

THE CORPORATION OF THE TOWN OF CALEDON

BY-LAW NO. BL-2015-XX

A by-law to amend Comprehensive Zoning By-law 2006-50, as amended, with respect to Parcel 20-1, Section 43-Albion-10, Part Lot of 20, Concession 10 (Albion), being Part 1 on Plan 43R-20210; Town of Caledon, in the Regional Municipality of Peel.

WHEREAS Section 34 of the Planning Act, as amended permits the councils of local municipalities to pass zoning by-laws for prohibiting the use of land or the erecting, locating or using of buildings or structures for or except for such purposes as may be set out in the by-law;

AND WHEREAS the Council of the Corporation of the Town of Caledon deems it desirable to pass a zoning by-law to permit the use of Parcel 20-1, Section 43-Albion-10, Part of Lot 20, Concession 10 (Albion), being Part 1 on Plan 43R-20210; Town of Caledon, in the Regional Municipality of Peel for 28 estate residential building lots;

NOW THEREFORE the Council of The Corporation of the Town of Caledon enacts that By-law 2006-50, as amended, being a Comprehensive Zoning By-law for the Town of Caledon shall be and is hereby amended as follows:

1. The following is added to Table 13.1:

Zone Prefix	Exception Number	Permitted Uses	Special Standards
RE	574	<ul style="list-style-type: none"> - <i>Apartment, Accessory</i> - <i>Day Care, Private Home</i> - <i>Dwelling, Detached</i> - <i>Home Occupation (1)</i> 	<p>Lot Area (minimum) 0.45 ha</p> <p>Lot Frontage (minimum) 40 m</p> <p>Front Lot Line and Exterior Side Lot Line Definitions For the purpose of this zone, the <i>Front Lot Line</i> for Lot 3, on Zone Map S.E. 30 shall be the <i>lot line</i> adjacent to the internal road and the <i>Exterior Side Lot Line</i> shall be the <i>lot line</i> adjacent to Mount Wolfe Road.</p> <p>Front Yard (minimum) 10 m</p> <p>Interior Side Yard (minimum) 5 m</p> <p>Exterior Side Yard (minimum) 10 m</p> <p>Driveway Setback (minimum) 3 m</p> <p>Parking Space Setback (minimum)</p> <ul style="list-style-type: none"> a) From <i>Interior Side Lot Lines</i> and <i>Exterior Side Lot Lines</i> 3 m b) From <i>Front Lot Lines</i> and <i>Rear Lot Lines</i> 10 m <p>Driveway Width (maximum) 12 m</p> <p>Entrance Width (maximum) 7.5 m</p>

			<p>Usable Yards The minimum <i>setback</i> measured from the rear façade of a <i>detached dwelling</i> to the rear limit of the structure envelope shall be 7.5 m.</p> <p>The minimum <i>setback</i> measured from the side façade of a <i>detached dwelling</i> to the limit of a structure envelope shall be 5 m.</p> <p>Building and Structure Locations All <i>buildings</i> and <i>structures</i>, <i>accessory buildings</i> and <i>structures</i>, <i>driveways</i>, <i>parking areas</i>, swimming pools and septic systems shall only be located within the structure envelope as shown on Zone Map SE 30.</p> <p>Grading Restrictions All grading and site alteration shall only be located within the structure envelope as shown on Zone Map SE 30.</p> <p>Natural Area Restrictions Within an area shown as “<i>Natural Area</i>” on Zone Map S.E. 30, no person shall alter the surface of the land, or alter, disturb, destroy, remove, cut or trim any vegetation, except in accordance with the approved reforestation plan; or alter, disturb, destroy or remove any wildlife habitat whether in use or not unless deemed hazardous to human health or property. No fencing shall be permitted within the <i>natural area</i> unless required by and in accordance with a subdivision agreement.</p>
RE	575	<ul style="list-style-type: none"> - Apartment, Accessory - Day Care, Private Home - Dwelling, Detached - Home Occupation (1) 	<p>Lot Area (minimum) 0.45 ha</p> <p>Lot Frontage (minimum) 20 m</p> <p>Rear Lot Line Definition For the purpose of this zone, <i>Rear Lot Line</i> shall mean the <i>lot line</i> furthest from and opposite to the <i>front lot line</i>.</p> <p>Interior Side Lot Line Definition For the purpose of this zone, <i>Interior Side Lot Line</i> shall mean a <i>lot line</i> other than a <i>front lot line</i> or <i>rear lot line</i>.</p> <p>Front Yard (minimum) 10 m</p> <p>Interior Side Yard (minimum) 5 m</p> <p>Building Area Calculation For the purpose of this zone, <i>Building Area</i> shall be calculated as a percentage of the entire <i>lot area</i>.</p>





			<p>Driveway Setback (minimum) 3 m</p> <p>Parking Space Setback (minimum)</p> <p>a) From <i>Interior Side Lot Lines</i> and <i>Exterior Side Lot Lines</i> 3 m</p> <p>b) From <i>Front Lot Lines</i> and <i>Rear Lot Lines</i> 10 m</p> <p>Driveway Width (maximum) 12 m</p> <p>Entrance Width (maximum) 7.5 m</p> <p>Usable Yards The minimum <i>setback</i> measured from the rear façade of a <i>detached dwelling</i> to the rear limit of the structure envelope shall be 7.5 m.</p> <p>The minimum <i>setback</i> measured from the side façade of a <i>detached dwelling</i> to the limit of a structure envelope shall be 5 m.</p> <p>Building and Structure Locations All <i>buildings</i> and <i>structures</i>, <i>accessory buildings</i> and <i>structures</i>, <i>driveways</i>, <i>parking areas</i>, swimming pools and septic systems shall only be located within the structure envelope as shown on Zone Map SE 30.</p> <p>Grading Restrictions All grading and site alteration shall only be located within the structure envelope as shown on Zone Map SE 30.</p>
EPA1	576	(None)	<p>Natural Area Restrictions Within an area shown as “<i>Natural Area</i>” on Zone Map S.E. 30, no person shall alter the surface of the land, or alter, disturb, destroy, remove, cut or trim any vegetation, except in accordance with the approved reforestation plan; or alter, disturb, destroy or remove any wildlife habitat whether in use or not unless deemed hazardous to human health or property. No fencing shall be permitted within the <i>natural area</i> unless required by and in accordance with a subdivision agreement.</p>

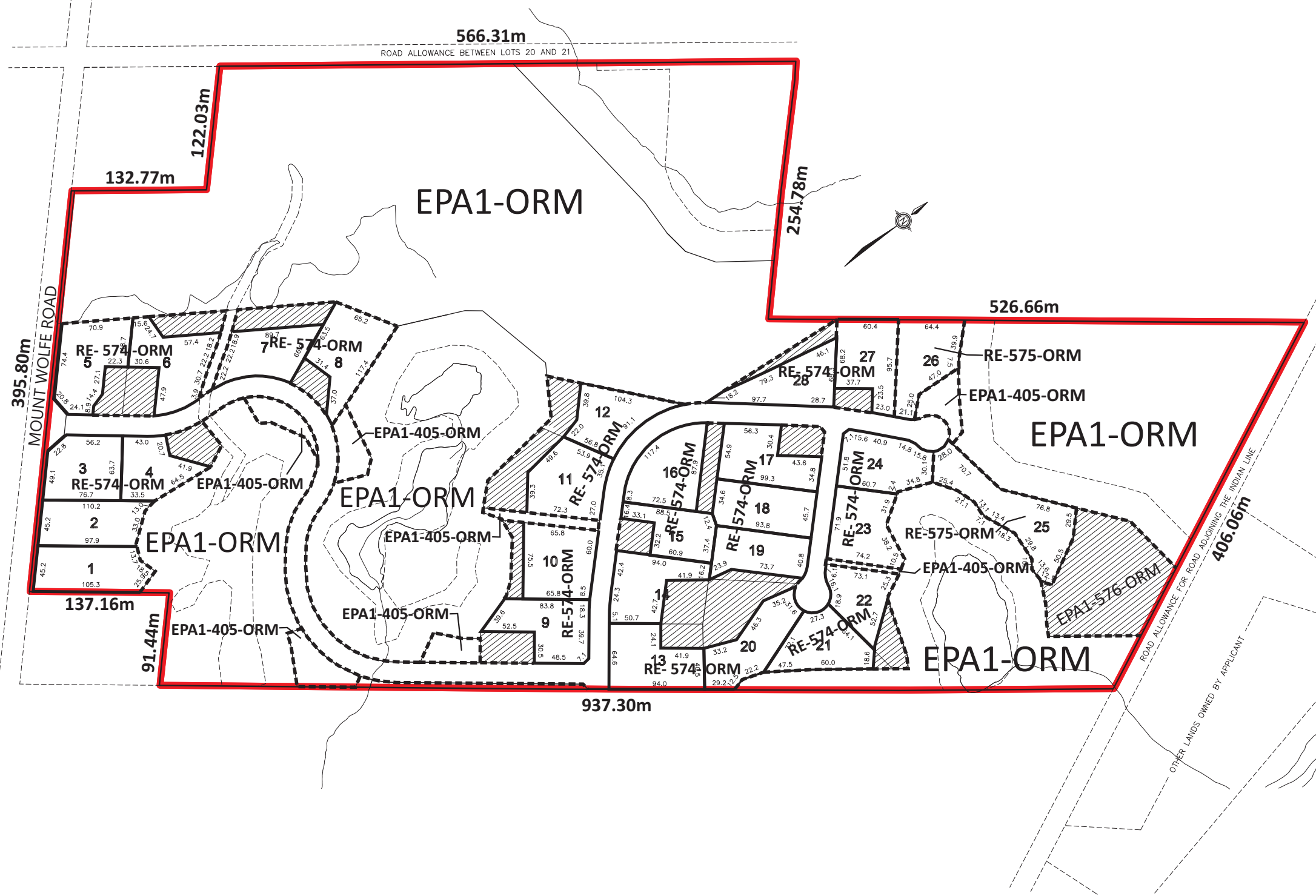
- Schedule “A”, Zone Map 31 of By-law No. 2006-50, as amended is further amended for the lands legally described as Parcel 20-1, Section 43-Albion-10, Part Lot 20, Concession 10 (Albion), being Part 1, on Plan 43R-20210; Town of Caledon, in the Regional Municipality of Peel, from Rural – Oak Ridges Moraine (A2-ORM) and Environmental Policy Area 2 – Oak Ridges Moraine (EPA2-ORM) to Estate Residential Exception 574 – Oak Ridges Moraine (RE-574-ORM), Estate Residential Exception 575 – Oak Ridges Moraine (RE-575-ORM), Environmental Policy Area 1 – Oak Ridges Moraine (EPA1-ORM), Environmental Policy Area 1 Exception 405 – Oak Ridges Moraine (EPA1-405-ORM) and Environmental Policy Area 1 Exception 576 – Oak Ridges Moraine (EPA1-576-ORM) in accordance with Schedule “A” attached hereto.

ZONE MAP S.E.30
SCHEDULE "A"
BY-LAW 2015-XX

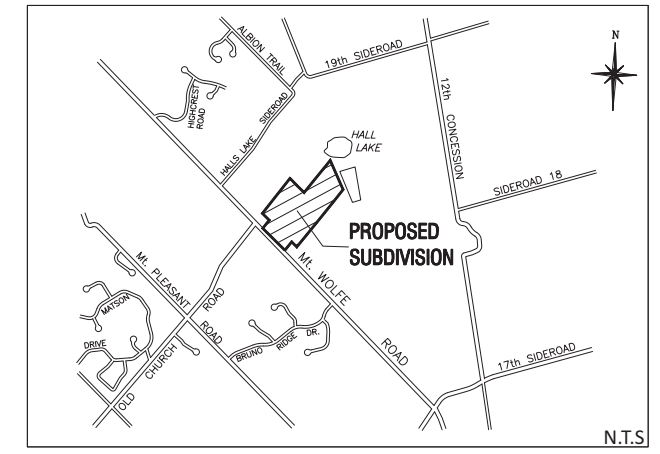
Parcel 20-1
Section 43-Albion-10
Part of Lot 20, Concession 10 (Albion),
Being Part 1 on Plan 43R-20210
Town of Caledon
Regional Municipality of Peel

Legend

-  Lands Subject to this By-law
-  Natural Area
-  Zone Boundary
-  Structure Envelope



KEY MAP



FILE: xx XX-XX

DATE: November 2015
SCALE 1:4500

