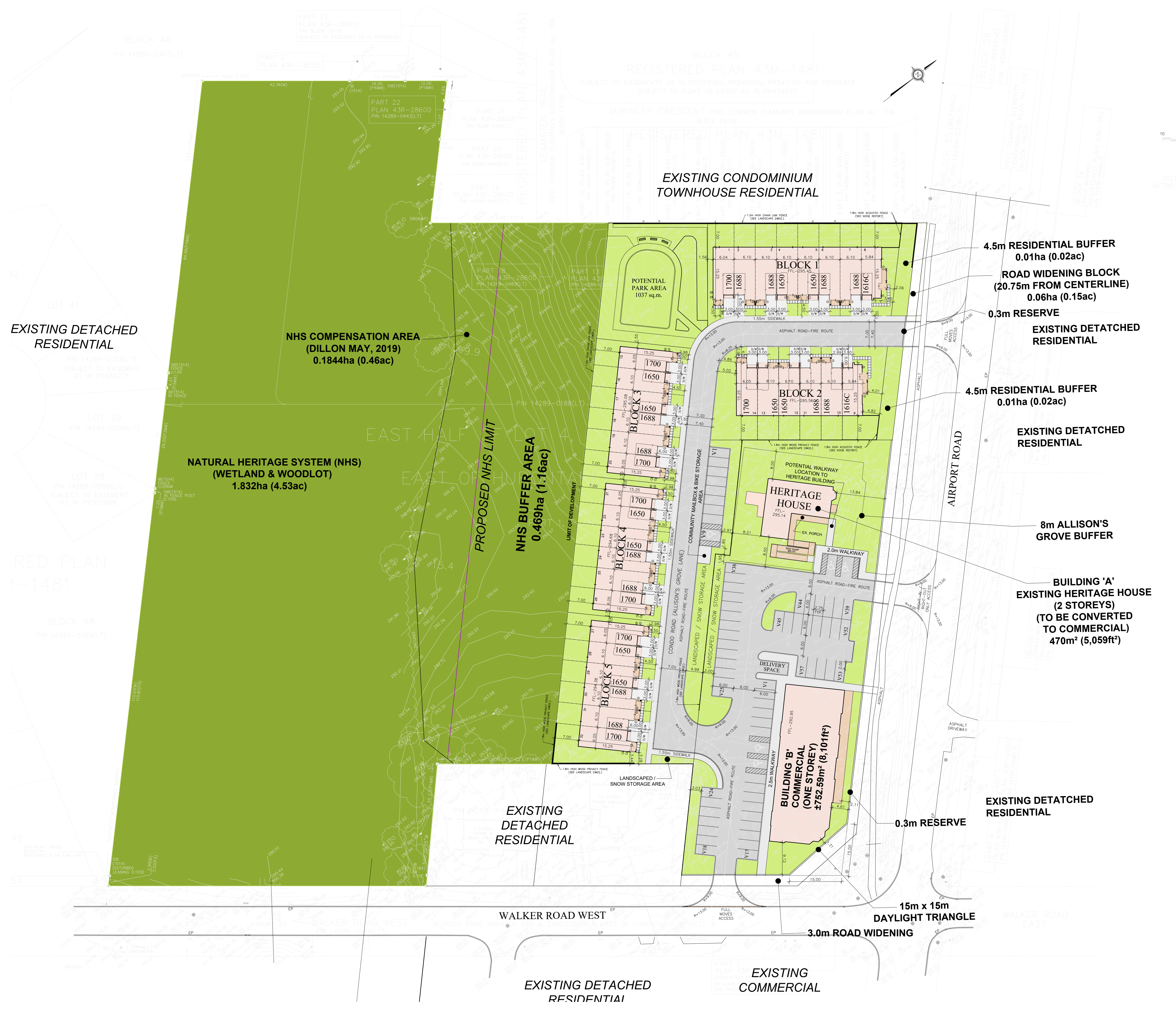
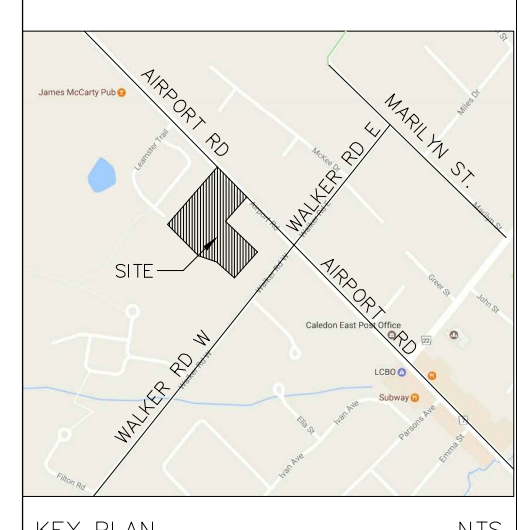




- GENERAL NOTES**
1. Builder and Surveyor to confirm difference between FTL and USF before proceeding with excavation. Report discrepancies to the Architect.
 2. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder immediately.
 3. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. 8 mm. slopes for yards, roads & drives and clearances to street furniture and services for drainage.
 4. The builder shall check and verify all given grade elevations and drainage prior to commencement of construction. Builder shall verify location of existing and proposed utilities prior to commencement of construction.
 5. Footings to be on natural undisturbed soil and be a min. of 120m below finished grade. Underneath of footings shown are taken from architectural plans and may not represent actual footing level.
 6. All dimensions and grade elevations are shown in metres.
 7. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 inches of entries must be made to give entry into house. Maintain top of foundation wall min. 0.10m above finished grade.
 8. Unpermitted quantities (excavations) must be min 1.2m from lot lines. Builder to verify location of all existing utilities to lot line to maintain min. setback for unpermitted openings.
 9. These General Notes apply to all drawings for Site & Grading including staking on individual sheets.
 10. Footing adjacent to R.L.C.B. lot to be extended to undisturbed ground and verified by soil consultant.

NOTES:
ACCESSIBLE PARKING SPACES SHALL COMPLY WITH SCHEDULE K OF BY-LAW 2015-058.

THE ENTRANCES TO THE RETAIL / COMMERCIAL BUILDINGS ARE TO BE BARRIER FREE WITH EITHER POWER DOOR OPERATORS OR SLIDING DOOR FEATURES AS PER THE ONTARIO BUILDING CODE.



- LEGEND:**
- EXISTING ELEVATION
 - PROPOSED ELEVATION
 - 1.8m HIGH WOOD FENCE
 - 1.5m HIGH WOOD FENCE
 - 2.0m HIGH WOOD FENCE
 - 3.0m HIGH WOOD FENCE
 - 4.0m HIGH WOOD FENCE
 - 5.0m HIGH WOOD FENCE
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 - 97.0m HIGH WOOD FENCE
 - 98.0m HIGH WOOD FENCE
 - 99.0m HIGH WOOD FENCE
 - 100.0m HIGH WOOD FENCE

DEVELOPMENT CONCEPT PLAN				
SHACCA CALEDON HOLDINGS INC.				
16114 AIRPORT ROAD				
PART 1, PLAN OF PART OF LOT 4, CONCESSION 6, E.H.S.				
TOWN OF CALEDON, REGION OF PEEL				
Development Statistics - Total Site				
Wetland / Woodlot		1.832ha (4.53ac)		
Compensation Area:		0.1844ha (0.46ac)		
Compensation Area Buffer:		0.469ha (1.16ac)		
Potential Park:		0.1037ha (0.26ac)		
Net Residential Area*:		0.842ha (2.08ac)		
Commercial Area:		0.555ha (1.37ac)		
Road Widening & 0.3m Reserve:		0.10ha (0.25ac)		
Gross Site Area:		4.09ha (10.11ac)		
Net Site Area*:		1.50ha (3.71ha)		
Development Statistics - 6.1m Condo Townhouse Residential				
Total Units:		32 Units		
Net Residential Density:		32 Units / 0.842ha = 38.0 UPH		
Total Visitor Parking:		9 Spaces (0.28 per unit)		
Total Landscaped / Snow Storage:		361m²		
Total Hard Surface (HS) Area:		1.830m²		
Total Snow Storage % of HS Area:		10.7%		
Total Parkland Dedication required:		0.042ha (5%)		
Total Parkland Dedication provided:		0.1037ha (12%)		
Development Statistics - Retail Commercial (Buildings A & B)				
Total GFA:		1,222.59m² (13,160ft²)		
Building Coverage:		17.8%		
Total Landscaped / Snow Storage:		624m²		
Total Hard Surface (HS) Area:		2,572m²		
Total Snow Storage % of HS Area:		24.2%		
Total Parking Required:		62 Spaces (1 space per 20m²)		
Total Parking Provided:		59 Spaces		
Total Barrier Free Parking Required:		3 (2 Type 'A' ; 1 Type 'B')		
Total Barrier Free Parking Provided:		4 (2 Type 'A' ; 2 Type 'B')		
Delivery Spaces Required:		1		
Delivery Spaces Provided:		1		
Notes:				
Net Site Area only includes: Net Residential Area, Commercial & Potential Park				
Net Residential Area includes 4.5m Residential Buffers				
Typical Parking Space: 2.75m x 6.0m				
Typical Type 'A' Barrier Free Space: 3.4m x 6.0m				
Typical Type 'B' Barrier Free Space: 2.75m x 6.0m				
Typical Barrier Free Aisle: 1.5m x 6.0m				
Typical Delivery Space: 3.5m x 9.0m				
Wetland / Woodlot constraint information provided by Dillon Consulting				
TOWNHOUSE UNIT BREAKDOWN				
MODEL	UNITS NUMBER	HEIGHT (STORES)	UNIT GFA (SF)	TOTAL GFA (SF)
TOWNHOUSE				
TYPE 1				
CORNER	2	2	1616	3232
INTERIOR	12	2	1688	20256
INTERIOR	10	2	1650	16500
END	8	2	1700	13600
TOTAL	32			53588 ft² 4978.32 m²
DENSITY			$\frac{32 \text{ Units}}{0.842 \text{ Ha}} = 38.0 \text{ UPH/ha}$	
FLOOR SPACE INDEX (FSI)		$\frac{\text{Gross floor area}}{\text{Gross site area}} = \frac{0.842 \text{ Ha}}{1.50 \text{ Ha}} = 0.562$		
ROAD WIDTH				7.0 m
CL ROAD RADIUS				13.0 m
TOTAL VISITOR PARKING: 9 Spaces (0.28 per unit)				
COMMERCIAL STATISTICS				
SITE AREA			5555.00 m²	
COVERAGE			1000.00 m²	18.0%
PARKING, WALKWAY			2472.00 m²	44.5%
LANDSCAPE			2083.00 m²	37.5%
COMMERCIAL G.F.A.			1222.59 m²	
Total Parking Required: 62 Spaces (1 space per 20m²)				
Total Parking Provided: 59 Spaces				
Total Barrier Free Parking Required: 3 (2 Type 'A' ; 1 Type 'B')				
Total Barrier Free Parking Provided: 4 (2 Type 'A' ; 2 Type 'B')				
Delivery Spaces Required: 1				
Delivery Spaces Provided: 1				

Date	Ref.	Description
10.25.19	FP	UPDATED & ISSUED FOR CITY SUBMISSION
09.24.19	FP	UPDATED COMMERCIAL BLOCK & ADJUSTED STATISTICS
09.13.19	FP	UPDATED GFA FOR CORNER MODEL & ADJUSTED STATISTICS
09.18.19	FP	REV. SITE PER NEW DRAFT PLAN
04.07.17	FP	ADDED MATRIX, LOT NUMBERS & UPDATED STATISTICS
03.01.17	CZ	ADJUSTED RETAIL COMMERCIAL
02.22.17	CZ	UPDATED BUILDING FOOTPRINTS & STATS
02.01.17	CZ	PRELIMINARY SITE PLAN
Date	Ref.	Description
Drawn	CZ	
Date	01/27/17	
Checked		
Approved		
Printed	07.18.19	
CAD File	61338-SP5.DWG	
The Architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractors to carry out the work in accordance with the Contract Documents. Any discrepancies are to be reported to the Architect. Single pages of documents are not to be read independently of all pages of the Contract Documents. The contractor shall verify all dimensions on the Contract Documents. Any discrepancies prior to the commencement of the work. Under no circumstances shall the Contractor or sub-contractors proceed in uncertainty. Do not scale drawings.		

architects inc.
70 Silton Road, Unit #01,
Woodbridge, Ontario, L4L 8B9
(905) 865-2688

SP

Shacca Caledon Holdings

PROPOSED CONDOMINIUM TOWNHOUSE DEVELOPMENT

16114 AIRPORT ROAD TOWN OF CALEDON ONTARIO

16114 AIRPORT ROAD
PART OF LOT 4, CONCESSION 6, E.H.S.
BEING PART 1 ON 43R-20293
EXCEPT PARTS 1&2 ON 43R-21686
AND PART LOT 4, CONCESSION 6, E.H.S.
BEING PART 1 ON 43R-21686
TOWN OF CALEDON, REGION OF PEEL

Sheet Title: SITEPLAN
Scale: 1:500
Sheet Number: 16-1338-SP1