

THE CORPORATION OF THE TOWN OF CALEDON

BY-LAW NO. BL-2015-XX

A by-law to amend Comprehensive Zoning By-law 2006-50, as amended, with respect to Part of Lot 20, Concession 10, Town of Caledon, Regional Municipality of Peel.

WHEREAS Section 34 of the Planning Act, as amended permits the councils of local municipalities to pass zoning by-laws for prohibiting the use of land or the erecting, locating or using of buildings or structures for or except for such purposes as may be set out in the by-law;

AND WHEREAS the Council of the Corporation of the Tow of Caledon deems it desirable to pass a zoning by-law to permit the use of Part of Lot 20, Concession 10, Town of Caledon, Regional Municipality of Peel for 28 estate residential building lots;

NOW THEREFORE the Council of The Corporation of the Town of Caledon enacts that By-law 2006-50, as amended, being a comprehensive Zoning By-law for the Town of Caledon shall be and is hereby amended as follows:

1. **THAT** the lands subject to this by-law consist of Part of Lot 20, Concession 10, Town of Caledon, Regional Municipality of Peel and as shown, on Schedule "A" attached hereto.
2. **THAT** Schedules "A" and "B" attached hereto form part of this by-law.
3. **THAT** Schedule "A", Zone Map 2 is hereby amended for the lands legally described as Part of Lot 20, Concession 10, Town of Caledon, Regionally Municipality of Peel and that those lands be rezoned from "Rural (A2)-ORM" Zone to "Estate Residential-Exception(X) (RE-E(X))", "Estate Residential-Exception(XX) (RE-E(XX))" and "Environmental Policy Area 1-Exception(405) (EPA1(405))" Zones in accordance with Schedules "A" and "B" attached hereto.
4. **THAT** the following be added to Table 13.1:

Zone Prefix	Exception Number	Permitted Uses	Special Standards
RE	X	- Apartment, Accessory	LOT AREA (minimum) 0.4 hectares
		- Day Care, Private Home	LOT FRONTAGE (minimum) 40 metres
		- Dwelling, Detached	BUILDING SETBACK, FRONT YARD (minimum) 10 metres
		- Home Occupation	BUILDING SETBACK, REAR YARD (minimum) 15 metres
			BUILDING SETBACK, INTERIOR SIDE YARD (minimum) 3 metres
		BUILDING SETBACK, COMBINED INTERIOR SIDE YARDS (minimum) 10 metres	

			<p>BUILDING SETBACK, FLANKAGE YARD (minimum) 10 metres</p> <p>DRIVEWAY SETBACK, INTERIOR SIDE YARD (minimum) 3 metres</p> <p>DRIVEWAY SETBACK, FLANKAGE YARD (minimum) 3 metres</p> <p>BUILDING HEIGHT (maximum) 3 storeys</p> <p>PARKING SPACE SETBACK, INTERIOR SIDE YARD (minimum) 3 metres</p> <p>PARKING SPACE SETBACK, FLANKAGE YARD (minimum) 3 metres</p> <p>The maximum DRIVEWAY WIDTH shall be 12 metres, except where such driveway crosses a street line, where the maximum DRIVEWAY WIDTH shall be 7.5 metres.</p> <p>MODEL HOMES A maximum of (4) model homes shall be permitted, subject to the following:</p> <ul style="list-style-type: none"> i. The lands on which the model homes are to be constructed have received draft plan approval under the provisions of the Planning Act. ii. The lands are zoned to permit detached dwellings. iii. The location of the model homes shall comply with the provisions of this by-law and the expected registered draft plan of subdivision. <p>BUILDING AND STRUCTURE LOCATION All buildings and structures, accessory building and structures, driveways, parking areas, swimming pools and septic systems shall only be located within the structural envelope as shown on Schedule "A" attached hereto.</p> <p>GRADING RESTRICTIONS All grading and site alteration shall only be located within the structural envelope as shown on Schedule "A" attached hereto.</p>
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			<p>NATURAL AREA RESTRICTIONS</p> <p>Within an area shown as “Natural Areas” on Schedule “A” attached hereto, no person shall alter the surface of the land, or alter, disturb, destroy, remove, cut or trim any vegetation, except in accordance with the reforestation plan; or alter, disturb, destroy or remove any wildlife habitat whether in use or not unless deemed hazardous to human health or property.</p>
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Zone Prefix	Exception Number	Permitted Uses	Special Standards
RE	XX	<ul style="list-style-type: none"> - Apartment, Accessory - Day Care, Private Home - Dwelling, Detached - Home Occupation 	<p>LOT FRONTAGE (minimum) 25 metres</p> <p>YARDS</p> <p>Notwithstanding the definition of REAR LOT LINE as per Section 2.122.3 of By-law No. 87-250, as amended, the REAR LOT LINE of the lot shown on Schedule “B” attached hereto shall be that which abuts the southerly and easterly limits of the Draft Plan of Subdivision as indicated on Schedule “B” attached hereto.</p> <p>Notwithstanding the definition of SIDE LOT LINE as per Section 2.122.4 of By-law No. 87-250, as amended, the NORTH SIDE LOT LINE of the lot shown on Schedule “B” attached hereto shall be that which is the most northerly lot line and intersects the street line and the easterly limit of the Draft Plan of Subdivision as indicated on Schedule “B” attached hereto.</p> <p>Notwithstanding the definition of SIDE LOT LINE as per Section 2.122.4 of By-law No. 87-250, as amended, the SOUTH SIDE LOT LINE of the lot shown on Schedule “B” attached hereto shall be that which abuts the rear lot line of Lot 24 and Block 33 as shown on the Draft Plan of Subdivision and intersects the street line and the southerly limit of the Draft Plan of Subdivision as indicated on Schedule “B” attached hereto.</p> <p>BUILDING SETBACK, FRONT YARD (minimum) 10 metres</p> <p>BUILDING SETBACK, REAR YARD (minimum) 15 metres</p> <p>BUILDING SETBACK, NORTH INTERIOR SIDE YARD (minimum) 5 metres</p>

			<p>BUILDING SETBACK, SOUTH INTERIOR SIDE YARD (minimum) 1 metres</p> <p>DRIVEWAY SETBACK, NORTH AND SOUTH INTERIOR SIDE YARD (minimum) 3 metres</p> <p>BUILDING HEIGHT (maximum) 3 storeys</p> <p>BUILDING AND STRUCTURE LOCATION All buildings and structures, accessory building and structures, driveways, parking areas, swimming pools and septic systems shall only be located within the structural envelope as shown on Schedule "A" attached hereto.</p> <p>GRADING RESTRICTIONS All grading and site alteration shall only be located within the structural envelope as shown on Schedule "A" attached hereto.</p> <p>NATURAL AREA RESTRICTIONS Within an area shown as "Natural Areas" on Schedule "A" attached hereto, no person shall alter the surface of the land, or alter, disturb, destroy, remove, cut or trim any vegetation, except in accordance with the reforestation plan; or alter, disturb, destroy or remove any wildlife habitat whether in use or not unless deemed hazardous to human health or property.</p>
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**READ THREE TIMES AND FINALLY
PASSED IN OPEN COUNCIL
THIS ____ DAY OF _____, 2015**


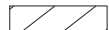



Allan Thompson, Mayor

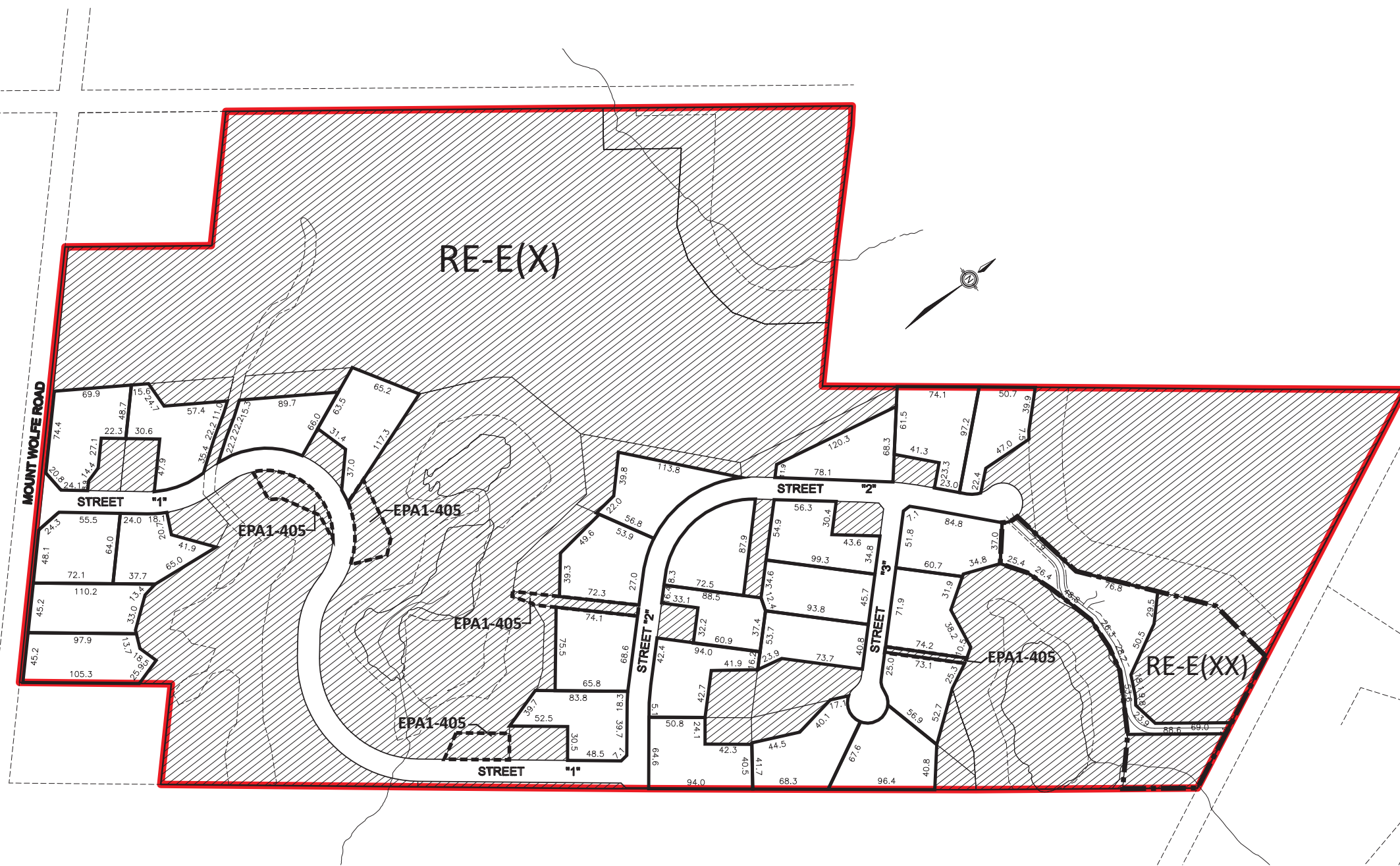
Carey deGorter, Clerk

ZONE MAP S.E.XX
SCHEDULE "A"
BY-LAW 2015-XX

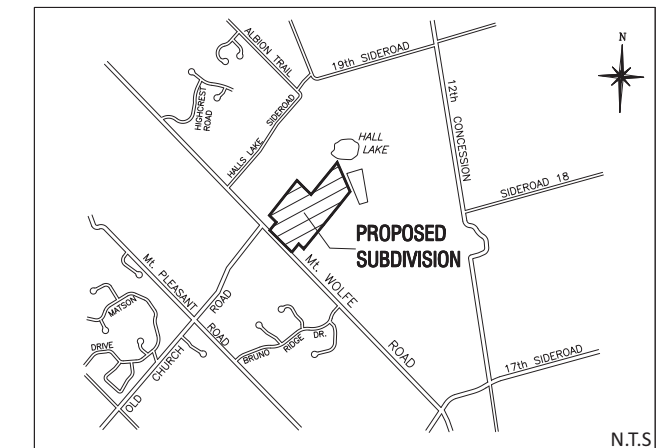
Part of Lot 20, Concession 10
(Albion)
Town of Caledon
Regional Municipality of Peel

Legend

-  Lands Subject to this By-law
-  Natural Area
-  Zone Boundary
-  Structure Envelope
-  *Refer to Schedule B



KEY MAP



FILE: xx XX-XX







DATE: February 2015
SCALE 1:4500



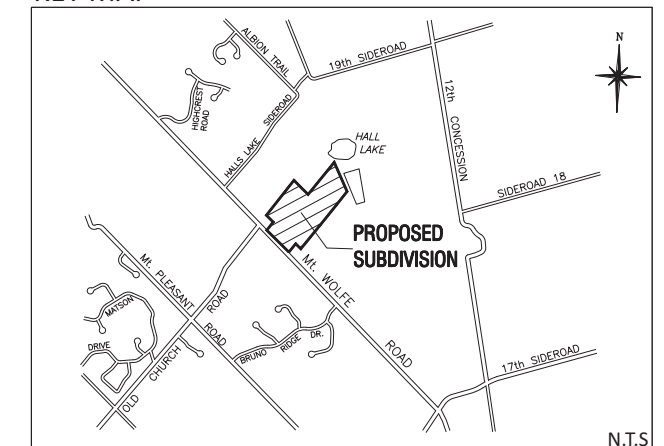
ZONE MAP S.E.XX
 SCHEDULE "B"
 BY-LAW 2015-XX

Part of Lot 20, Concession 10
 (Albion)
 Town of Caledon
 Regional Municipality of Peel

Legend

-  Lands Subject to this By-law
-  Natural Area
-  Structure Envelope
-  Rear Lot Line
-  North Interior Lot Line
-  South Interior Lot Line

KEY MAP



FILE: xx XX-XX

DATE: February 2015
 SCALE 1:1500

