

**THE CORPORATION OF THE TOWN OF CALEDON
BY-LAW NO. 2016-xxx**

Being a by-law to amend Comprehensive Zoning By-law 2006-50, as amended,
with respect to Part of Lot 5 and Part of the road allowance between West Halves of Lots
5 and 6, Concession 7 and Blocks 118, 152-154, 165, 167, 178, 181 & 182 on
Registered Plan 43M-1251,
Town of Caledon, Regional Municipality of Peel,
municipally known as 9229 5th Sideroad

WHEREAS Section 34 of the Planning Act, as amended, permits the councils of local municipalities to pass zoning by-laws for prohibiting the use of land or the erecting, locating or using of buildings or structures for or except for such purposes as may be set out in the by-law;

AND WHEREAS the Council of The Corporation of the Town of Caledon considers it desirable to pass a zoning by-law to permit the use of Part of Lot 5 and Part of the road allowance between West Halves of Lots 5 and 6, Concession 7 and Blocks 118, 152-154, 165, 167, 178, 181 & 182 on Registered Plan 43M-1251, Town of Caledon, Regional Municipality of Peel, for residential purposes.

NOW THEREFORE the Council of The Corporation of the Town of Caledon enacts that By-law 2006-50, as amended, being the Comprehensive Zoning By-law for the Town of Caledon, shall be and is hereby amended as follows:

1. The following is added to Table 13.1:

Zone Prefix	Exception Number	Permitted Uses	Special Standards
RT	XX1 (# to be provided by Planning Staff)	<ul style="list-style-type: none"> - Day Care, Private Home - Dwelling, Common Element Townhouse 	<p>Front Lot Line Definition: For the purpose of this zone, the <i>front lot line</i> shall be defined as the <i>lot line</i> farthest from and opposite to the <i>rear lot line</i>.</p> <p>Rear Lot Line Definition: For the purpose of this zone, the <i>rear lot line</i> is deemed to be the <i>lot line</i> abutting a <i>private road</i>.</p> <p>Corner Lot Definition: For the purpose of this zone, <i>corner lot</i> shall mean a lot situated at the intersection of two private roads with access to either private road.</p> <p>Backyard Amenity Area For the purpose of this zone, a <i>backyard amenity area</i> may include the area of an uncovered rear deck.</p> <p>Building Height For the purpose of this zone, a parapet wall or other roof structure which is used only as an ornament upon or to house the mechanical equipment of any building shall be disregarded in calculating the height of such <i>building</i>.</p> <p>Permitted Encroachments Notwithstanding the provisions of Section 4.25, the following encroachments are permitted into any required yard</p> <ul style="list-style-type: none"> i) Balconies or Decks 2.8m ii) Canopies/ Porticos/ Uncovered steps 2.6m

Zone Prefix	Exception Number	Permitted Uses	Special Standards
			<p>Dwelling Units Per Townhouse Dwelling (maximum) 7</p> <p>Common Element Townhouse Dwelling Lot Area (minimum) 126m²</p> <p>Common Element Townhouse Dwelling Lot Frontage (minimum) (a) <i>dwelling unit</i> on a <i>corner lot</i> 8m (b) <i>dwelling unit</i> on an <i>interior lot</i> or <i>through lot</i> 6m</p> <p>Building Area (maximum) 50% Yard, Front (minimum) 4m Yard, Rear (minimum) 6m Yard, Interior Side (minimum) (a) to side all of <i>main building</i> except that, where the lot abuts a <i>lot</i> containing <i>townhouse dwelling</i> 1.4m (b) to interior wall of adjoining dwelling nil</p> <p>Yard, Exterior Side (minimum) 2m</p> <p>Driveway Setbacks (minimum) nil</p> <p>Porch Area (minimum) 3.2 m² per Dwelling unit</p> <p>Landscape Area nil</p>
RT	XX2	<ul style="list-style-type: none"> - Day Care, Private Home - Dwelling, Common Element Townhouse 	<p>Front Lot Line For the purpose of this zone, the <i>front lot line</i> is deemed to be the <i>lot line</i> abutting a <i>private road</i></p> <p>Backyard Amenity Area For the purpose of this zone, a <i>backyard amenity area</i> may include the area of an uncovered rear deck.</p> <p>Building Height For the purpose of this zone, a parapet wall or other roof structure which is used only as an ornament upon or to house the mechanical equipment of any building shall be disregarded in calculating the height of such <i>building</i>.</p> <p>Permitted Encroachments Notwithstanding the provisions of Section 4.25, Canopies/Porticos/Uncovered steps are permitted to encroachments 2.6m into any required yard.</p> <p>Dwelling Units Per Townhouse Dwelling (maximum) 8</p> <p>Common Element Townhouse Dwelling Lot Area (minimum) 126m²</p> <p>Common Element Townhouse Dwelling Lot Frontage (minimum) (c) <i>dwelling unit</i> on a <i>corner lot</i> 8m</p>

Zone Prefix	Exception Number	Permitted Uses	Special Standards
			<p>(d) <i>dwelling unit on an interior lot or through lot.</i> 5.5m</p> <p>Building Area (maximum) 50%</p> <p>Yard, Front (minimum) 6m</p> <p>Yard, Rear (minimum) 4m</p> <p>Yard, Interior Side (minimum)</p> <p>(c) to side all of <i>main building</i> except that, where the lot abuts a <i>lot</i> containing <i>townhouse dwelling</i> 1.4m</p> <p>(d) to interior wall of adjoining dwelling nil</p> <p>Yard, Exterior Side (minimum) 2m</p> <p>Driveway Setbacks (minimum) nil</p> <p>Porch Area (minimum) 3 m2 per Dwelling unit</p> <p>Landscape Area nil</p>
RT	XX3 (# to be provided by Planning Staff)	<ul style="list-style-type: none"> - Day Care, Private Home - Dwelling, Freehold Townhouse 	<p><u>FREEHOLD TOWNHOUSE DWELLING</u></p> <p>Building Height For the purpose of this zone, a parapet wall or other roof structure which is used only as an ornament upon or to house the mechanical equipment of any building shall be disregarded in calculating the height of such <i>building</i>.</p> <p>Permitted Encroachments Notwithstanding the provisions of Section 4.25, the following encroachments are permitted into any required yard</p> <ul style="list-style-type: none"> i) Canopies/ Porticos/ Uncovered steps 2.6m <p>Freehold Townhouse Dwelling Lot Area (minimum) 115m²</p> <p>Freehold Townhouse Dwelling Lot Frontage (minimum)</p> <ul style="list-style-type: none"> (a) <i>dwelling unit on a corner lot</i> 9.3m (b) <i>dwelling unit on an interior lot or through lot.</i> 5.5m <p>Yard, Front (minimum) 6m</p> <p>Yard, Rear (minimum) 2.8m</p> <p>Yard, Interior Side (minimum)</p> <ul style="list-style-type: none"> (a) to side all of <i>main building</i> except that, where the lot abuts a <i>lot</i> containing <i>townhouse dwelling</i> 1.5m (b) to interior wall of adjoining dwelling nil <p>Yard, Exterior Side (minimum) 3m</p> <p>Landscape Area nil</p>
R1	XX (# to be provided by	<ul style="list-style-type: none"> - Apartment, Accessory - Day Care, 	<p>Building Height For the purpose of this zone, a parapet wall or other roof structure which is used only as</p>

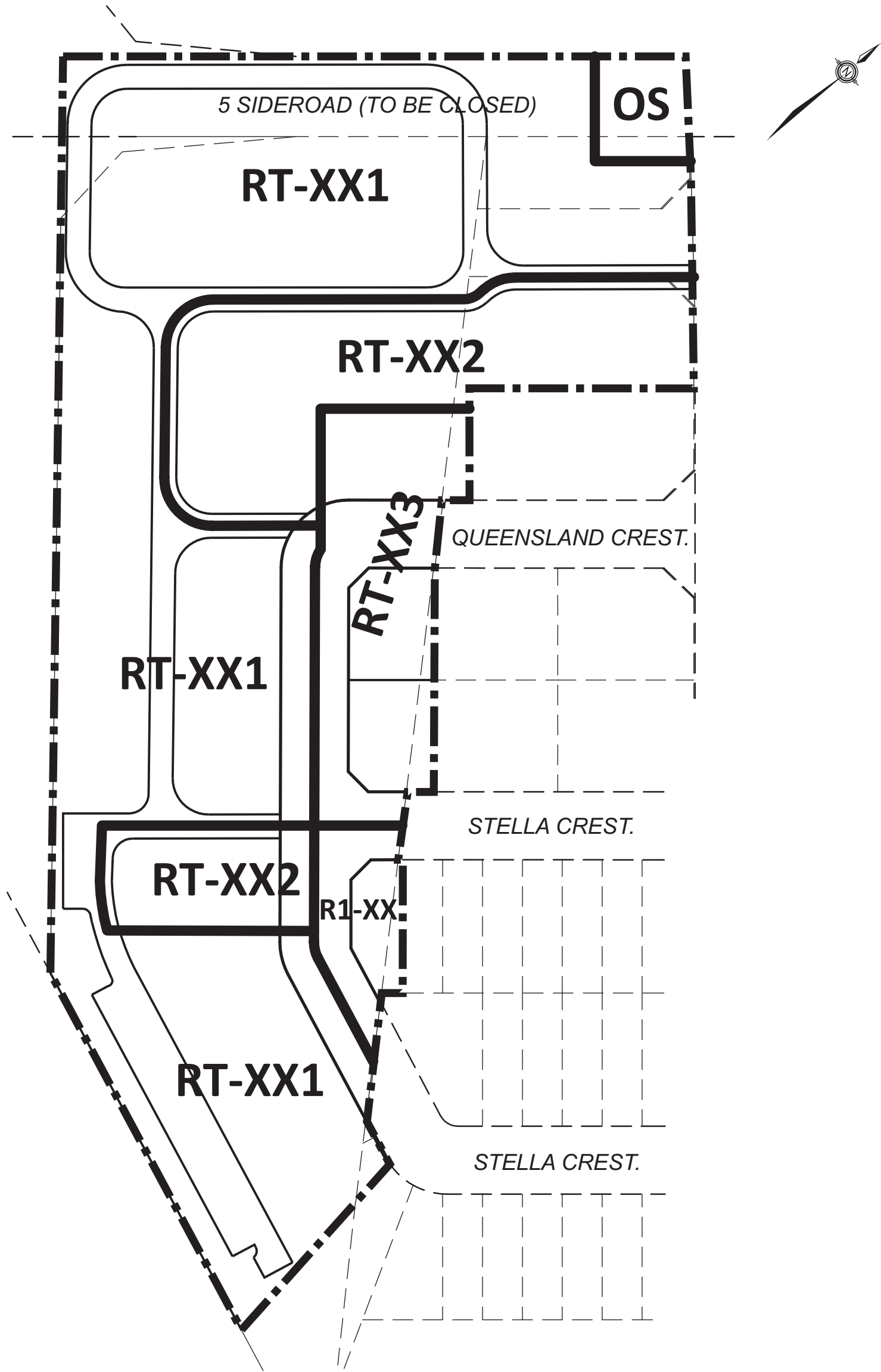
Zone Prefix	Exception Number	Permitted Uses	Special Standards
	Planning Staff)	Private Home - Dwelling, Detached - Home Occupation	an ornament upon or to house the mechanical equipment of any building shall be disregarded in calculating the height of such <i>building</i> . Lot Area (minimum) 200m2 Lot Frontage (minimum) (a) Corner lot 12m Building Area (maximum) 40% Yard, Interior Side Yard 1.2m Yard, Exterior Side Yard 2m Backyard Amenity Area (minimum) 90m2

2. Schedule "A", Zone Map 1a and 1c of By-law 2006-50, as amended is further amended for Part of Lot 5 and Part of the road allowance between West Halves of Lots 5 and 6, Concession 7 and Blocks 118, 152-154, 165, 167, 178, 181 & 182 on Registered Plan 43M-1251, Town of Caledon, Regional Municipality of Peel, from MP-310 – Prestige Industrial, RT-67 – Residential Townhouse and R1- 68 – Residential One to RT-XX1 – Townhouse Residential Exception, RT-XX2 – Townhouse Residential Exception, RT-XX3 – Townhouse Residential Exception, R1-XX – Residential One Exception and OS – Open Space in accordance with Schedule "A" attached hereto.

Read three times and finally passed in open Council on the XX day of XXXXXX, 2016.

Allan Thompson, Mayor

Carey deGorter, Clerk



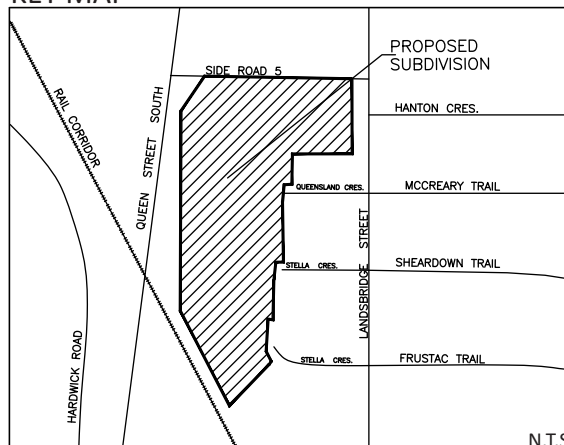
**ZONE MAP
SCHEDULE "A"
BY-LAW 2016-XX**

Part of Lot 5 and Part of the Road Allowance
Between West Halves of Lots 5 and 6
Concession 7 and Blocks 118, 152-154, 165,
167, 178, 181 and 182, Registered Plan 43M-1251
(Geographic Township of Albion)
Town of Caledon
Regional Municipality of Peel

Legend

- Lands Subject to this By-law
- Zone Boundary

KEY MAP



FILE: xx XX-XX

DATE: June 2016



TOWN OF CALEDON