

5.0 DESIGN GUIDELINES FOR INDUSTRIAL LANDS

5.0 Design Guidelines for Industrial Lands

The industrial lands parallel the Highway 410 extension and stretch to Dixie Road, making it visible and accessible for future businesses and functions as a gateway route into the community. The proposed uses of the industrial lands will be divided into Prestige Industrial and General Industrial use. Commercial uses may be established in the industrial area as long as they do not compete with the Village Centre.

- architectural designs will be of a high quality and create a clean, corporate image throughout the industrial area;
- large uninterrupted facades will be discouraged from facing onto the Industrial Collector and Heart Lake Road. Elevations along these frontages will require fenestration and wall articulation, where this is not possible, a combination of material colour/types with enhanced landscaping should be provided;
- buildings along the Industrial Collector should compliment and harmonize with one another;
- high quality landscape treatments are crucial for the industrial lands;
- buildings in this area will respond to visibility from the collector road;
- office areas within the buildings shall face collector roads;
- site layout and built form should be designed so that potentially disruptive uses such as servicing/loading areas, mechanical rooms, and garbage rooms are located away or screened from adjacent residential uses and public street views; and,
- efforts should be made to ensure main parking areas are not located between the building and the street. Parking located in front of the main building face addressing the street may have a maximum of two parking tiers but a single tier of parking is encouraged to enable the building entrance to be located as close to the street as possible.

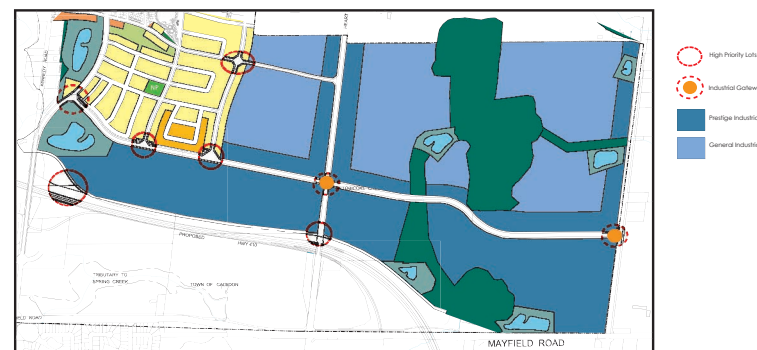


Figure 2: Industrial Lands Community Plan

5.1 General Industrial Areas

The General Industrial Areas are located north of the Industrial Collector between Heart Lake Road and Dixie Road.

- building design should have consideration for the massing, height and treatment of industrial buildings within the lot, aiming to generate a consistent and compatible character;
- buildings should be designed to address the street, with entrances visible from the street, where feasible;
- to avoid long uninterrupted building facades, a variety in massing, articulation, materials and colour shall be employed;



Intended corner and gateway conditions.

- signage should be an integral part of the architecture of a building and designed to compliment the building and enhance the visual appeal on the street;
- two tiers of parking in front of the building will be permitted and will require appropriate landscaping to address the street edge. Where possible, parking areas should be located on the interior of lots, with a combination of landscaping and fencing to screen parking from major roadways;
- loading and service activities should occur at the side or rear of the building;
- service lanes should be separated from visitor and employee parking where feasible;
- outdoor storage shall be screened from street view; and,
- public realm signage and lighting should be coordinated throughout and complementary to the overall public realm signage for the South Fields Community.

5.2 Prestige Industrial

The Prestige Industrial Area is located adjacent to the Highway 410 extension, and fronts onto the east/west Industrial Collector and the north/south Heart Lake Road. Positioned within these boundaries are Prestige Industrial uses adjacent to the residential community to the west. The Prestige Industrial built form must be sensitive to the adjacent land uses because of it's location next to the residential neighbourhood and at the community gateway. This is especially true of buildings located between Heart Lake Road and Kennedy Road. In addition to the guidelines outlined for General Industrial the following criteria shall apply:

- architectural designs shall be of a high quality corporate image;
- built form must address visibility from both the Industrial Collector and to a lesser extent, the Highway 410 extension. Due to the significant grade separation the blocks backing onto Highway 410 will not be highly visible;
- where non residential fronts onto residential uses, buildings should employ a transition in scale, coordination of materials, massing, and architectural details such as entry canopies, to break down the building scale and promote a pedestrian-friendly environment;
- a combination of landscaping, fencing, and architectural design should be used where industrial uses front onto residential uses to create a visual buffer and reduce highlight impact;
- loading, storage and service areas are encouraged to be located away from residential areas and the street and shall be screened from view;
- there shall be no outdoor storage within Prestige Industrial Areas as per the zoning by-law;
- service doors should be screened from adjacent residential uses;
- lighting should be oriented down and away from adjacent residences; and,

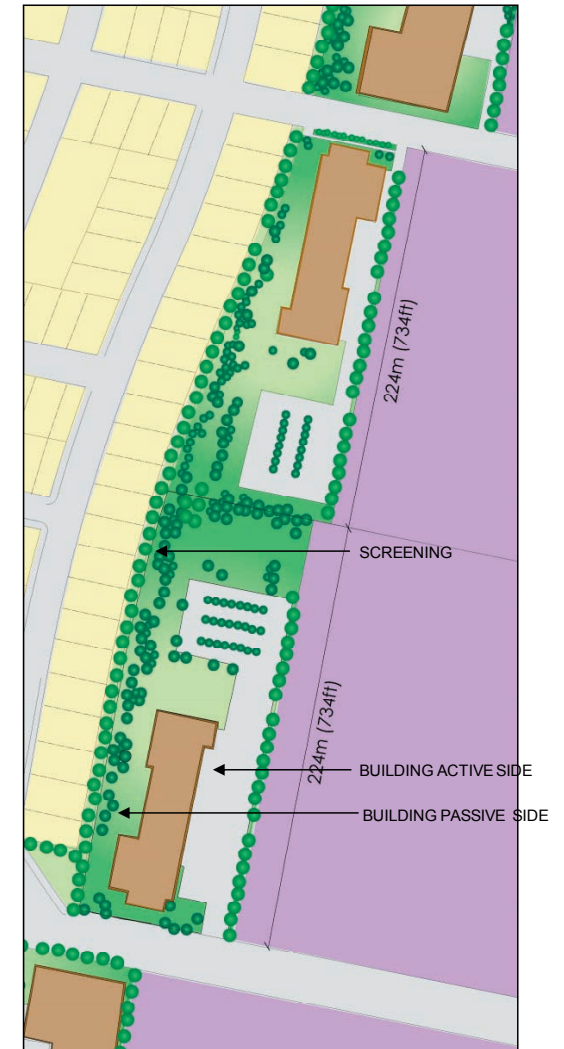
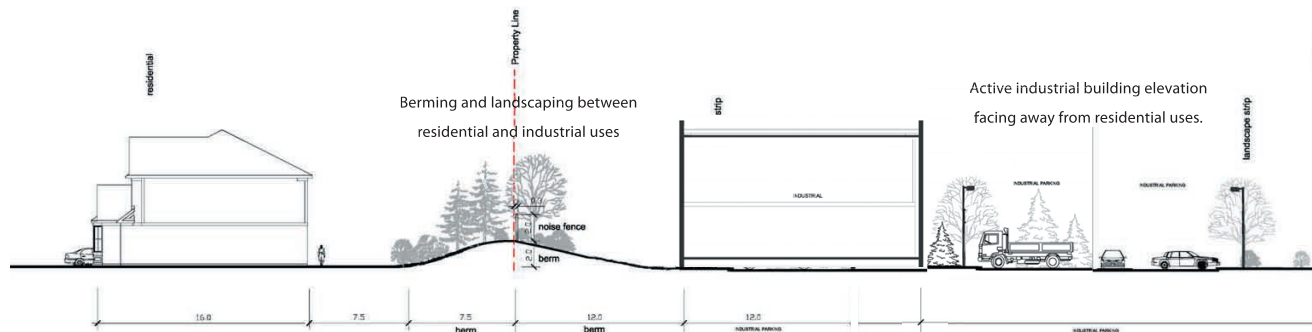
5.0 DESIGN GUIDELINES FOR INDUSTRIAL LANDS

- signs should be designed in consideration of nearby residential uses, in terms of size, materials, and location.

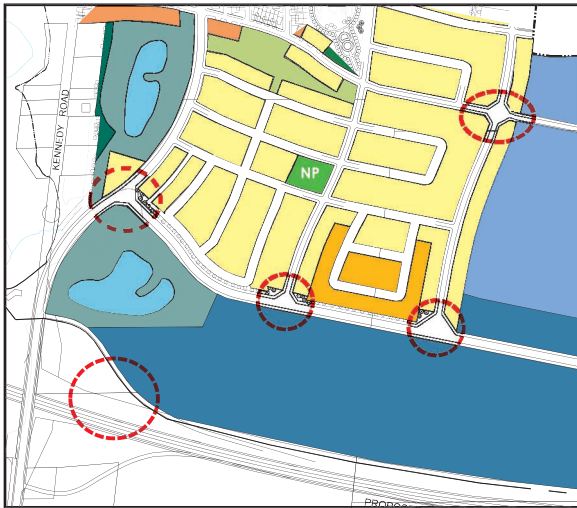
.1 Buildings Adjacent Residential Areas

Buildings adjacent residential areas should be of a height that is compatible or transitions to address the adjacent homes and should be stepped back from the street to better meet the scale of residences and provide a transition in height.

- active building elevations will face away from the residential uses to the west; and,
- a minimum 2.4m wide landscaped verge shall be provided on the industrial side adjacent to the rear or flanking lot line of the residences.
- buildings will make an effort to address the view from the adjacent residential community to the West and shall be of a size and scale that transitions well;
- architectural features such as base elements, windows, and canopies will be designed to reinforce a pedestrian scale;
- Loading doors/areas and garbage disposal shall not be located next to the residential areas; and
- a landscape buffer shall be provided for buildings which face onto or sit next to residential uses.



Industrial buildings adjacent to residential



Above: The community Gateway at the corner of Kennedy Rd. and the Industrial Collector.
Below: Industrial Gateways noted at Dixie Rd. and Heart Lake Rd.



5.3 Priority Locations

Buildings located at the intersections along the Industrial Collector from Dixie Road, should be designed to address the streets and mark community entries. Buildings shall incorporate special corner treatments, higher built form elements, and/or articulated facades that address the street edges on both frontages. Likewise, as a gateway street, any corner buildings along the Industrial Collector will incorporate the same principles.

.1 Gateway and Community Edge Buildings

For the South Fields community, there are three industrial gateways; one at the intersection of Dixie Road and the Industrial Collector, one at the intersection of Heart Lake Road and the Industrial Collector where you enter into the Prestige Industrial area, and the other at the intersection of Mayfield Road and Dixie Road.

- building massing, glazing, changes of building height, landscaping, and where present, office features may be used to frame the gateway corner;
- building siting, height, massing, and facade treatment should be articulated to reinforce the community entry locations, and where appropriate, provisions shall be made for a landscape strip sufficient in width to provide enhanced landscaping;
- tower elements, when used to address a gateway corner, should maintain an appropriate scale in relation to its neighbouring structures; and,
- special landscape and other gateway features should be provided and coordinated with the gateway buildings.

.2 Corner Buildings

Buildings located at road entries to the industrial areas should be designed to frame the street and mark corner locations. The introduction of higher elements, special corner treatment and landscaping should form the basis of building designs in these important locations.

- building identity features with landscape treatment that address the corner conditions should be considered;
- driveway access shall not be located close to the intersection;
- entrances should be clearly defined and located to address the corner; and,
- in corner conditions, the parking shall be located so as not to obstruct a connection between a possible corner entrance and the municipal sidewalk. Parking should ideally be shifted away from the immediate corner, further along the flankage or rear of the building.

5.0 DESIGN GUIDELINES FOR INDUSTRIAL LANDS

5.4 Building Location

Buildings should be placed to address the street and relate to adjacent residential areas. An active street edge can be achieved when buildings are placed with a minimum setback from the right-of-way. Further, the developer should prepare site plans consistent with the following guidelines:

- buildings shall be located to define and address public street frontages, with the entry or significant glazed feature facing onto the street. In situations where there are two frontages, such as in corner lot conditions, the entry or significant glazed feature will face the higher order street;
- the primary facade of buildings shall face the street and where possible, should be located close to the minimal setback to define the street edge; and,
- consistent setbacks shall be maintained along the street to promote a cohesive built environment.

5.5 Architectural Character

Industrial buildings exhibit different elevation treatments for the office portion of the buildings than that of the warehouse function. Architecture should reflect the various functions of the building with the highest degree of articulation related to the office function. Never the less, the warehouse portions of the buildings should be articulated to the greatest degree possible. Where appropriate a consistency in architecture/theme should be considered for industrial buildings.

.1 Building Massing

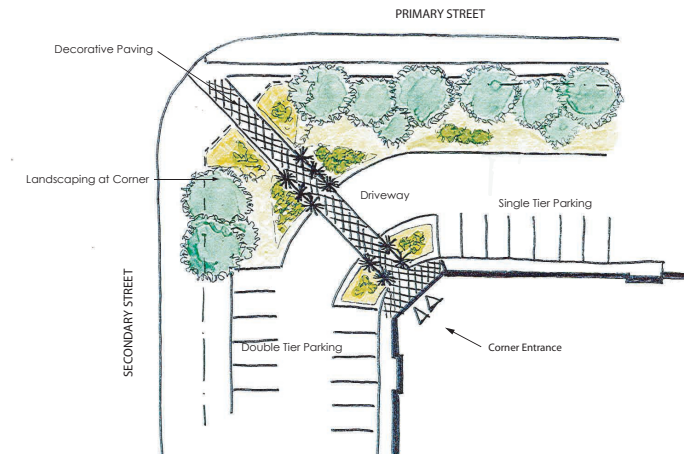
The scale of buildings should be sensitive to surrounding land uses.

- buildings should maintain an appropriate scale, in relation to adjacent uses; and,
- the arrangement of buildings along the street should provide views into the site for safety and facilitate pedestrian movement.

.2 Building Facades

Buildings along the Industrial Collector should include active facades, glazing, and pedestrian connections to project a human-scaled environment.

Building facades should incorporate windows, articulation, or clearly defined entrances. The most substantial facade



Example of a corner condition for industrial areas.



Glazing should be used to articulate street edge facades wherever possible.



A landscaped walkway clearly defines the main entry into a building.

treatments should occur facing the higher order public street. The detailed architecture of buildings should be sensitive to surrounding land uses.

- blank and undifferentiated facades along the Industrial Collector and public streets shall not be permitted without inclusion of articulated entrances or architectural elements to add visual interest;
- large and long facades shall be subdivided with the use of, for example, different materials, windows, or recesses in the building wall;
- window displays should dominate on the ground floor in areas visible to the public;
- facades, roofs, and entrances should be designed to provide visual interest to pedestrians and passing motorists;
- facades should be designed to address 'T' intersections;
- corner buildings should have a prominent built form and presence on both street frontages and should include a distinctive treatment at the corner to address the intersection;
- in order to achieve a unified building image, variety in building materials should be limited;
- individual buildings within a complex should incorporate similar or complementary architectural details;
- multi-storey buildings should be designed to express a base, middle and top through the use of materials and design elements.

.3 Window Treatments

Glazing shall be encouraged on any facade that overlooks areas of public activity.

- reflective or mirrored glass is not acceptable at grade or upper level windows/curtain walls;
- window and doors shall be Energy Star qualified;
- window mountings shall be part of the structure; and,
- window should be thermally sealed and double glazed.

.4 Building Entrances

Entrances should be prominent and clearly discernible along the building facade. Entrances to buildings shall coordinate with the placement of pedestrian walkways.

- a hierarchy of entrances should be communicated in the architecture of the building wall;
- entrances oriented towards the street are encouraged as primary entrances; and,
- steps and ramps to entrances should be integrated with the building architecture.

5.5 Roofs

A variety of roof types shall be used in the industrial areas.

- roofs should be generally complementary to the line and heights of roofs of adjacent buildings;
- parapets should be designed to accentuate the building facade;
- rooftop mechanical equipment, in the case of a mechanical penthouses, should be an integral part of the roof design; or,
- rooftop equipment should be screened from view and baffled to reduce noise.

5.6 Landscaping Guidelines

The following guidelines should be implemented where they are consistent with and permitted by the Town of Caledon's requirements on collector roads. A distinctive landscape should be implemented on institutional uses and industrial lands to encourage pedestrian traffic and complement building architecture.

- landscaping shall meet the requirements of the Industrial Design Guidelines for the Town of Caledon;
- street frontages should include landscape and architectural features to add interest to the street and to encourage pedestrian traffic;
- a human-scale environment should be implemented adjacent the public right-of-way and along the fronts of buildings;
- a consistent street frontage should be maintained to reinforce community image;
- 6.0m minimum landscape buffers should be maintained along industrial frontages and arterial and collector roads;
- where possible, landscaped islands should be implemented at the end of parking rows within large expanses of parking areas;
- building entrances and pedestrian walkway connections from building frontages shall be accented by landscaping;
- landscaping shall not obstruct visibility into the site;
- plant material used in the landscape of industrial sites should be consistent with approved community planting plans and community character;
- plant material and street trees should be chosen to withstand road side conditions and to maintain views of commercial facades and signage; and,
- planting within the landscape buffers may include some ornamental planting within the arterial edge, integrated with sidewalk connections.



The use of glazing and landscape treatments animate facades

5.7 Parking Areas

Parking should not dominate the street edge or obstruct views of commercial and industrial uses.

- parking lots should be located, wherever feasible, at the sides and rear of buildings;
- where parking is necessary in front of the building, the parking lot, with up to two tiers of parking, where other options are not available, and shall be screened from view;
- large parking areas, and their access, should be combined between adjacent buildings where feasible and located in “parking courts” to reduce the impact of parking lots on the street edge;
- larger parking areas should be broken up by landscaped parking islands of a minimum of 2.5m landscaped islands at the end of parking rows where possible; and,
- front parking lots should be graded to a standard curb height below the level of the sidewalk to minimize views of cars from the road.



Integrate landscaping into parking lots.