to downplay the garage door and provide for front façade treatment to the garage similar to the house façade (*Figure 3.3.2*) on corner lots where the lot size permits.
- Garages to take on a coach house appearance, integrated into the house design. Upscale glazed garage doors are required.
- Dwellings to be setback from one another to avoid long straight lines and enhance the natural flow of the road pattern.
- Builder shall provide a variety of model types and elevations to avoid repetition within the streetscape. Model repetition shall comply with Section 4.8 of the Town of Caledon Community Design and Architectural Guidelines.

- Models to relate to grade and enclose the second floor within the roof space to give a one-storey appearance. To accommodate for grade conditions, front porches should be a maximum of 1.0 metre above the surrounding grade (a maximum of 5 risers). Front entries should be sunken to accommodate additional steps.
- Provide driveway surface that incorporate accent borders through the use of interlock brick to differentiate the driveway from the street.
- All building elevations are to be with upgrades similar to the front incorporation freeze boards, window muntin bars and articulated roof lines to provide a comprehensive building design (Figure 3.2.3)

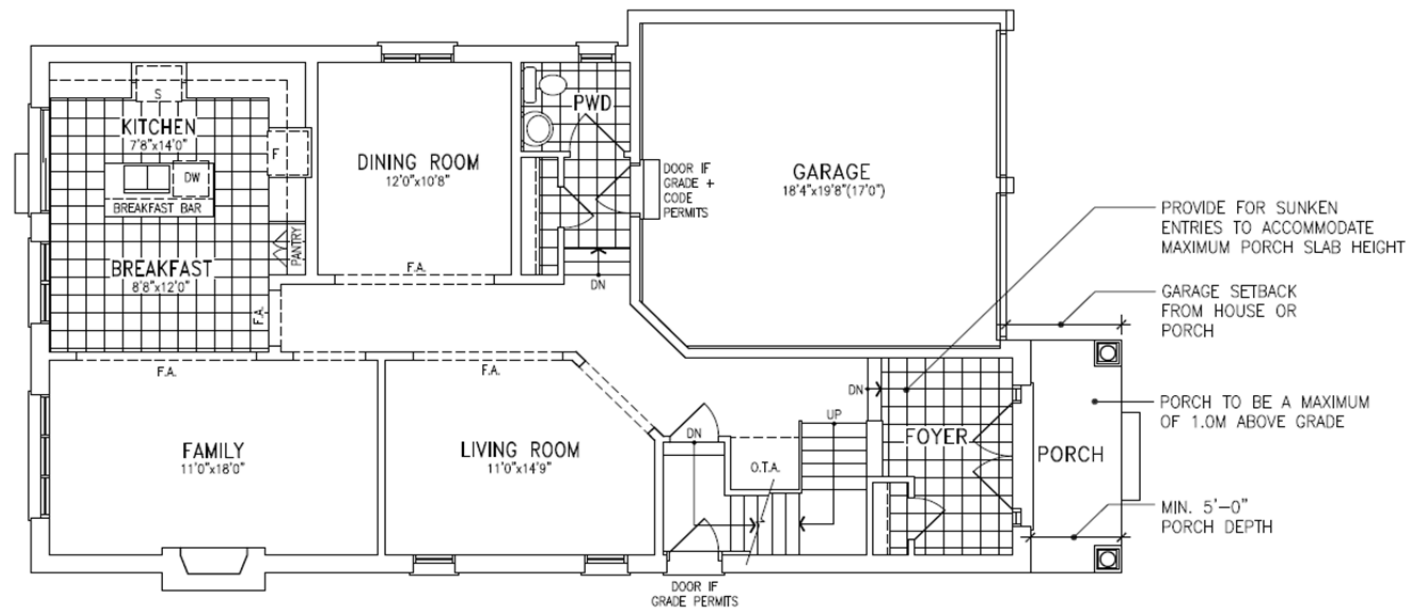


Figure 3.2.1 Illustrates Typical Garage Setback from Front Face of House / Porch



Figure 3.2.2 Illustrates Typical Elevation Style & Massing



Figure 3.2.3 Illustrates Typical Elevation Showing Garage Doors Recessed

3.2.2 Custom Estate Residence

- The single family custom estate residence should take into account the natural slope of the terrain into the dwelling design. Provide lower roof lines to give the appearance of a 1½ storey dwelling to minimize the prominence of the dwelling to its natural surroundings. The architecture should be of an upscale design incorporating stone, brick and stucco to give it a rural appearance with natural earth tone colours to further blend the dwelling into the surroundings.
- The custom dwelling shall be a maximum 2-storey in height.
- The custom dwelling is surrounded by natural vegetation with limited views of the existing residences to the north-east.
- The dwelling should take advantage of the natural grade, which slopes to the south-east. A lower profile should be encouraged on the north side and advantage should be taken of the lower grade on the south side.

3.3 CORNER LOTS / LOTS ABUTTING PEDESTRIAN LINKS AND OPEN SPACE

- Front porches with main entries on the flanking side are placed on prominent corner lots and lots abutting public spaces where possible (Figure 3.3.1).
- Corner lot architecture on sides and rear is articulated to the same degree as the front through the use of brick detailing, window style window treatments, and roof articulation (Figure 3.3.2).
- Corner lots to have a bungalow appearance with roof lines extending down to the first floor ceiling level.
- Less visible corner lots and lots abutting the public realm are articulated through the use of brick detailing, window style, and window treatment on the side and rear.
- Corner lots and lots with side & rear yard exposed to the public realm are to be provided with 1.8-metre high privacy fencing as detailed on the landscaping drawings.

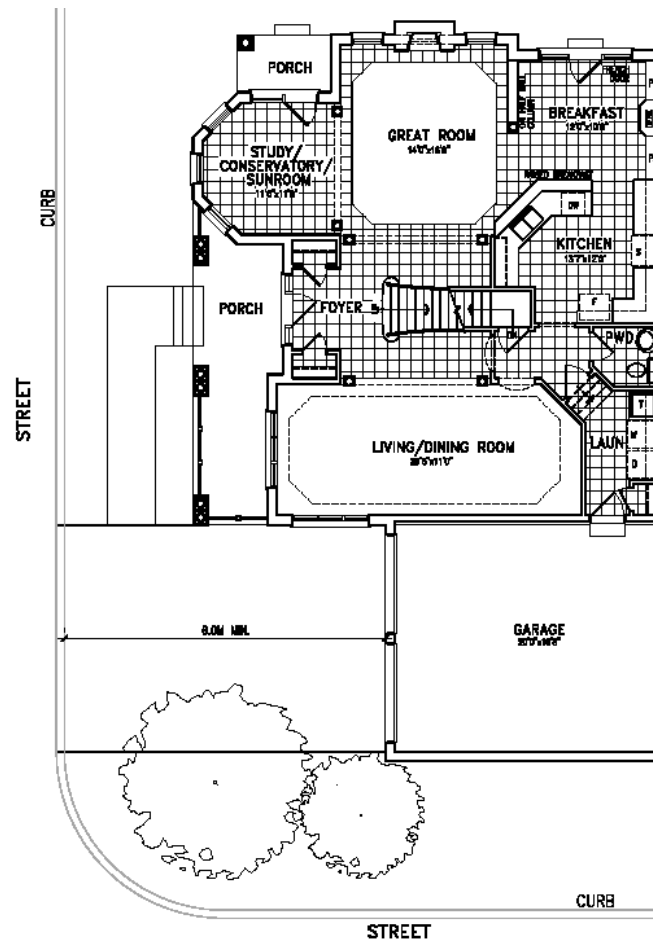


Figure 3.3.1 Illustrates a possible Corner Lot Plan Concept



Figure 3.3.2 Illustrates a possible Corner Lot Elevation Treatment

3.4 HOUSING OVERLOOKING OPEN SPACES / PUBLIC REALM

- Front, side & rear elevations exposed to the public spaces including tot lot, walkways, open space, valleylands, and stormwater management ponds are articulated to a similar degree as the front.
- Upgrade elevations employ consistent detailing, window styles, and window treatments, and roof articulation similar to the front.
- Units create a sense of entry adjacent to walkway entrances through the use of windows and front doors.

3.5 GENERIC ARCHITECTURAL CONTROL ISSUES

3.5.1 Siting of Single Family Dwellings

In addition to the above requirements, siting of units greatly contributes to the community streetscape.

- Dwellings should be sited to avoid lining up garage and house faces along the street.
- Identical building elevations and colour treatments are to be separated by two buildings.
- Buildings are to be orientated to ensure privacy of rear yards away from public spaces, or screening / berming is to be provided to separate private from public space.

3.5.2 Grade Conditions - Buildings with grade differential that generate the need for additional steps shall incorporate design elements such as brick detailing, lower grade soffit heights, etc. to reduce the grade impact.

3.5.3 Foundations - Where grade conditions require brick to be stepped to suit sloping grade, brick veneer should be stepped to allow a maximum of 30 cm of exposed concrete foundation wall.

3.5.4 Exterior Colours

- A variety of exterior colour packages are to be offered to avoid monotony.
- Different material colours of the same colour package are to be harmonious and compatible.
- Different colour package materials between dwellings is encouraged, a minimum of a 2-lot separation between the same colour packages is required.
- Roof material shall be asphalt shingles and roof material for porches and garages shall be the same colour and / or material as the main roof.

3.6 ARCHITECTURAL CONTROL APPROVAL

The Town of Caledon's Control Architect shall review and approve all building plans and elevations prior to building permit submission. The review and approval process shall conform to Section 5.0 & 6.0 (Review and Approval Procedures) of the Town of Caledon Community Design and Architectural Guidelines