Name of Practice: J. Gorka Architect
261 Willowdale Avenue. Toronto, ON M2N 4Z8, tel: (416) 226 9709

Name of Project:
Proposed Asphalt Mixing Plant Facilities

Location:
12425 Coleraine Drive, Bolton, ON

ONTARIO ASSOCIATION OF ARCHITECTS — JACEK A. GORKA — LICENCE 2961 — 17/05/2018

Ontario Building Code Data Matrix Parts 3 or 9

Item		Building Code Reference (References are to Division B unless noted [A] for Division A or [C] for Division C)		
			■ Part 3	☐ Part 9
1	Project Description: ■ New ☐ Addition ☐ Alteration ☐ Change of Use	☐ Part 11 11.1.1 to 11.4	1.1.2. [A]	1.1.2. [A] & 9.10.1.3.
2	Major Occupancy(s) BUSSINES OFFICES & LOW HAZARD INDUSTRIAL		3.1.2.1.(1)	9.10.2.
3	Building Area (m²) Existing ____ New 674.00 Total 674.00		1.4.1.2. [A]	1.4.1.2. [A]
4	Gross Area Existing ____ New 1,042.00 Total 1,042.00		1.4.1.2. [A]	1.4.1.2. [A]
5	Number of Storeys Above grade 2 Below grade 0		1.4.1.2. [A]&3.2.1.1.	1.4.1.2[A] & 9.10.4
6	Number of Streets/Fire Fighter Access 2		3.2.2.10. & 3.2.5.	9.10.20
7	Building Classification D / F1		**3.2.2.56**	9.10.2.
8	Sprinkler System Proposed ■ entire building ☐ selected compartments ☐ selected floor areas ☐ basement ☐ in lieu of roof rating ☐ not required		**3.2.2.56** 3.2.1.5. 3.2.2.17. INDEX	9.10.8.2. INDEX
9	Standpipe required ☐ Yes ■ No		3.2.9.	N/A
10	Fire Alarm required ☐ Yes ■ No		3.2.4.	9.10.18.
11	Water Service/Supply is Adequate ■ Yes ☐ No		3.2.5.7.	N/A
12	High Building ☐ Yes ■ No		3.2.6.	N/A
13	Construction Restrictions ☐ Combustible permitted ☐ Non-combustible required ■ Both ☐ Both; Actual Construction ☐ Combustible ■ Non-combustible		3.2.2.20 - 83	9.10.6.
14	Importance Category ☐ Low ■ Med ☐ High ☐ Post-disaster		4.1.2.1.(3) **5.2.2.1.(2)**	**9.4.1.1.** 4.1.2.1.(3) **5.2.2.1.(2)**
	Site Class (A,B,C,D,E from Geotechnical Report)		4.1.8.4.	4.1.8.4.
	Earthquake importance factor (I_E)	____	T.4.1.8.5.	T.4.1.8.5.
	Acceleration based coefficient (Fa)	____	T.4.1.8.4.B	T.4.1.8.4.B
	5% Spectral Response Acceleration Sa (0.2)	____	4.1.8.4.(1) & SB-1, T.1.2.	4.1.8.4.(1) & SB-1, T.1.2.
	Seismic Hazard Index	I_E Fa Sa (0.2) = ____	4.1.8.18.(1)	4.1.8.18.(1)
	Design for Seismic Required for Categories 6 to 21. Table 4.1.1.18. (Equal or Above 0.35?) (Yes or No)	____	4.1.8.18.(2)	4.1.8.18.(2), 9.20.1.2., 9.31.6.2.(3)
15	Mezzanine(s) Area m² N/A		3.2.1.1.(3)-(8)	9.10.4.1.
16	Occupant load based on ☐ m²/person ■ design of building		3.1.17.	9.9.1.3.
	Basement: Occupancy N/A Load N/A persons			
	1st Floor Occupancy D / F1 Load 55 persons			
	2nd Floor Occupancy D Load 40 persons			
17	Barrier-free Design ■ Yes ☐ No (Explain) ____		3.8.	9.5.2.
18	Hazardous Substances ☐ Yes ■ No		3.3.1.2. & 3.3.1.19.	9.10.1.3.(4)
19	Required Fire Resistance Rating (FRR)		3.2.2.20 - 83 & 3.2.1.4.	9.10.8. 9.10.9.

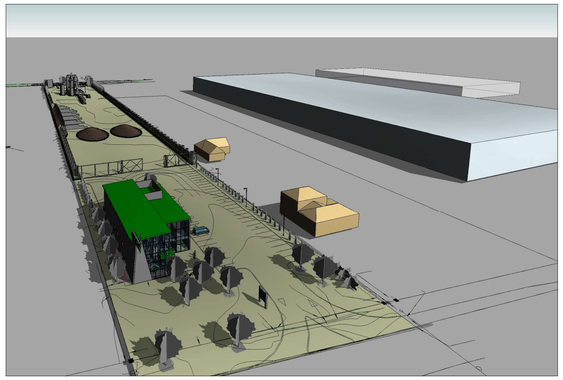
Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours)		Listed Design No. or Description (SG-2)
Floors	0	Hours	N/A
Roof	0	Hours	N/A
Mezzanine N/A		Hours	N/A
	FRR of Supporting Members		Listed Design No. Or Description (SG-2)
Floors	0	Hours	N/A
Roof	0	Hours	N/A
Mezzanine N/A		Hours	N/A

20 Spatial Separation – Construction of Exterior Walls — 3.2.3. — 9.10.14.

Wall	Area of EBF (m²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Const. Noncombustible Cladding	Non-combustible Construction
North	462.00	6.43	1/2	12%	3.99%	1h	B1			X
South	462.00	34.34	1/2	100%	51.59%	N/A	------			X
East	202.00	404.60	1/2	100%	5.70%	N/A	------			X
West	202.00	40.61	1/2	100%	78.70%	N/A	------			X

21 Plumbing Fixture Requirements

	Occupant Load	BC Table Number	Fixtures Required	Fixtures Provided	Building Code Reference ■ Part 3	☐ Part 9
Male/Female Count @ 50% / 50%, except as noted otherwise						
Basement: Occupancy N/A						
Occupancy N/A						
1st Floor: Occupancy D	45	3.7.4.7.	4	4		
Occupancy F1	9	3.7.4.9.	1	1		
2nd Floor: Occupancy D	40	3.7.4.7.	4	4		



2 3D View 1 Aerial

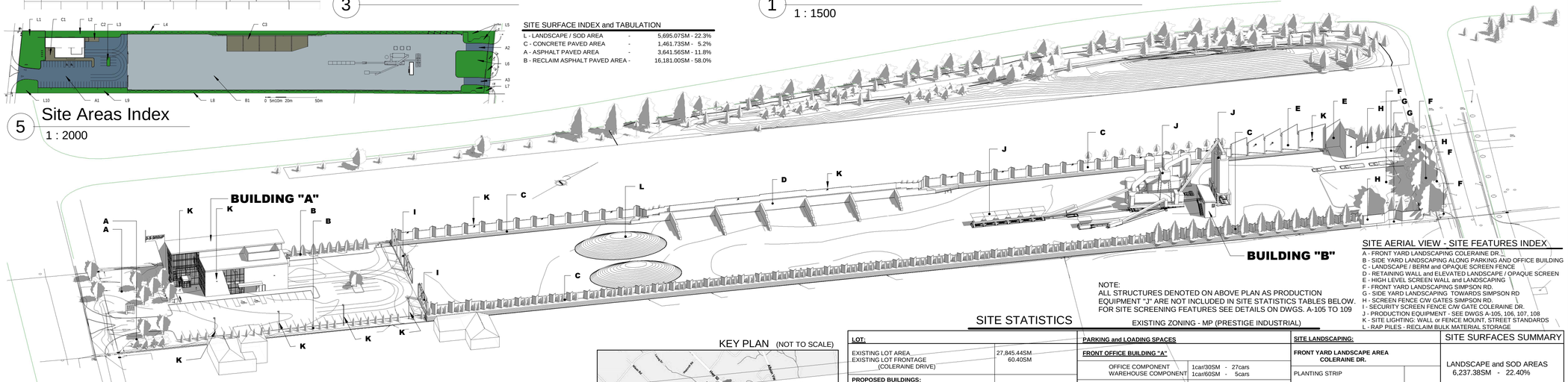
3 3D View 4 Aerial

1 Site Context
1 : 1500

SITE SURFACE INDEX and TABULATION

L - LANDSCAPE / SOD AREA	-	5,695.07SM - 22.3%
C - CONCRETE PAVED AREA	-	1,461.73SM - 5.2%
A - ASPHALT PAVED AREA	-	3,641.56SM - 11.8%
B - RECLAIM ASPHALT PAVED AREA	-	16,181.00SM - 58.0%

5 Site Areas Index
1 : 2000



SITE AERIAL VIEW - SITE FEATURES INDEX

A - FRONT YARD LANDSCAPING COLERAINE DR.
B - SIDE YARD LANDSCAPING ALONG PARKING AND OFFICE BUILDING
C - LANDSCAPE / BERM and OPAQUE SCREEN FENCE
D - RETAINING WALL and ELEVATED LANDSCAPE / OPAQUE SCREEN
E - HIGH LEVEL SCREEN WALL and LANDSCAPING
F - FRONT YARD LANDSCAPING SIMPSON RD.
G - SIDE YARD LANDSCAPING TOWARDS SIMPSON RD
H - SCREEN FENCE C/W GATES SIMPSON RD.
I - SECURITY SCREEN FENCE C/W GATE COLERAINE DR.
J - PRODUCTION EQUIPMENT - SEE DWGS A-105, 106, 107, 108
K - SITE LIGHTING: WALL or FENCE MOUNT, STREET STANDARDS
L - RAP PILES - RECLAIM BULK MATERIAL STORAGE

NOTE:
ALL STRUCTURES DENOTED ON ABOVE PLAN AS PRODUCTION EQUIPMENT "J" ARE NOT INCLUDED IN SITE STATISTICS TABLES BELOW. FOR SITE SCREENING FEATURES SEE DETAILS ON DWGS. A-105 TO 109

4 Site Aerial View

SITE STATISTICS

EXISTING ZONING - MP (PRESTIGE INDUSTRIAL)

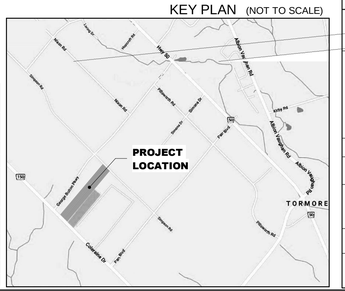
LOT:	
EXISTING LOT AREA	27,845.44SM
EXISTING LOT FRONTAGE (COLERAINE DRIVE)	60.40SM
PROPOSED BUILDINGS:	
FRONT OFFICE BUILDING "A"	
BUILDING AREA	674.00SM
BUILDING G.F.A (INCL. 789.00SM OFFICE)	1,042.00SM
BUILDING HEIGHT	12.77M (14.84 W. SIGN)
SUPERVISION BUILDING "B"	
BUILDING AREA	46.00SM
BUILDING G.F.A	46.00SM
BUILDING HEIGHT	6.52M
LOT COVERAGE	2.60%
PROPOSED BUILDING SETBACKS: (COLERAINE DRIVE OFFICE BUILDING)	
FRONT YARD SETBACK (COLERAINE DR.)	22.67M
SETBACK TO C.L COLERAINE DR. (APPROX.)	40.61M
SIDE YARD SETBACK SOUTH	34.34M
SIDE YARD SETBACK NORTH	6.47M
PROPOSED BUILDING SETBACKS: (SIMPSON RD. SUPERVISION BUILDING)	
FRONT YARD SETBACK (SIMPSON RD.)	74.77M
SIDE YARD SETBACK SOUTH	17.98M
SIDE YARD SETBACK NORTH	30.47M

PARKING and LOADING SPACES	
FRONT OFFICE BUILDING "A"	
OFFICE COMPONENT	1car/30SM - 27cars
WAREHOUSE COMPONENT	1car/60SM - 5cars
SUPERVISION BUILDING "B"	1car/30sm - 2cars
	REQUIRED - 34 cars
TOTAL PARKING PROVIDED	PROVIDED - 56 cars
LOADING SPACES	
FRONT OFFICE / WAREHOUSE	1 (4.00M x 15.00M) 1 GARBAGE ENCL. (3.95M x 4.00M) pickup area 4.00M x 10.05M
PRODUCTION AREA	7 (3.50M x 12.00M - DELIVERY) SUBJECT TO EQUIPMENT REQUIREMENTS
PARKING AREA SETBACK	
FRONT	21.02M
SIDE	5.30M
	NOTE: SEE SITE CALLOUTS FOR PRODUCTION AREA CLARIFICATIONS
DRIVEWAY SETBACKS	
ABUTTING RESIDENTIAL LOT	6.33M
ABUTTING ANY OTHER LOT	5.30M

SITE LANDSCAPING:		
FRONT YARD LANDSCAPE AREA COLERAINE DR.		
PLANTING STRIP		
ABUTTING ARTERIAL ROAD	21.02M	
ABUTTING ANY OTHER ROAD	6.00M	
SIDE YARD LANDSCAPE STRIP		
NORTH	6.13M	
SOUTH	5.30M	
FRONT YARD LANDSCAPE AREA SIMPSON RD.		
PLANTING STRIP	6.00M	
SIDE YARD LANDSCAPE STRIPS		
NORTH	3.20M	
SOUTH	3.20M	
SITE SCREENING FEATURES		SEE VIEW ABOVE
I COLERAINE DR. FENCE		
H SIMPSON RD. SCREEN		
B, C, D, SIDE YARD SCREEN FENCE		
E HIGH LEVEL FENCE		

SITE SURFACES SUMMARY
LANDSCAPE and SOD AREAS 6,237.38SM - 22.40%
ASPHALT PAVED AREAS 3,641.56SM - 11.80%
RECLAIM ASPHALT AREA 16,181.00SM - 58.00%
CONCRETE PAVED AREAS 1,461.73SM - 5.20%
NOTE: FOR ALL PARTICULAR DIMENSIONS AND DETAILS REFER TO SITE PLAN CALLOUTS

KEY PLAN (NOT TO SCALE)



LEGAL DESCRIPTION

PLAN SHOWING AS BUILT FEATURES AND GRADING
PART OF LOT 3, CONCESSION 6
(GEOGRAPHIC TOWNSHIP OF ALBION, COUNTY OF PEEL)
TOWN OF CALEDON
REGIONAL MUNICIPALITY OF PEEL
KNOWN AS 12415 COLERAINE DRIVE

ALL SITE INFORMATION DERIVED FROM SURVEY BY YOUNG & YOUNG SURVEYING INC.

Sheet List

Count	Sheet Number	Sheet Name
1	A101	Site Context Areal Views and PROJECT INFORMATION
1	A102	OVERALL SITE PLAN and FRONT OFFICE COMPONENT
1	A103	Office Building Floor Plans Building Sections & Roof Plan
1	A104	Office Building Elevations and Perspective View
1	A105	Overall Site Elevations and Reference Perspective Views
1	A106	Material Storage Screens and Fence Details & Profiles
1	A107	Production Facility Site Plan and Partial Site Profile
1	A108	Production Area Screening and Production Supervision Office
1	A109	SIMPSON ROAD ACCESS AND SCREENING
Grand total: 9		

REVISIONS, RECORDS

No.	Date	Subject
01	15/01/2018	ISSUED FOR PRELIMINARY REVIEW
02	01/02/2018	UPDATED AS PER COMMENTS
03	10/04/2018	ISSUED FOR COORDINATION
04	27/04/2018	ISSUED FOR SITE PLAN APPLICATION
05	17/05/2018	CONSULTANTS COORDINATION

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J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS — JACEK A. GORKA — LICENCE 2961 — 17/05/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
Site Context Areal Views and PROJECT INFORMATION

DRAWING COMMENCED	
DRAWING SCALE	As indicated
DRAWN BY:	JG
CHECKED BY:	JG
COMMISSION No:	2018-03
DRAWING No:	A101

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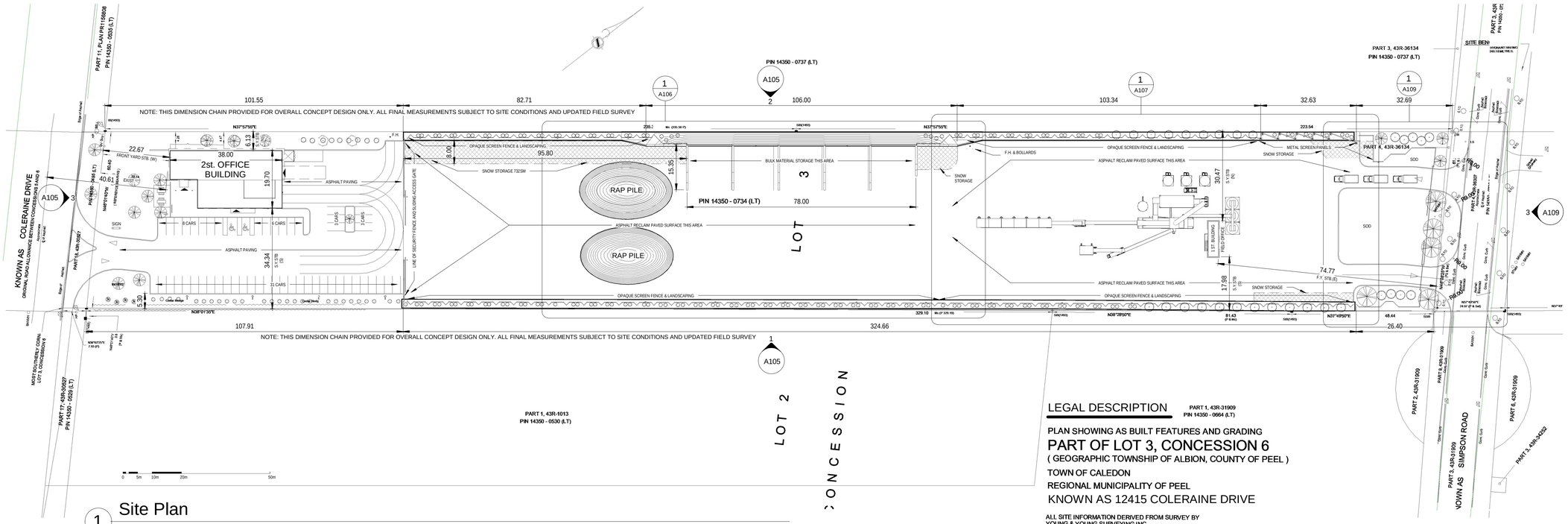

LEGAL DESCRIPTION

PART 1, 43R-31909
PIN 14350 - 0664 (LT)

PLAN SHOWING AS BUILT FEATURES AND GRADING

PART OF LOT 3, CONCESSION 6

(GEOGRAPHIC TOWNSHIP OF ALBION, COUNTY OF PEEL)

TOWN OF CALEDON

REGIONAL MUNICIPALITY OF PEEL

KNOWN AS 12415 COLERAINE DRIVE

ALL SITE INFORMATION DERIVED FROM SURVEY BY
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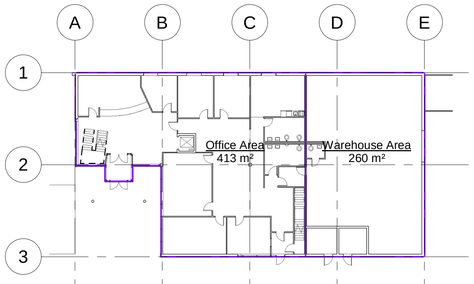
1 Site Plan

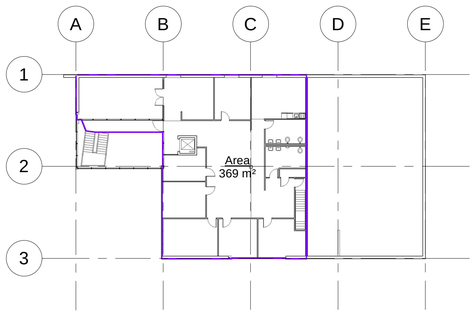
1 : 700



NOTE: BUILDING AREA - 674.00SM

2 Level 1 Building Areas

1 : 300

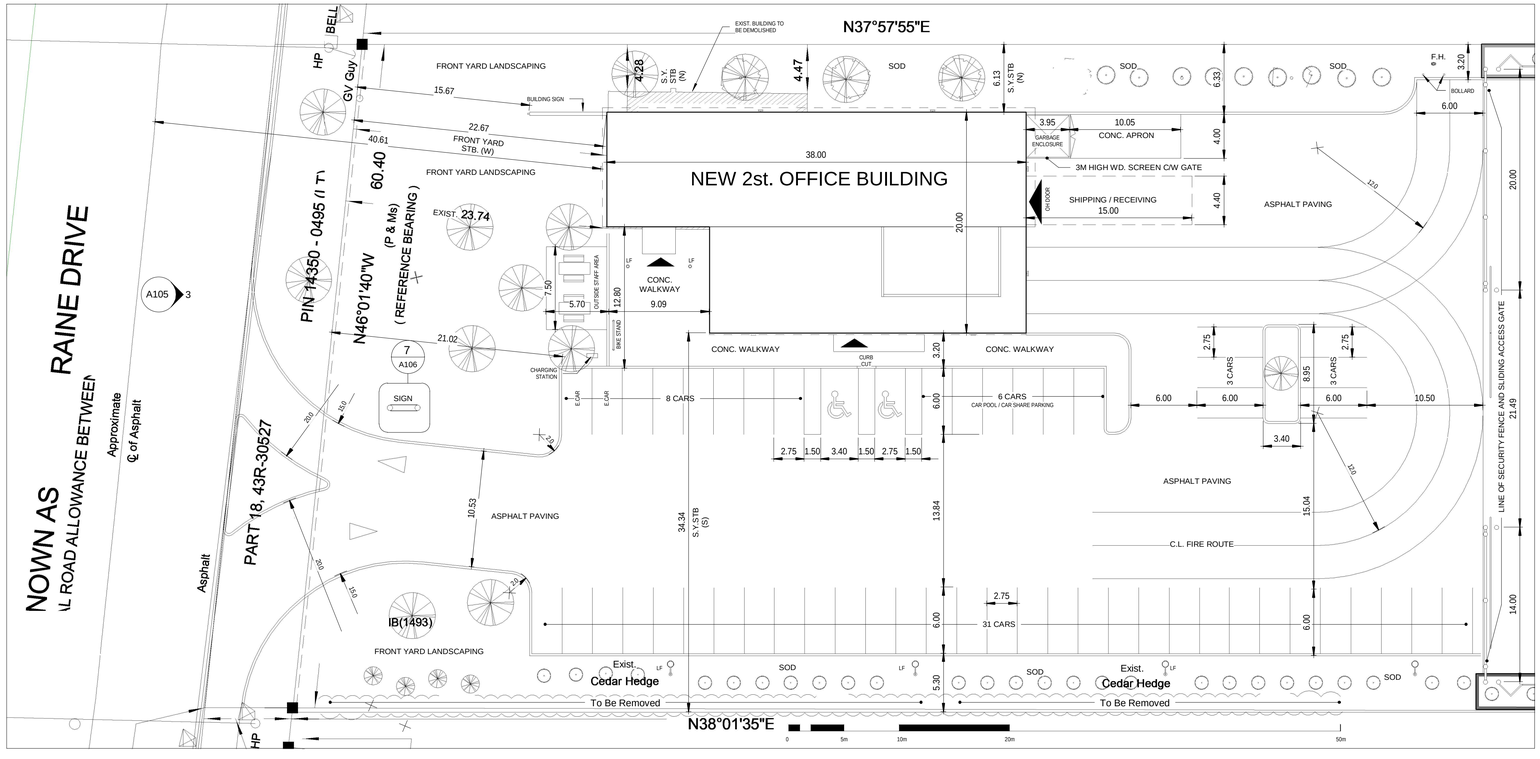


NOTE: COMBINED GFA THIS BUILDING - 1,042.00SM

3 Level 2 Building Areas

OFFICE AREA 369.00SM

1 : 300



4 Partial Site Plan Front Area

1 : 250

REVISIONS, RECORDS

No.	Date	Subject
01	15/01/2018	ISSUED FOR PRELIMINARY REVIEW
03	10/04/2018	ISSUED FOR COORDINATION
04	27/04/2018	ISSUED FOR SITE PLAN APPLICATION
05	17/05/2018	CONSULTANTS COORDINATION

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J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS
JACEK A. GORKA
LICENCE 3941
17/05/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
OVERALL SITE PLAN and FRONT OFFICE COMPONENT

DRAWING COMMENCED	2018/...../.....
DRAWING SCALE	As indicated
DRAWN BY:	J.G.
CHECKED BY:	J.G.
COMMISSION No:	2018-03
DRAWING No:	A102

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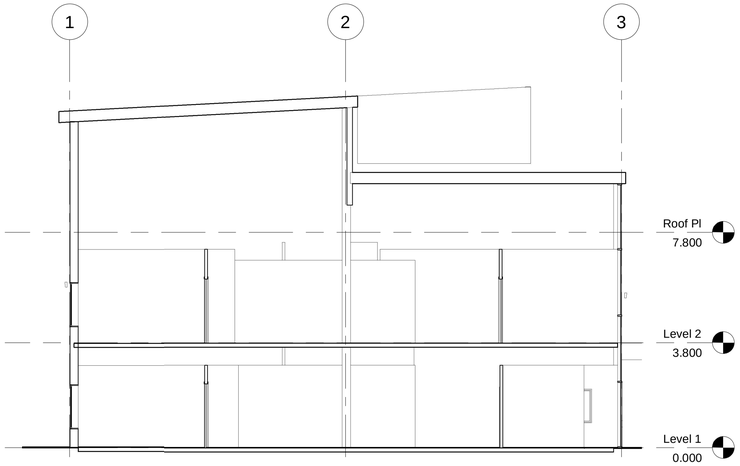
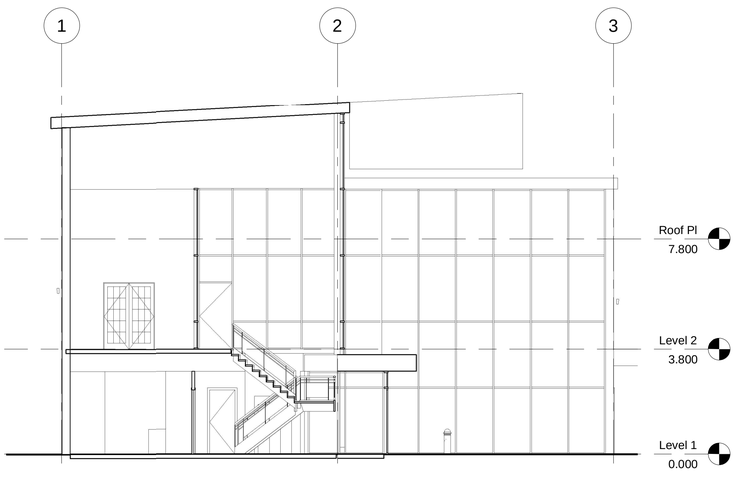


3 Section 4
1 : 100



4 Section 5
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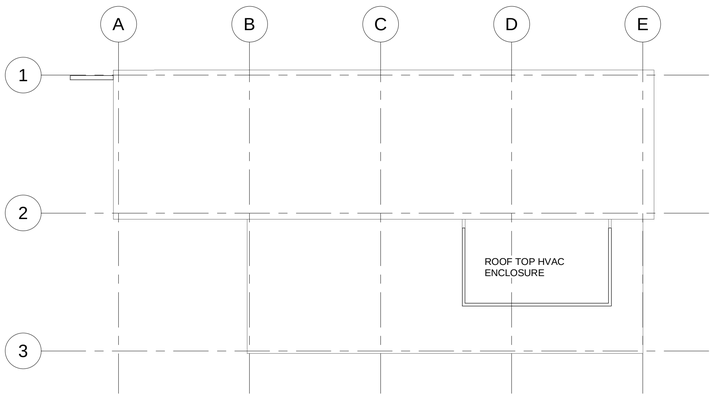
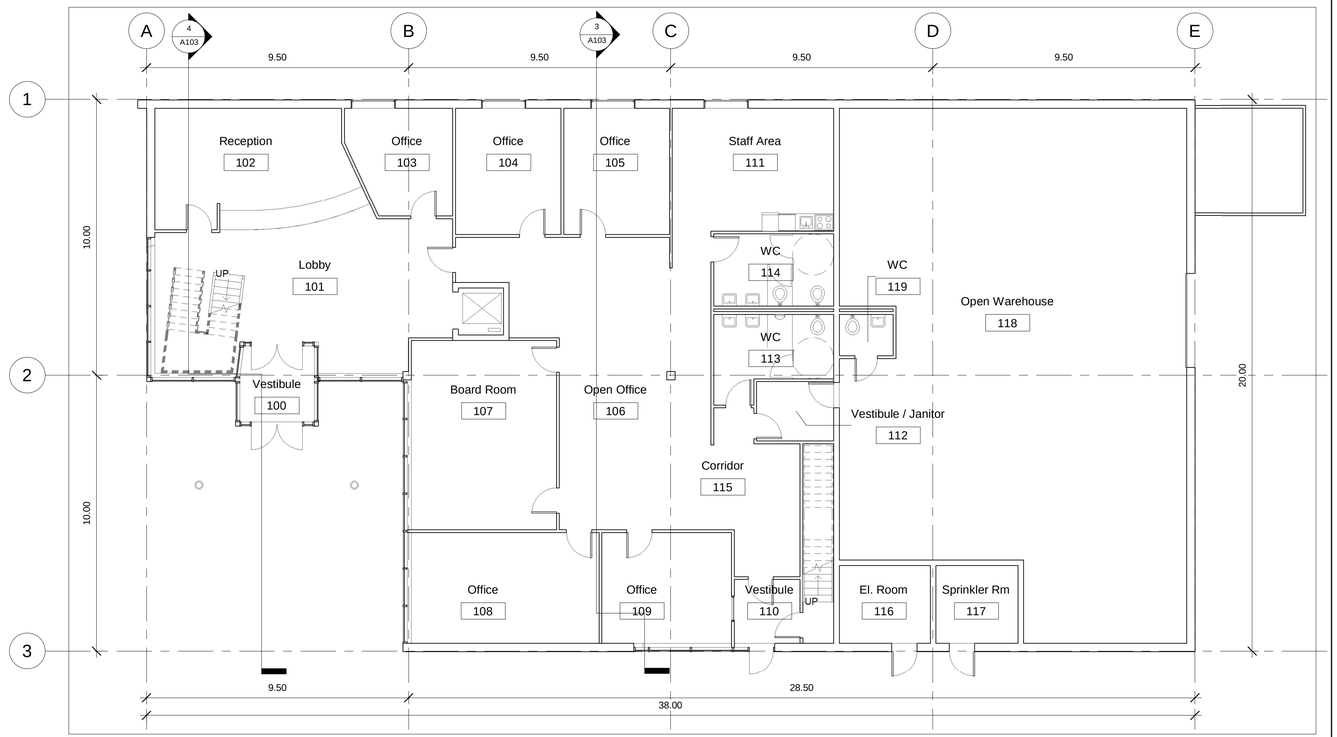
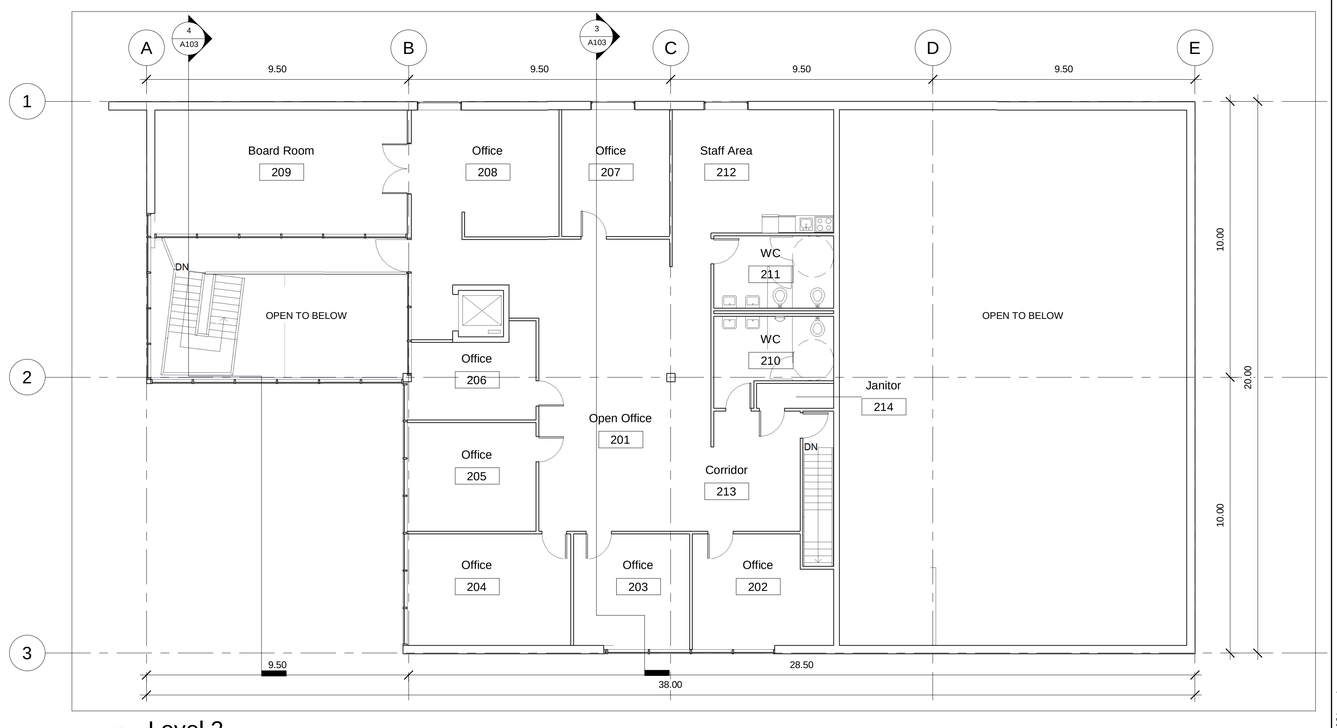


5 Roof Pl
1 : 200



1 Level 1
1 : 100



2 Level 2
1 : 100

REVISIONS, RECORDS

No.	Date	Subject
01	15/01/2018	ISSUED FOR PRELIMINARY REVIEW
03	10/04/2018	ISSUED FOR COORDINATION
04	27/04/2018	ISSUED FOR SITE PLAN APPLICATION
05	17/05/2018	CONSULTANTS COORDINATION

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J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS
JACEK A. GORKA
LICENCE
5961
17/05/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
Office Building Floor Plans
Building Sections & Roof Plan

DRAWING COMMENCED	
DRAWING SCALE	As indicated
DRAWN BY:	J.G.
CHECKED BY:	J.G.
COMMISSION No:	2018-03
DRAWING No:	A103

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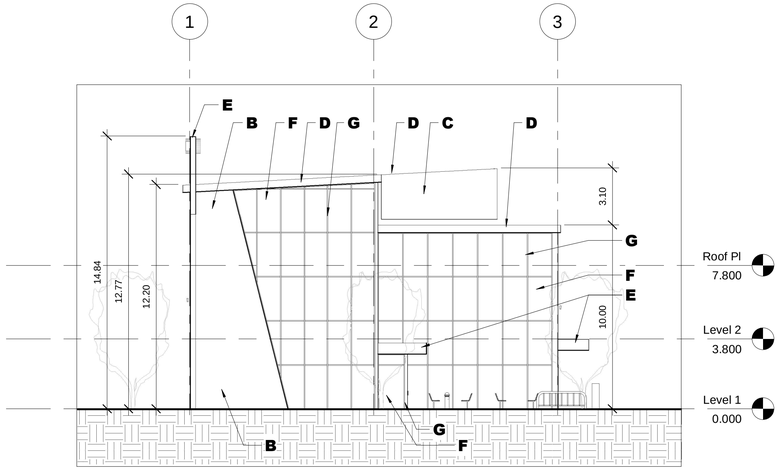
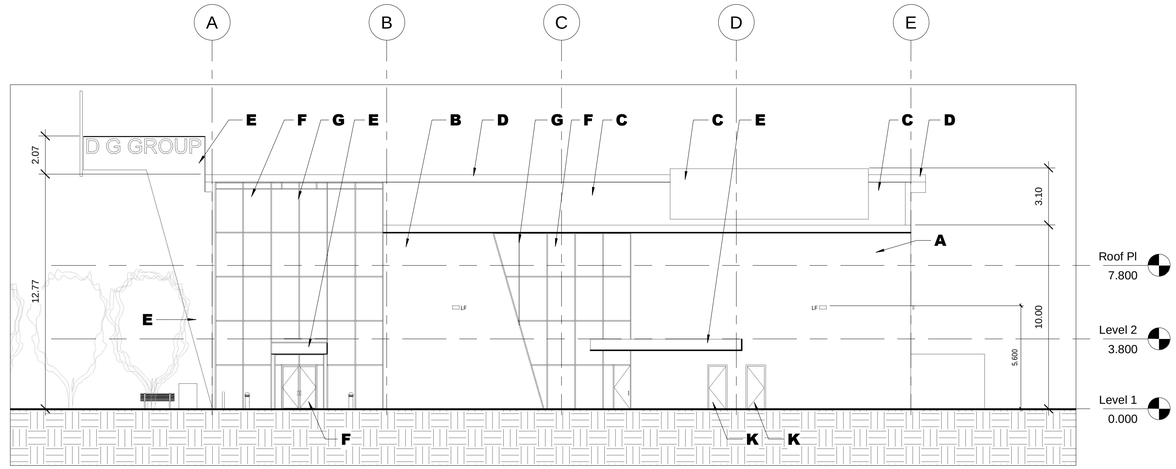
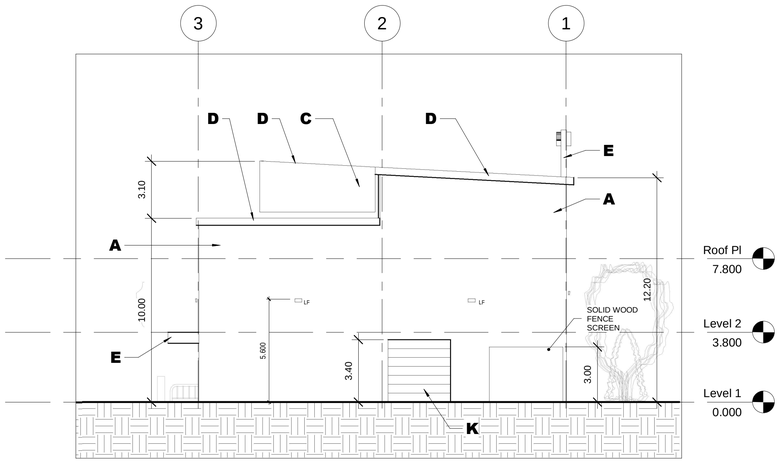


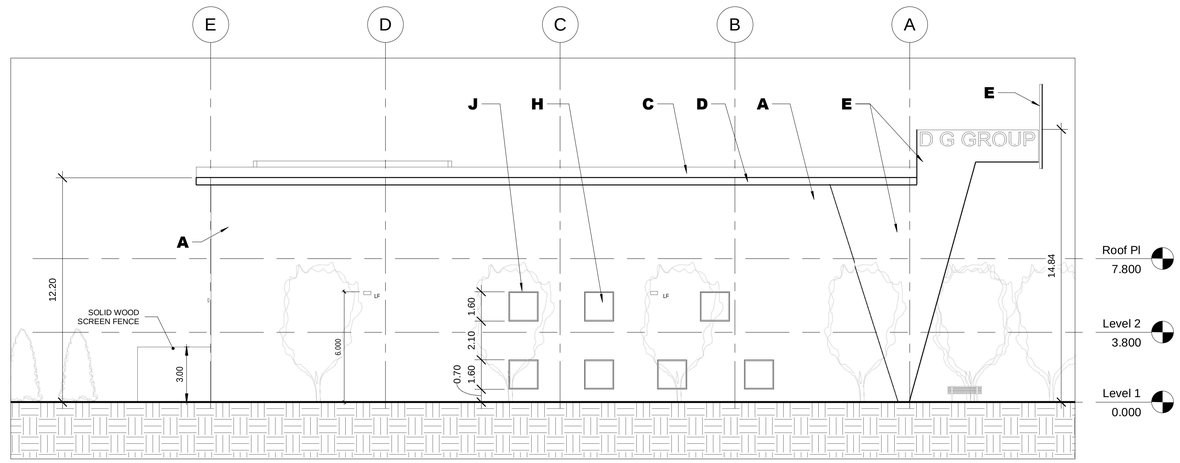
2 West
1 : 150



1 South
1 : 150



4 East
1 : 150



3 North
1 : 150

FRONT OFFICE BUILDING EXTERIOR ELEVATION MATERIALS AND FINISHES

A	SMOOTH FACE FIN. DECORATIVE CONC. COLOR SALMON GRAY AS MANUFACTURED BY ARISCRAFT OR EQUAL
B	CLAY BRICK CSR COURSING COLOR HERITAGE GRAY AS MANUFACTURED BY BELDEN OR EQUAL
C	GALVALUME PLUS tm DECORATIVE METAL PANELS NATURAL ALUMINUM FINISH AS MANUFACTURED BY DOFASCO OR EQUAL
D	GALVALUME PLUS tm DECORATIVE METAL FLASHING NATURAL ALUMINUM FINISH AS MANUFACTURED BY DOFASCO OR EQUAL
E	ALUCOBOND PRE. FIN. METAL PANELS COLOR SEA MIST GREEN AS MANUFACTURED BY ONTARIO PENALIZATION OR EQUAL
F	CURTAIN WALL GLAZING SILVER GRAY MIX TINT
G	CURTAIN WALL ALUMINUM FRAME ANODIZED FINISH, COLOR MEDIUM GRAPHITE AS MANUFACTURED BY KAWNEER CURTAIN WALLS OR EQUAL
H	FIXED WINDOW GLAZING SILVER GRAY MIX TINT
J	FIXED WINDOW ALUMINUM FRAME ANODIZED FINISH, COLOR MEDIUM GRAPHITE AS MANUFACTURED BY KAWNEER CURTAIN WALLS OR EQUAL
K	METAL DOOR AND FRAME PAINT FINISH COLOR MEDIUM GRAPHITE TO MATCH C. WALL ALUMINUM FRAMES

5 3D View 5

REVISIONS, RECORDS

No.	Date	Subject
01	15/01/2018	ISSUED FOR PRELIMINARY REVIEW
03	10/04/2018	ISSUED FOR COORDINATION
04	27/04/2018	ISSUED FOR SITE PLAN APPLICATION
05	17/05/2018	CONSULTANTS COORDINATION

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J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS
JACEK A. GORKA
LICENCE
3961
17/05/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
Office Building Elevations and Perspective View

DRAWING COMMENCED	
DRAWING SCALE	1 : 150
DRAWN BY:	JG
CHECKED BY:	JG
COMMISSION No:	2018-03
DRAWING No:	A104

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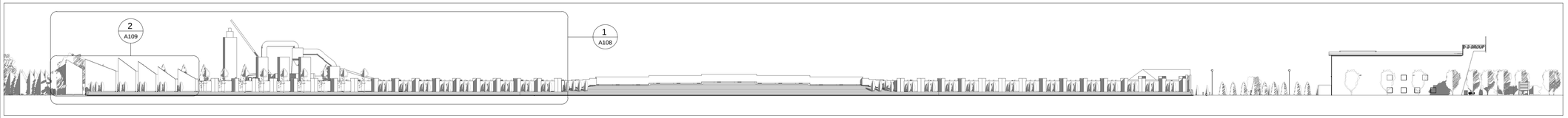
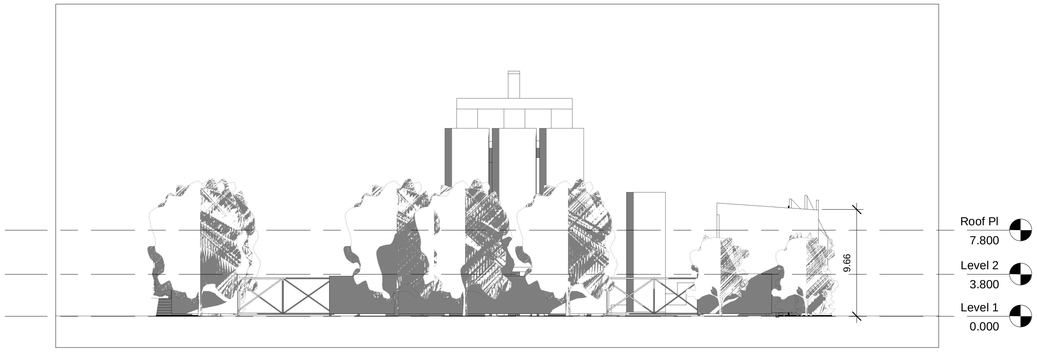
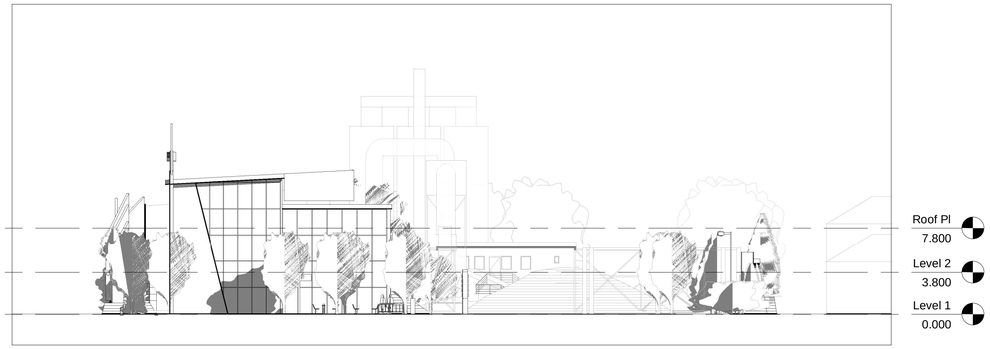
1 Elevation 3 - a (SOUTH)
1 : 600



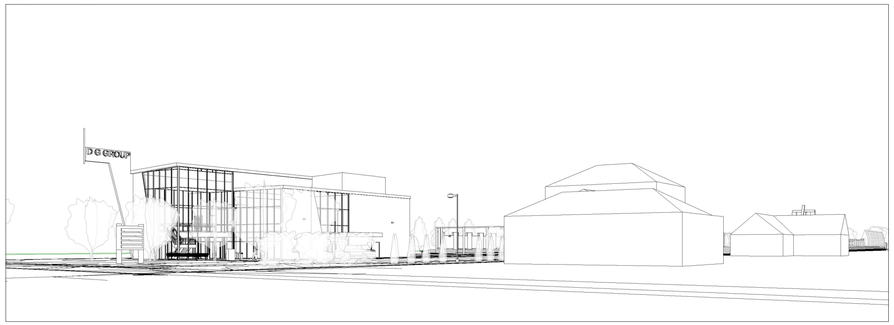
2 Elevation 2 - a (NORTH)
1 : 600



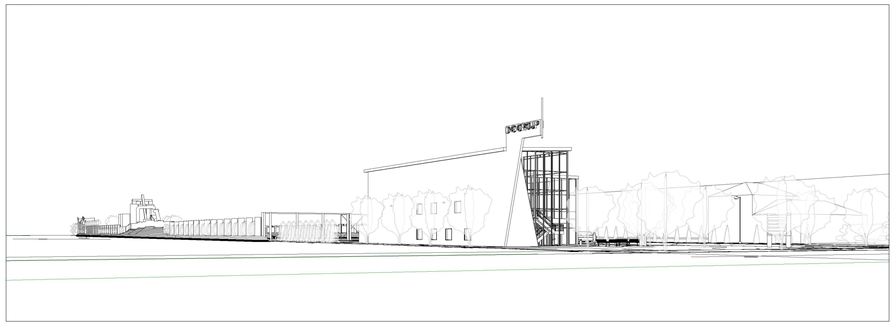
4 Elevation 1 - a (EAST)
1 : 250



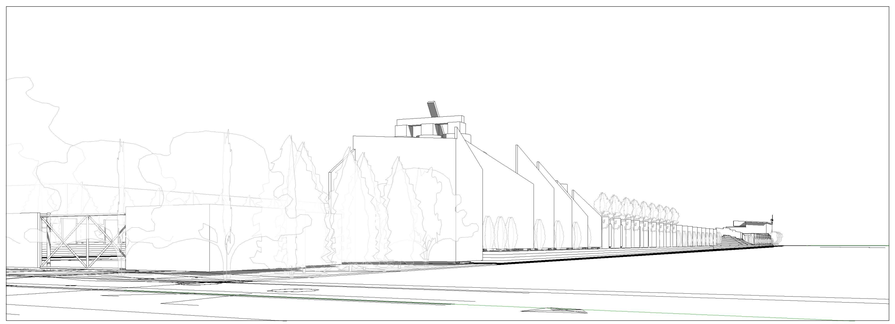
3 Elevation 4 - a (WEST)
1 : 250



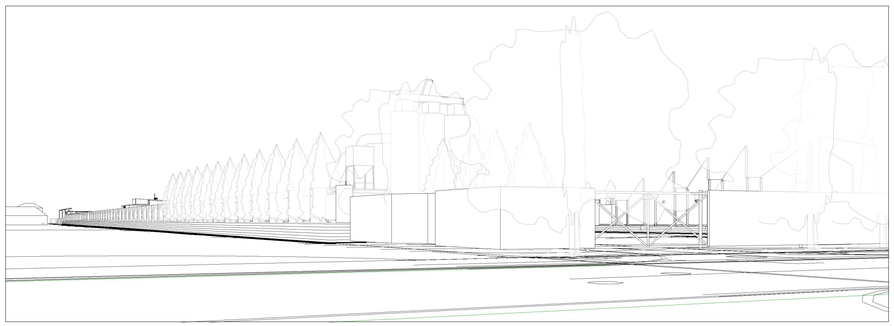
6 3D View 2 (SOUTH - WEST CORNER VIEW FROM COLERAINE)



5 3D View 1 (NORTH - WEST CORNER VIEW FROM COLERAINE)



8 3D View 4 (NORTH - EAST CORNER VIEW FROM SIMPSON)



7 3D View 3 (SOUTH - EAST CORNER VIEW FROM SIMPSON)

REVISIONS, RECORDS

No.	Date	Subject
01	15/01/2018	ISSUED FOR PRELIMINARY REVIEW
03	10/04/2018	ISSUED FOR COORDINATION
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05	17/05/2018	CONSULTANTS COORDINATION

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J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS
JACEK A. GORKA
LICENCE 5961
17/05/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
Overall Site Elevations and Reference Perspective Views

DRAWING COMMENCED
DRAWING SCALE As indicated
DRAWN BY: JG
CHECKED BY: JG
COMMISSION No: 2018-03
DRAWING No: A105

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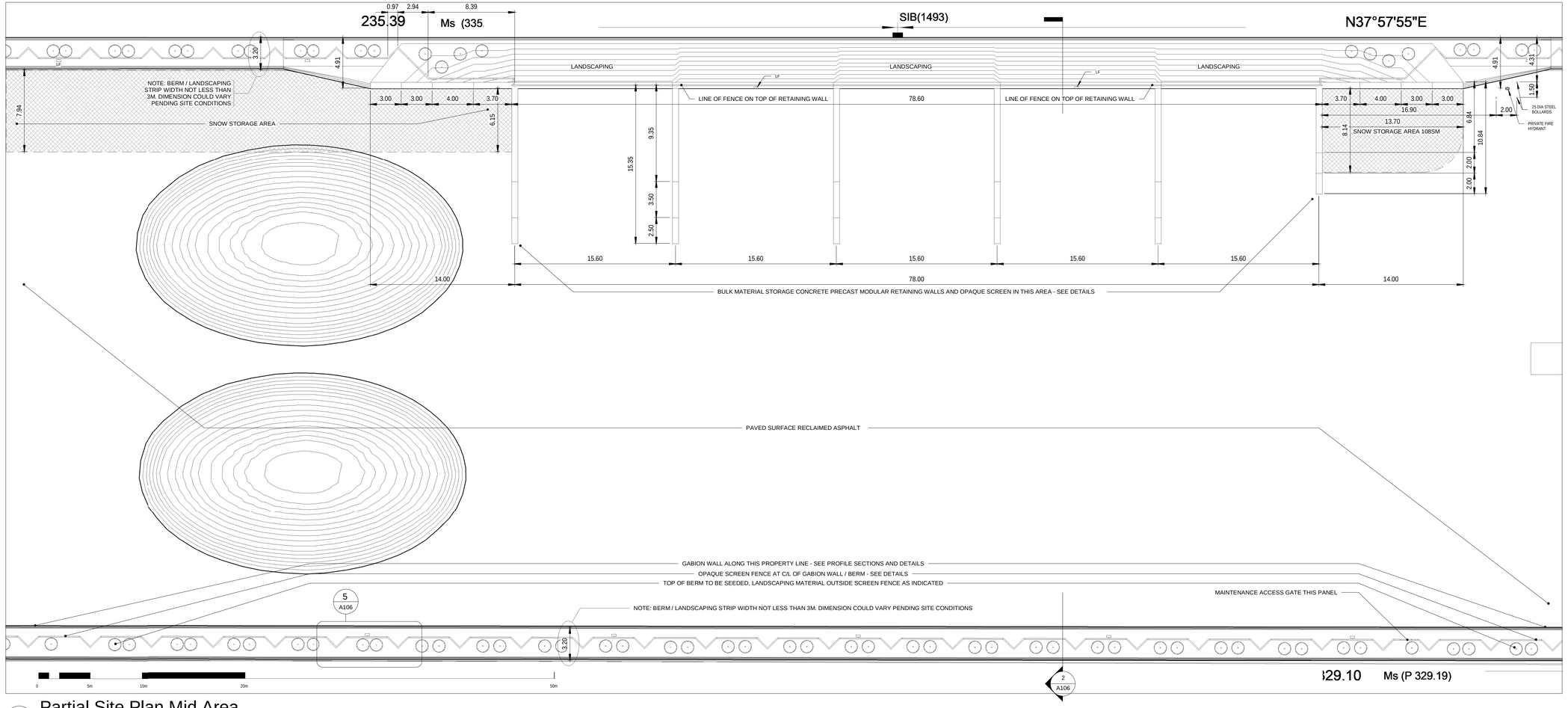
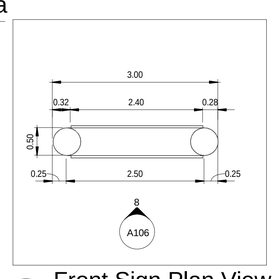
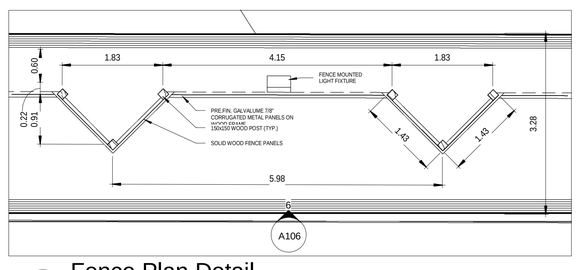


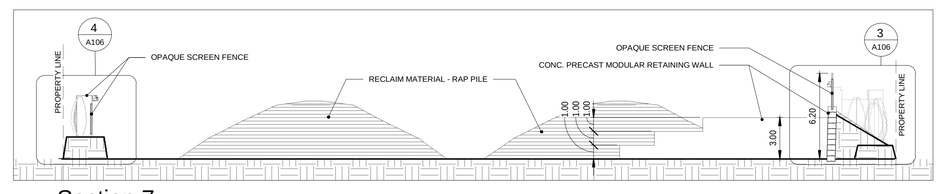
1 Partial Site Plan Mid Area
1 : 200



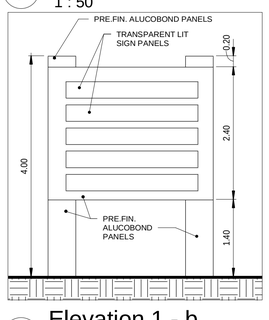
7 Front Sign Plan View
1 : 50



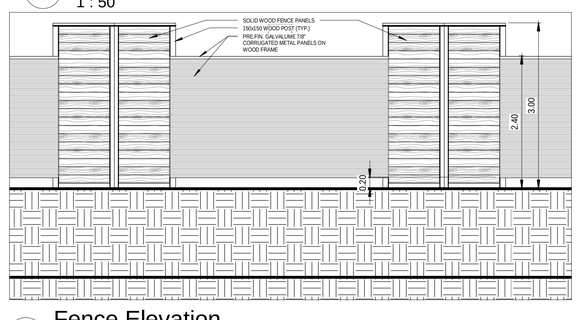
5 Fence Plan Detail
1 : 50



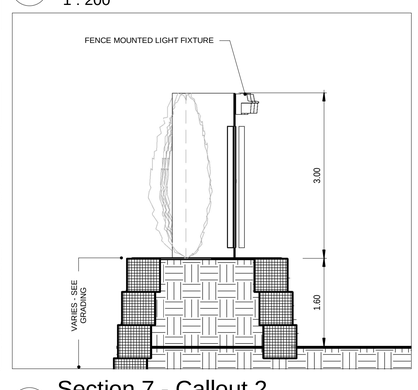
2 Section 7
1 : 200



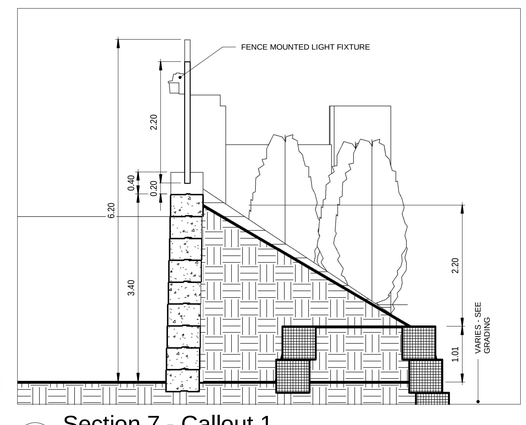
8 Elevation 1 - b
1 : 50



6 Fence Elevation
1 : 50



4 Section 7 - Callout 2
1 : 50



3 Section 7 - Callout 1
1 : 50

REVISIONS, RECORDS

No.	Date	Subject
03	10/04/2018	ISSUED FOR COORDINATION
04	27/04/2018	ISSUED FOR SITE PLAN APPLICATION
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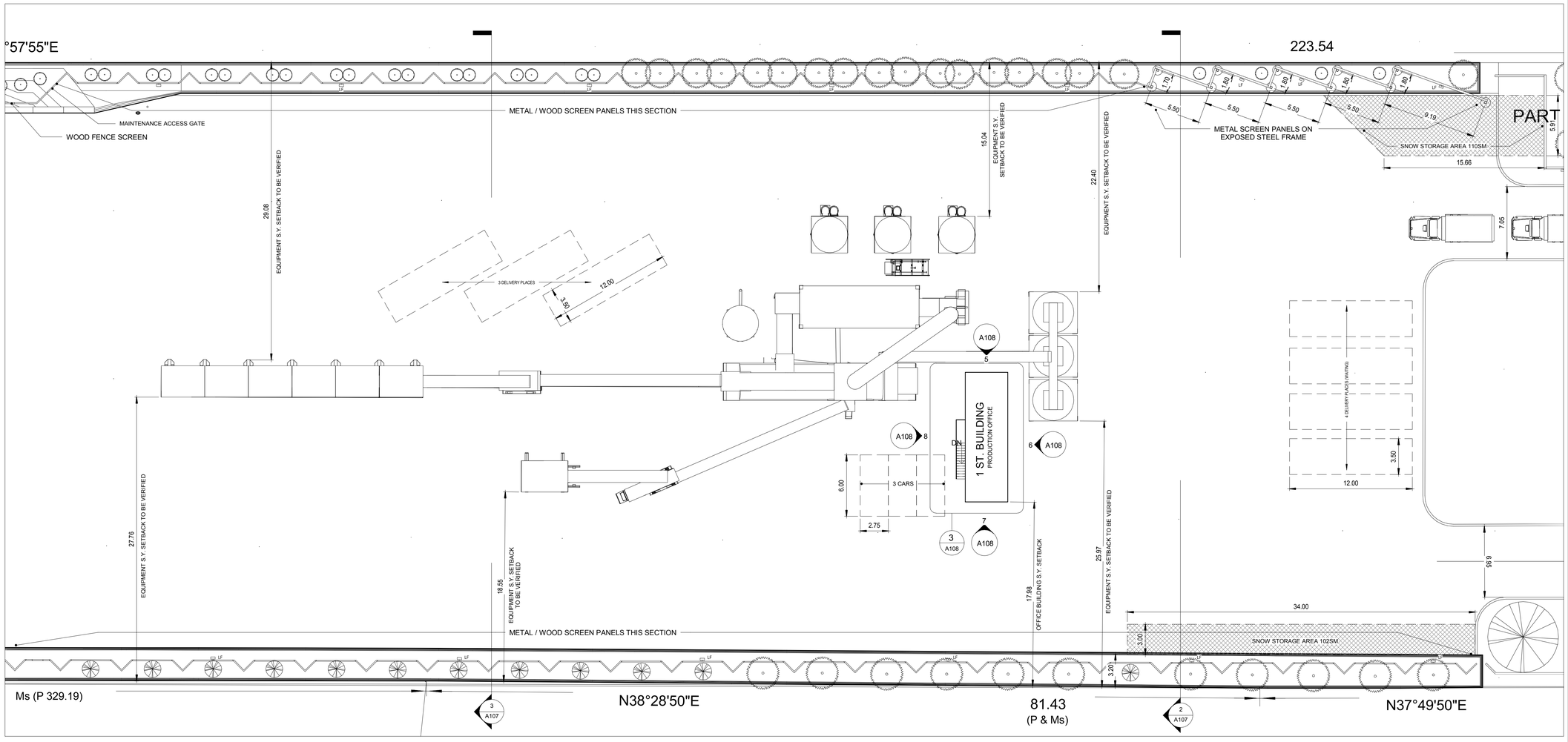
J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS
JACEK A. GORKA
LICENCE 3961
11/05/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
Material Storage Screens and Fence Details & Profiles

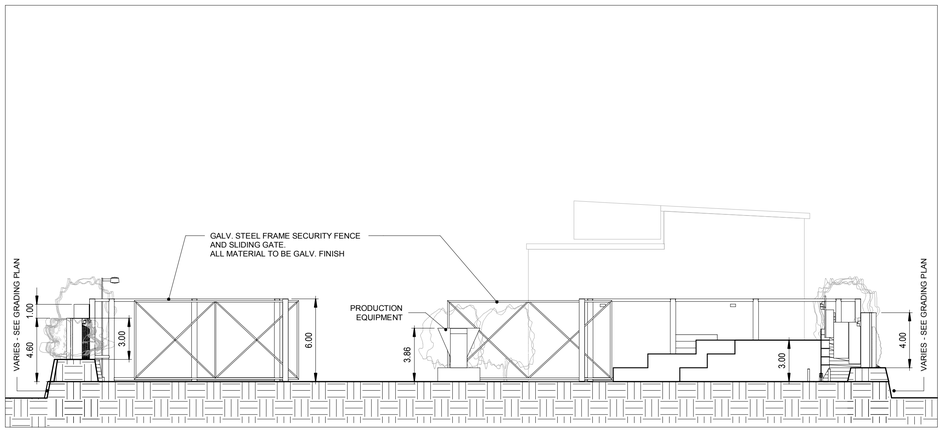
DRAWING COMMENCED	2018/...../.....
DRAWING SCALE	As indicated
DRAWN BY:	Author
CHECKED BY:	Checker
COMMISSION No:	2018-03
DRAWING No:	A106



1 Site Plan - Callout 1

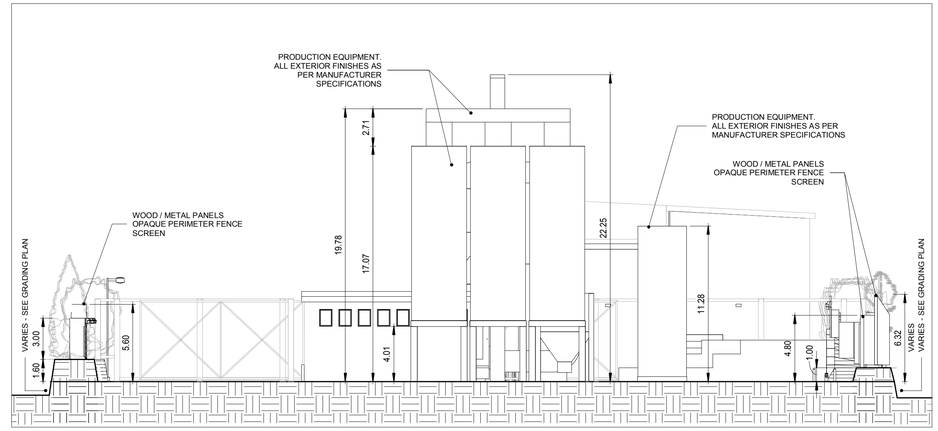
1 : 200

NOTE: ALL ASPHALT PLANT EQUIPMENT LAYOUT SUBJECT TO FINAL ENGINEERING DRAWINGS. THIS PLAN AND ELEVATIONS PROVIDED FOR PLANNING REFERENCES



3 Section 3

1 : 200



2 Section 2

1 : 200

REVISIONS, RECORDS

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J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS
JACEK A. GORKA
LICENCE
5961
27/04/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
Production Facility Site Plan and Partial Site Profile

DRAWING COMMENCED
DRAWING SCALE 1 : 200
DRAWN BY: JG
CHECKED BY: JG
COMMISSION No: 2018-03
DRAWING No: A107

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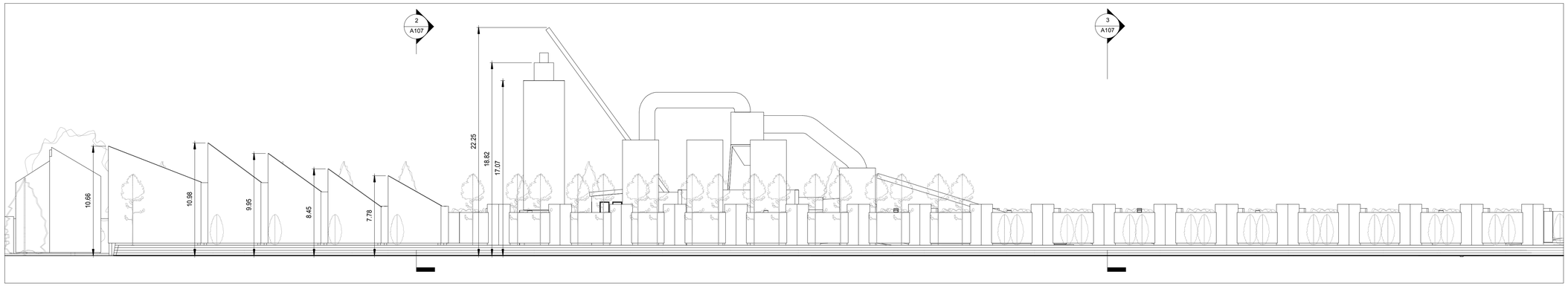
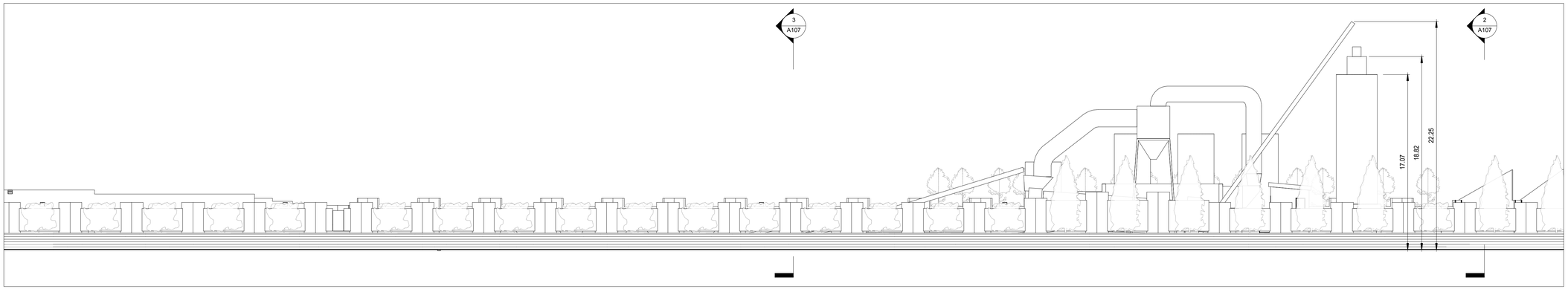


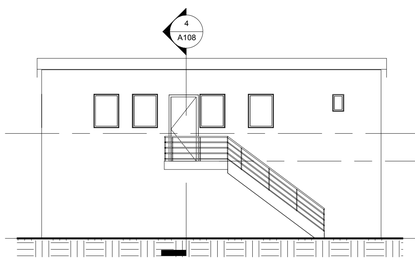
1 Elevation 2 - a - Callout 1 — PARTIAL NORTH ELEVATION - SCREENING OF PRODUCTION EQUIPMENT

1 : 200



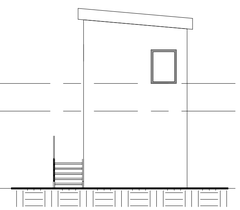
2 Elevation 3 - a - Callout 1 — PARTIAL SOUTH ELEVATION - SCREENING OF PRODUCTION EQUIPMENT

1 : 200



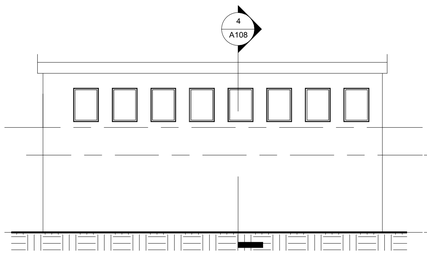
8 Elevation 8 - a

1 : 100



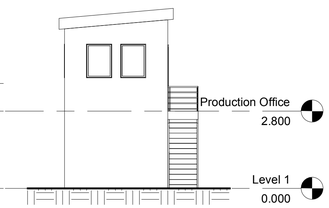
7 Elevation 7 - a

1 : 100



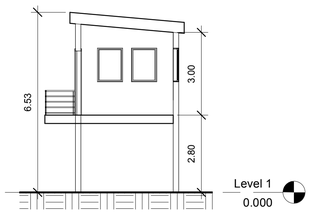
6 Elevation 6 - a

1 : 100



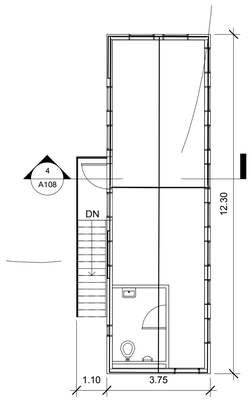
5 Elevation 5 - a

1 : 100



4 Section 6

1 : 100



3 Production Field Office

1 : 100

REVISIONS, RECORDS

No.	Date	Subject
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J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS
JACEK A. GORKA
LICENCE 3961
27/04/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
Production Area Screening and Production Supervision Office

DRAWING COMMENCED	
DRAWING SCALE	As indicated
DRAWN BY:	JG
CHECKED BY:	JG
COMMISSION No:	2018-03
DRAWING No:	A108

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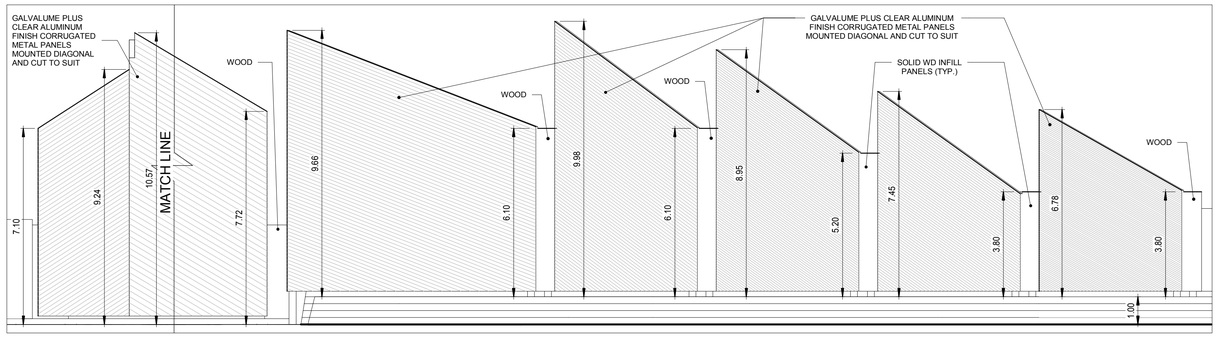
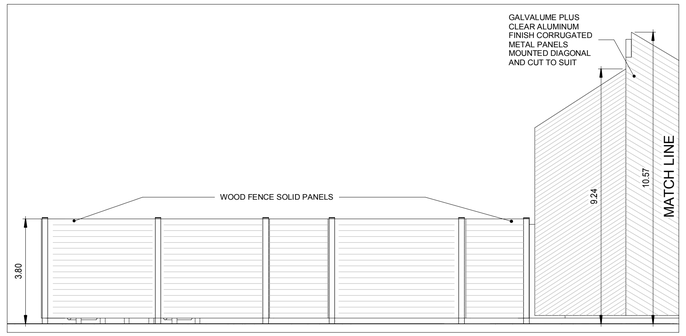


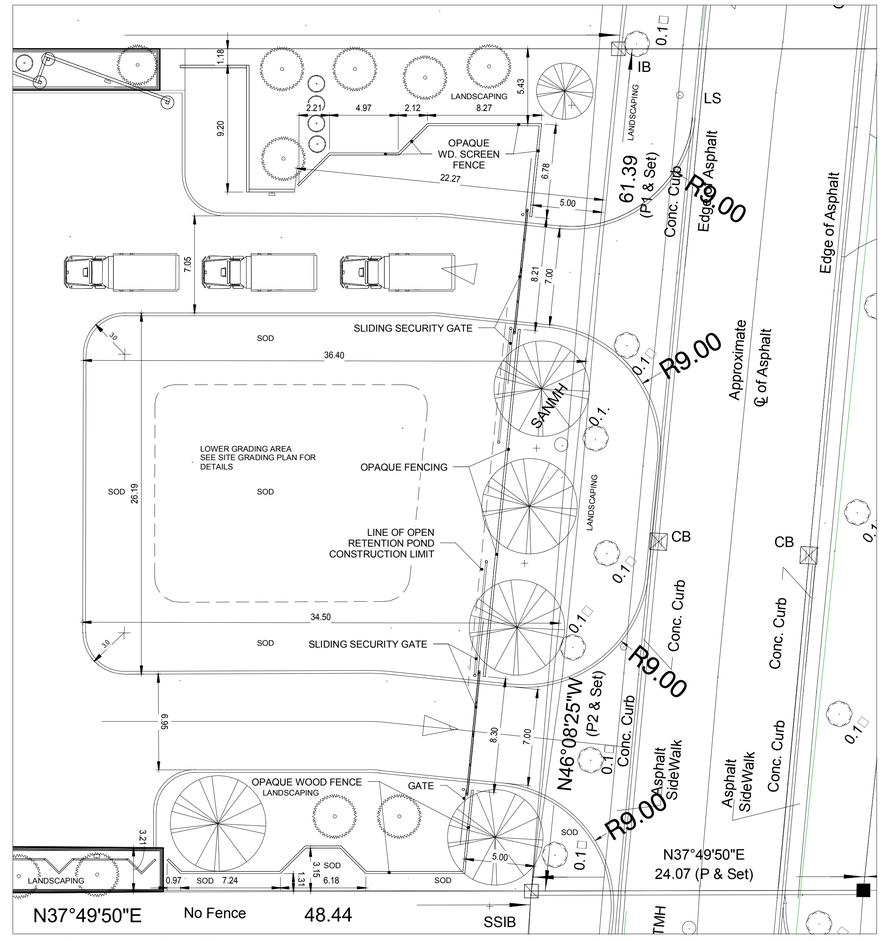
2 High Level Metal Screen
1 : 100

PARTIAL VIEW OF OA NORTH ELEVATION - SCREEN AT N/E PORTION OF THE PROPERTY

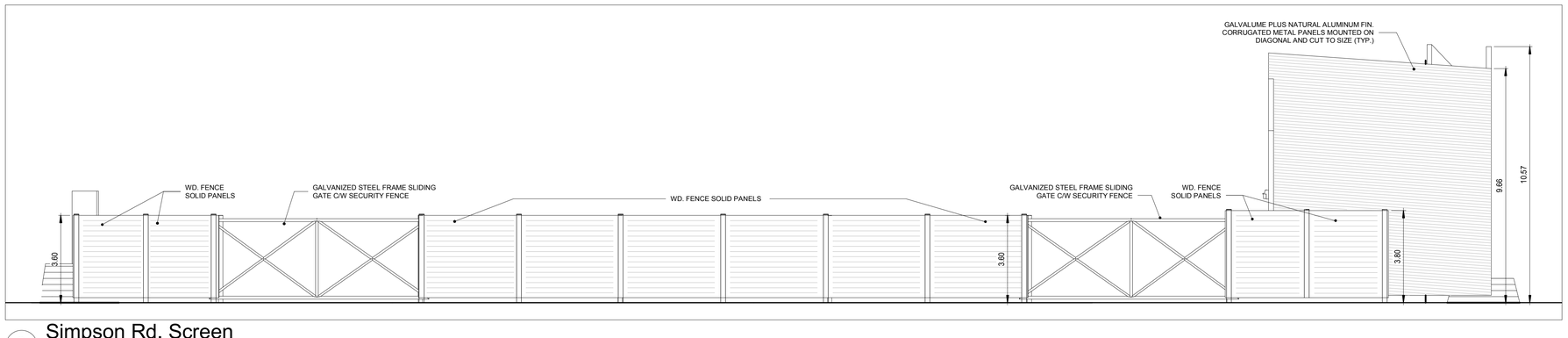


4 Wood Fence Screen
1 : 100

TYPICAL WOOD FENCE SCREEN RETURN FOR N/E & S/E CORNERS OF THE PROPERTY FACING SIMPSON RD.



1 Simpson Rd. Entrance
1 : 200



3 Simpson Rd. Screen
1 : 100

REVISIONS, RECORDS

No.	Date	Subject
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04	27/04/2018	ISSUED FOR SITE PLAN APPLICATION

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J. GORKA ARCHITECT
261 Willowdale Avenue
Toronto, Ontario M2N 4Z8
tel: (416) 226 9709

ONTARIO ASSOCIATION OF ARCHITECTS
JACEK A. GORKA
LICENCE
3961
27/04/2018

COMMISSION TITLE
ASPHALT MIXING PLANT FACILITIES at # 12415 COLERAINE DRIVE, BOLTON

DRAWING TITLE
SIMPSON ROAD ACCESS AND SCREENING

DRAWING COMMENCED	
DRAWING SCALE	As indicated
DRAWN BY:	J.G.
CHECKED BY:	J.G.
COMMISSION No:	2018-03
DRAWING No:	A109

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