

6.0 Design Review Process

The design review process will coordinate the public and private realm architecture for the community, i.e., the site planning, streetscape, and architecture design for the residential and non-residential uses. The objective of the design review process is to assist the builder to comply with the conditions of the Community Design Plan and architectural controls. The review follows a prescribed and transparent process including the submission of drawings and materials, the preliminary response from the control architect, revisions as necessary, and sign off. This chapter outlines a six-step process:

- submission of drawings and materials for approval by the developer to the control architect;
- review of submission by the control architect and subject to municipal involvement;
- revisions as necessary;
- revisions to approved drawings;
- site review; and,
- implementation and monitoring.

Prior to submission of drawings for building permit, the architectural control process will be undertaken for the developer and/or builders.

6.1 Submission for Approvals

All design elements of buildings and their sitings must be reviewed by the control architect and developer/builder engineer (where necessary) prior to the submission to the Town of Caledon as application for a building permit.

In no case shall the control architect and the design architect be the same individual or firm.

6.2 Review Process

The design review process deals primarily with the exterior appearance of the units, the siting and arrangement of units within a block and on a specific lot. The following shall be submitted to the control architect for review:

- preliminary design proposals;
- final architectural drawings;
- site plans;
- sections, elevations, and illustrations of proposed streetscapes; and,
- samples of exterior materials and colours.

The builder shall submit drawings to the control architect in a form sufficient to evaluate compliance with the architectural controls. The materials presented for preliminary review need not be highly detailed but should be sufficiently representative for the assessment of design and site planning. Floor plans are provided for information and as a guide to evaluate the exterior treatment. The Control Architect will meet with municipal staff periodically to keep them updated on the progress of dwellings.

a. Preliminary Design Proposals

Two sets of drawings will be submitted illustrating internal layout, entry conditions, elevations, fenestration, materials, and details. A preliminary design package typically includes:

- site plans;
- floor plans;
- exterior elevations and details;
- locations of special units/prime lots (if applicable);
- samples of exterior materials and colours; and,
- illustrations of typical streetscapes (if applicable).

The review and approval of the floor plans is an approval-in-principle in order to support the approval of exterior design. Future modifications to the floor plans can occur as long as no major changes take place, as determined by the control architect.

Satisfactory submissions will be stamped "Preliminary Review" after being reviewed by the control architect. Distribution is as follows:

- 1 copy to control architect; and,
- 1 copy to builder/developer and/or their architect.

The builder should allow 5 working days for the review.

b. Final Working Drawings

Five copies of the following shall be submitted to the control architect for review and approval:

- architectural floor plans and elevations.

Satisfactory submissions will be stamped "Final Review". Distribution is as follows:

- 1 copy to control architect; and,
- 3 copies to builder/developer.
- 2 copies to the Town.

c. Master Sheet of Models and Elevations

Upon approval of the working drawings, three copies of master sheets showing approved front elevations, and in the case of corner lots, front, exterior side, and rear elevations for all models shall be submitted for review. These drawings are to be employed to assess building groupings and massing and may be submitted with the architectural drawings.

Distribution is as follows:

- 1 copy to control architect; and,
- 1 copy to builder/developer.

d. Final Site Plans

Subsequent to the preliminary approval of the site plans, four copies of the final site plans shall be submitted for review and approval. The plans shall include the following information:

- proposed siting, including setbacks, driveways, etc.;
- location of corner lot fencing (if applicable);
- streetscape elevations showing a minimum of two adjacent lots (front, exposed sides, and rears, if applicable); and,
- noise attenuation fences (if applicable).

Satisfactory submissions will be stamped "Final Review" by the control architect. Distribution is as follows:

- 1 copy to control architect; and,
- 3 copies to builder/developer.
- 2 copies to the Town.
- 1 copy to subdivision engineer.

The builder should allow 5 working days for final design review.

e. Streetscapes/Master Sitings

As units are sold or sited, updated streetscape drawings and master siting plans will be required in the form of computer generated elevation drawings and street siting plans of complete and partially completed blocks. Each additional siting shall be accompanied by streetscape and master siting plan indicating the model(s) to be approved in the context of the block (See Appendix A).

f. Materials and Colours

Builders selling houses or specifying exterior unit colours prior to architectural review, do so with the understanding that colours are subject to change by the control architect. Two copies of the following should be submitted to the control architect for review and approval prior to marketing:

- master colour schedule; and,

- schedule indicating proposed locations.

The material and colour schedule will be stamped “Final Review” by the control architect. Distribution is as follows:

- 1 copy to control architect; and,
- 1 copy to builder/developer.

Sample boards should be submitted to the control architect for review. Subsequent to approval, the boards will be returned to the builder for display in the sales office. If sample boards are not possible, a set of colour photographs of the sample boards should be submitted to the control architect for reference.

6.3 Required Revisions

To assure timely review of requisite changes, the builder shall submit to the control architect drawings and samples that clearly identify alternatives for areas of concern.

6.4 Revisions to Approved Drawings

Revised drawings and samples, where necessary, will be submitted to the control architect for consideration.

6.5 Site Review

The control architect will conduct periodic site reviews to ensure general compliance with the approved plan. The builder will be required to rectify deficiencies between approved plans and implemented work.

6.6 Town's Review

The Town has the right to undertake periodic reviews to ensure compliance with the Architectural Design Guidelines and retain an alternate Control Architect (at the owner's expense) if inadequate enforcement is evident.

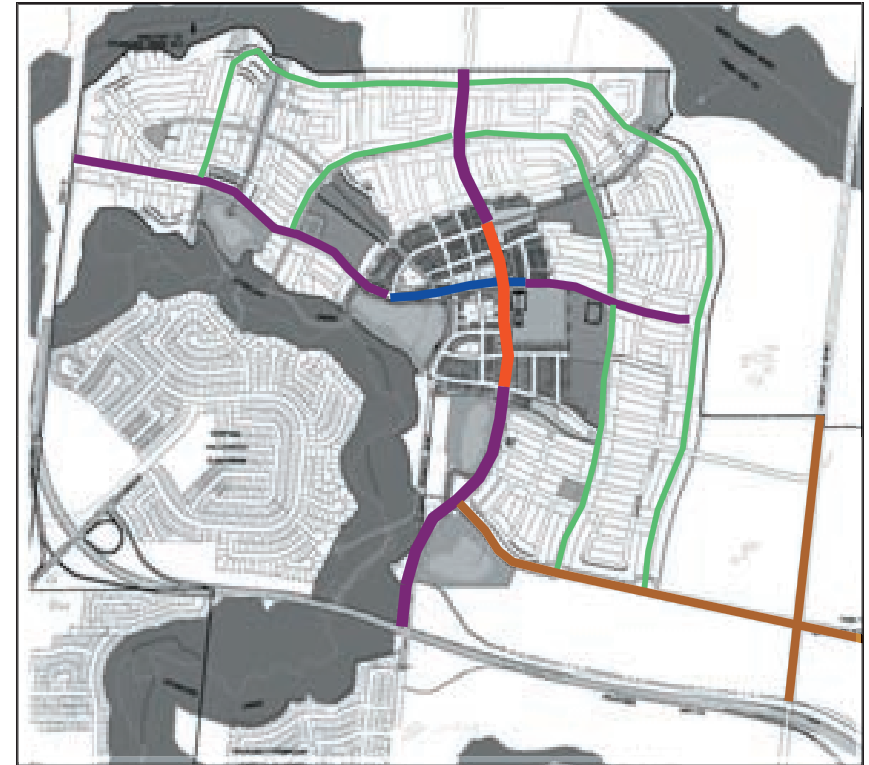
6.7 Implementation and Monitoring

Architectural controls will be reflected in the subdivision agreements for South Fields Community/ Mayfield West.

APPENDIX A: LOCATION OF HOUSING TYPES

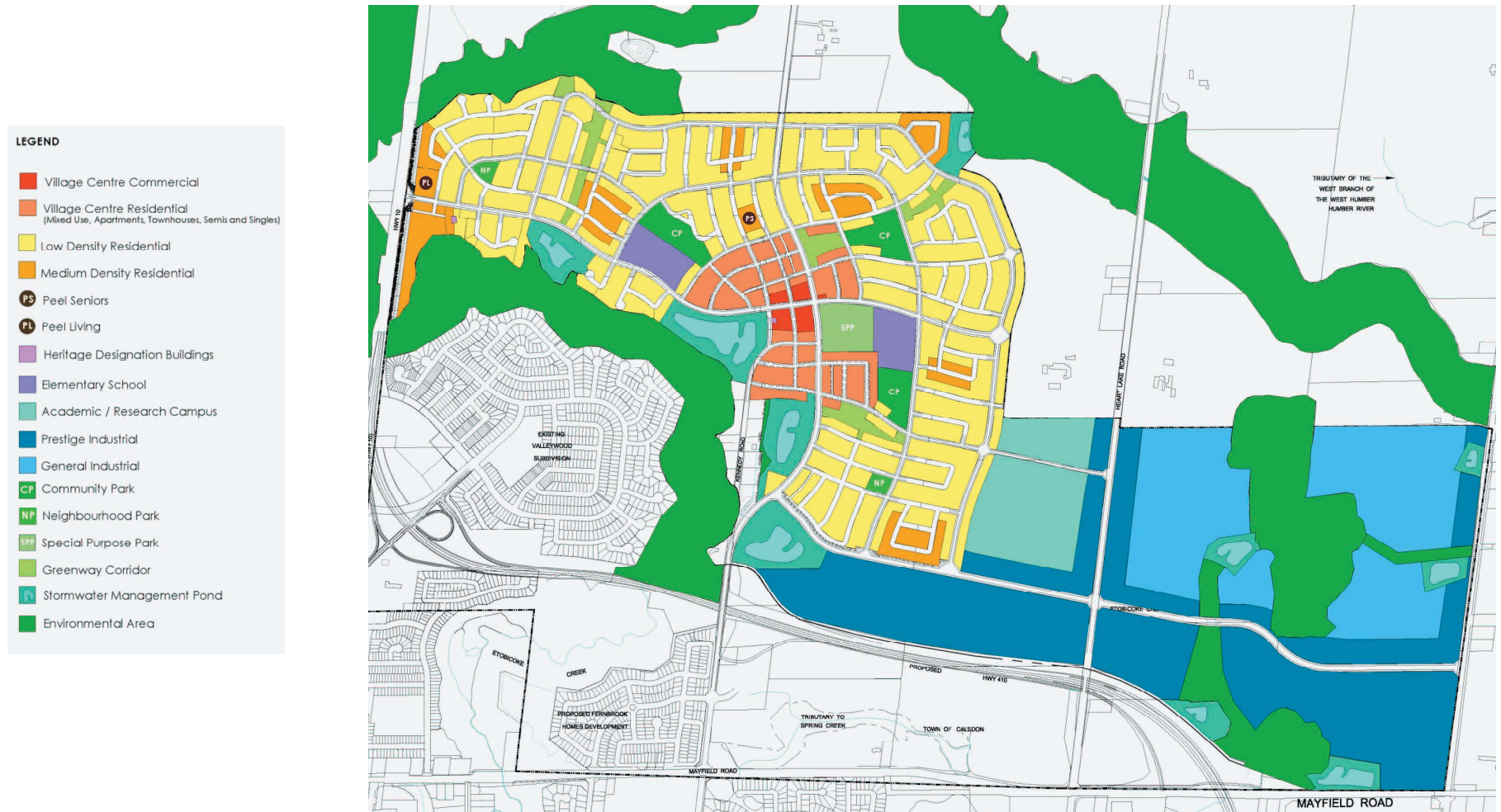
Location of Housing Types

UNIT & ROAD TYPE CATEGORIES			
LOCATION / ROAD	UNIT TYPE	MINIMUM LOT FRONTAGE	MEANS OF ACCESS
Kennedy Rd. Residential Nbhd.	Detached	12.2m (40ft)	Front drive
	All unit types less than 12.2m	< 12.2m (40ft)	Laneway or internal driveway, flankage and window street
	Detached	12.4 m	Controlled access or laneway
Kennedy Village Centre	Townhouses, Mixed Use,	-	Public / Private Laneway
	Apartments, Commercial	-	Public / Private Laneway
	Detached	12.4 m	Front drive
Main Street in Village Centre	Townhouses, Mixed Use	-	Public / Private Laneway
	Apartments, Commercial	-	Public / Private Laneway
	Detached	12.2m (40ft)	Front drive
Main St "East/West Collector" Residential Rd	Detached	12.2 m (40ft)	Front drive
	All unit types less than 12.2m	< 12.2m (40ft)	Laneway or internal driveway
Green Collector	Detached	10.9m (36ft)	Front drive, flankage or window street
	All unit types less than 10.9m	< 10.9m (36ft)	Laneway or internal driveway
Local Road fronting onto Park	Full range of units;	All sizes	Front drive or laneway
	Maximum 50% Townhomes		
Local Road in Nbhd.	Full range of units	All sizes	Front drive or laneway
	Detached / Semi detached	-	Front drive or laneway
Local Roads in Village Centre	All other unit types	All sizes	Controlled access or laneway



LEGEND

- 26m KENNEDY RESIDENTIAL ROAD
- 26m KENNEDY VILLAGE CENTRE
- 22m MAIN STREET
- 22m VILLAGE CENTRE
- 20m GREEN COLLECTOR
- ROPA LIMIT
- 26m INDUSTRIAL COLLECTOR



Appendix C: South Fields priority Lot Plan

Primary Upgrades

1. Elevations: Architectural style and materials as per the front elevation. Architectural detailing around windows and doors, sills, precast details and lintels should be carried through to create visual interest on the rear elevation. Where possible, the elevations should be articulated to avoid long flat walls.
2. Roofs: articulation utilizing any of the following: accent gables, dormers and ridges, chimneys, etc...; minimum front to back roof pitch 6:12, and side slope of 10:12.
3. Windows: masonry detailing, variation of window sizes and consistent window type and style on all exposed elevation.

Secondary Upgrades

1. Elevations: materials as per front elevations, articulation to avoid a continuous flat wall.
2. Roofs: minimum pitch 6:12
3. Window masonry detailing, variation of window sizes.

Possible Upgrades

May be determined at the time of review that units sited on these lots may require possible upgrades due to visibility.

Gateway & Corner Dwellings

1. Gateway and corner dwellings should achieve a primary upgrade level.
2. The architecture should incorporate special built form at corner.
3. Special landscaping is encouraged to create an entry condition.

Vista Termination

1. Dwellings at vista terminations should have elevations of a high design quality.
2. The massing and grouping of dwellings should aim to create an interesting and unobtrusive view-line.

T-Intersection Dwelling

1. Architecture should have a highly articulated façade.
2. Pairing of sideyards is encouraged to form a landscaped area at the T-intersection.

Window Street Dwellings

1. Facades shall be highly articulated through coordinated fenestration, masonry detailing, accent gables, dormers, porches or other entry elements, and/or other special treatment.
2. Garages are encouraged to be recessed from the front wall face of the unit to reduce their visual impact on the streetscape.

