

**THE CORPORATION OF THE TOWN OF CALEDON
BY-LAW NO. 2017-xxx**

Being a by-law to amend Comprehensive Zoning By-law 2006-50, as amended,
with respect to Part of Lot 5 and Part of the road allowance between West Halves of Lots
5 and 6, Concession 7 and Blocks 118, 152-154, 165, 167, 178, 181 & 182 on
Registered Plan 43M-1251,
Town of Caledon, Regional Municipality of Peel,
municipally known as 9229 5th Sideroad

WHEREAS Section 34 of the Planning Act, as amended, permits the councils of local municipalities to pass zoning by-laws for prohibiting the use of land or the erecting, locating or using of buildings or structures for or except for such purposes as may be set out in the by-law;

AND WHEREAS the Council of The Corporation of the Town of Caledon considers it desirable to pass a zoning by-law to permit the use of Part of Lot 5 and Part of the road allowance between West Halves of Lots 5 and 6, Concession 7 and Blocks 118, 152-154, 165, 167, 178, 181 & 182 on Registered Plan 43M-1251, Town of Caledon, Regional Municipality of Peel, for residential purposes.

NOW THEREFORE the Council of The Corporation of the Town of Caledon enacts that By-law 2006-50, as amended, being the Comprehensive Zoning By-law for the Town of Caledon, shall be and is hereby amended as follows:

1. The following is added to Table 13.1:

Zone Prefix	Exception Number	Permitted Uses	Special Standards
RT	XX1 (# to be provided by Planning Staff)	<ul style="list-style-type: none"> - Day Care, Private Home - Dwelling, Common Element Townhouse 	<p>Front Lot Line Definition: For the purpose of this zone, the <i>front lot line</i> shall be defined as the <i>lot line</i> farthest from and opposite to the <i>rear lot line</i>.</p> <p>Rear Lot Line Definition: For the purpose of this zone, the <i>rear lot line</i> is deemed to be the <i>lot line</i> abutting a <i>private road</i>. In the case of a <i>corner lot</i>, the shorter lot line abutting a <i>private road</i> shall be deemed to be the <i>rear lot line</i>.</p> <p>Street For the purpose of this zone, a <i>street</i> shall also include a <i>private road</i>.</p> <p>Backyard Amenity Area For the purpose of this zone, a <i>backyard amenity area</i> may include the area of an uncovered rear <i>balcony</i>.</p> <p>Setback from Railroad For the purpose of this zone, Section 4.33 shall not apply.</p> <p>Sight Triangles For the purpose of this zone, Section 4.34 shall not apply.</p> <p>Permitted Encroachments Notwithstanding the provisions of Section 4.25, the following encroachments are permitted into any required yard</p> <ul style="list-style-type: none"> i) Balconies or Decks 2.8m ii) Canopies/ Porticos/ Uncovered steps 2.6m

Zone Prefix	Exception Number	Permitted Uses	Special Standards
			<p>Common Element Townhouse Dwelling Lot Area (minimum) 100m²</p> <p>Common Element Townhouse Dwelling Lot Frontage (minimum) (a) <i>dwelling unit on a corner lot</i> 6m (b) <i>dwelling unit on an interior lot or through lot.</i> 4.5m</p> <p>Building Area (maximum) 60% Yard, Front (minimum) 2.8m Yard, Rear (minimum) 4.5m Yard, Interior Side (minimum) (a) to main building 1.2m (b) to interior wall of adjoining dwelling nil (c) to <i>private walkway</i> 0.5m</p> <p>Yard, Exterior Side (minimum) 1m</p> <p>Building Height 12.5m</p> <p>Driveway Setbacks (minimum) nil</p> <p>Back Yard Amenity Area (minimum) 10 m² per Dwelling unit</p> <p>Landscape Area (minimum) 10%</p> <p>Driveway Width (maximum) 6m</p> <p>Accessory Buildings For the purpose of this zone, <i>accessory buildings</i> shall not be permitted in any yard.</p> <p>Air Conditioners and Heat Pumps For the purpose of this zone, no air conditioner or heat pump may be located in the <i>front yard or exterior side yard.</i></p>
RT	XX2	<ul style="list-style-type: none"> - Day Care, Private Home - Dwelling, Common Element Townhouse - Dwelling, Freehold Townhouse 	<p>Street For the purpose of this zone, a <i>street</i> shall include a <i>private road.</i></p> <p>Permitted Encroachments Notwithstanding the provisions of Section 4.25, the following encroachments are permitted into any required yard i) Balconies or Decks 2.8m ii) Canopies/ Porticos/ Uncovered steps 2.6m</p> <p>Lot Area (minimum) 120m²</p> <p>Lot Frontage (minimum) (a) <i>dwelling unit on a corner lot</i> 6m (b) <i>dwelling unit on an interior lot or through lot.</i> 5.5m</p> <p>Building Area (maximum) 56% Yard, Front (minimum) 6m Yard, Rear (minimum) 4m Yard, Interior Side (minimum)</p>

Zone Prefix	Exception Number	Permitted Uses	Special Standards
			<p>(a) to end unit 1.5m (b) to interior wall of adjoining dwelling nil</p> <p>Building Height 12.5m</p> <p>Driveway Setbacks (minimum) nil</p> <p>Back Yard Amenity Area (minimum) 20 m2 per Dwelling unit</p> <p>Landscape Area 17%</p> <p>Accessory Buildings For the purpose of this zone, <i>accessory buildings</i> shall not be permitted in the front yard.</p> <p>Air Conditioners and Heat Pumps For the purpose of this zone, no air conditioner or heat pump may be located in the front yard.</p>
R2	XX (# to be provided by Planning Staff)	<ul style="list-style-type: none"> - Apartment, Accessory - Day Care, Private Home - Dwelling, Detached - Dwelling, Semi Detached - Home Occupation 	<p>Lot Area (minimum) 200m2</p> <p>Building Area (maximum) 50%</p> <p>Lot Frontage (minimum) (a) Corner lot 12m (b) Interior Lot 7.5m</p> <p>Yard, Font Yard (a) Front wall of attached <i>private garage</i> 6.5m (b) Front wall of <i>main building</i> 4m</p> <p>Yard, Interior Side Yard 1.2m</p> <p>Yard, Exterior Side Yard 2m</p> <p>Accessory Buildings For the purpose of this zone, <i>accessory buildings</i> shall not be permitted in the front yard and exterior side yard.</p> <p>Air Conditioners and Heat Pumps For the purpose of this zone, no air conditioner or heat pump may be located in the front yard and exterior side yard.</p>

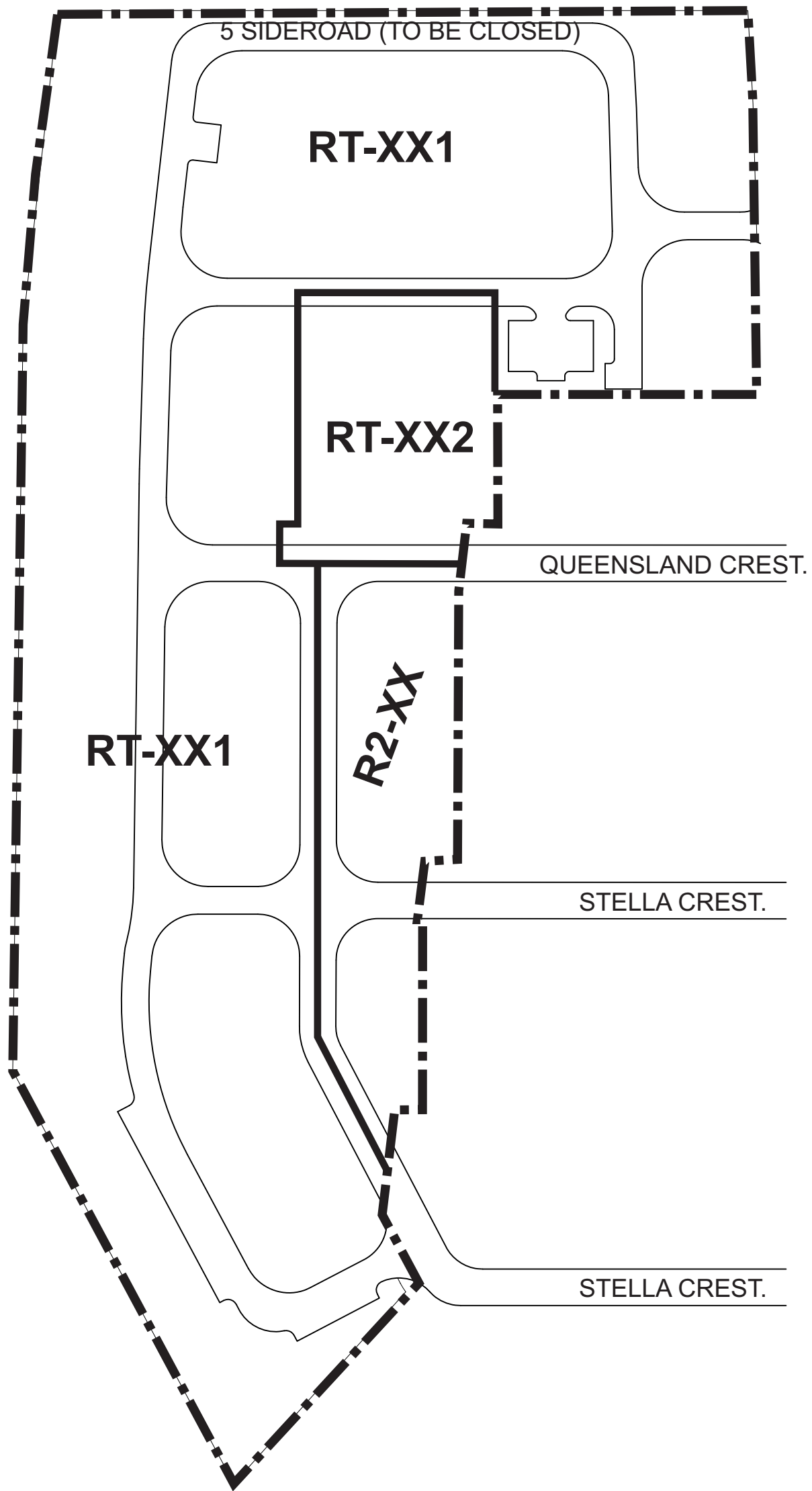
2. Schedule "A", Zone Map 1a and 1c of By-law 2006-50, as amended is further amended for Part of Lot 5 and Part of the road allowance between West Halves of Lots 5 and 6, Concession 7 and Blocks 118, 152-154, 165, 167, 178, 181 & 182 on Registered Plan 43M-1251, Town of Caledon, Regional Municipality of Peel, from MP-310 – Prestige Industrial, RT-67 – Residential Townhouse and R1- 68 – Residential One to RT-XX1 – Townhouse Residential Exception, RT-XX2 – Townhouse Residential Exception and R2-XX – Residential Two Exception accordance with Schedule "A" attached hereto.

Read three times and finally
passed in open Council on the
XX day of XXXXXX, 2017.

Allan Thompson, Mayor

Carey deGorter, Clerk



DRAFT



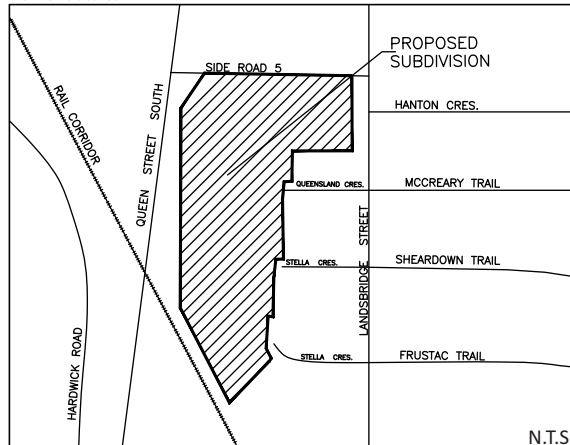
**ZONE MAP
SCHEDULE "A"
BY-LAW 2017-XX**

Part of Lot 5 and Part of the Road Allowance
Between West Halves of Lots 5 and 6
Concession 7 and Blocks 118, 152-154, 165,
167, 178, 181 and 182, Registered Plan 43M-1251
(Geographic Township of Albion)
Town of Caledon
Regional Municipality of Peel

Legend

-  Lands Subject to this By-law
-  Zone Boundary

KEY MAP



FILE: RZ 16-06

DATE: May 2017

