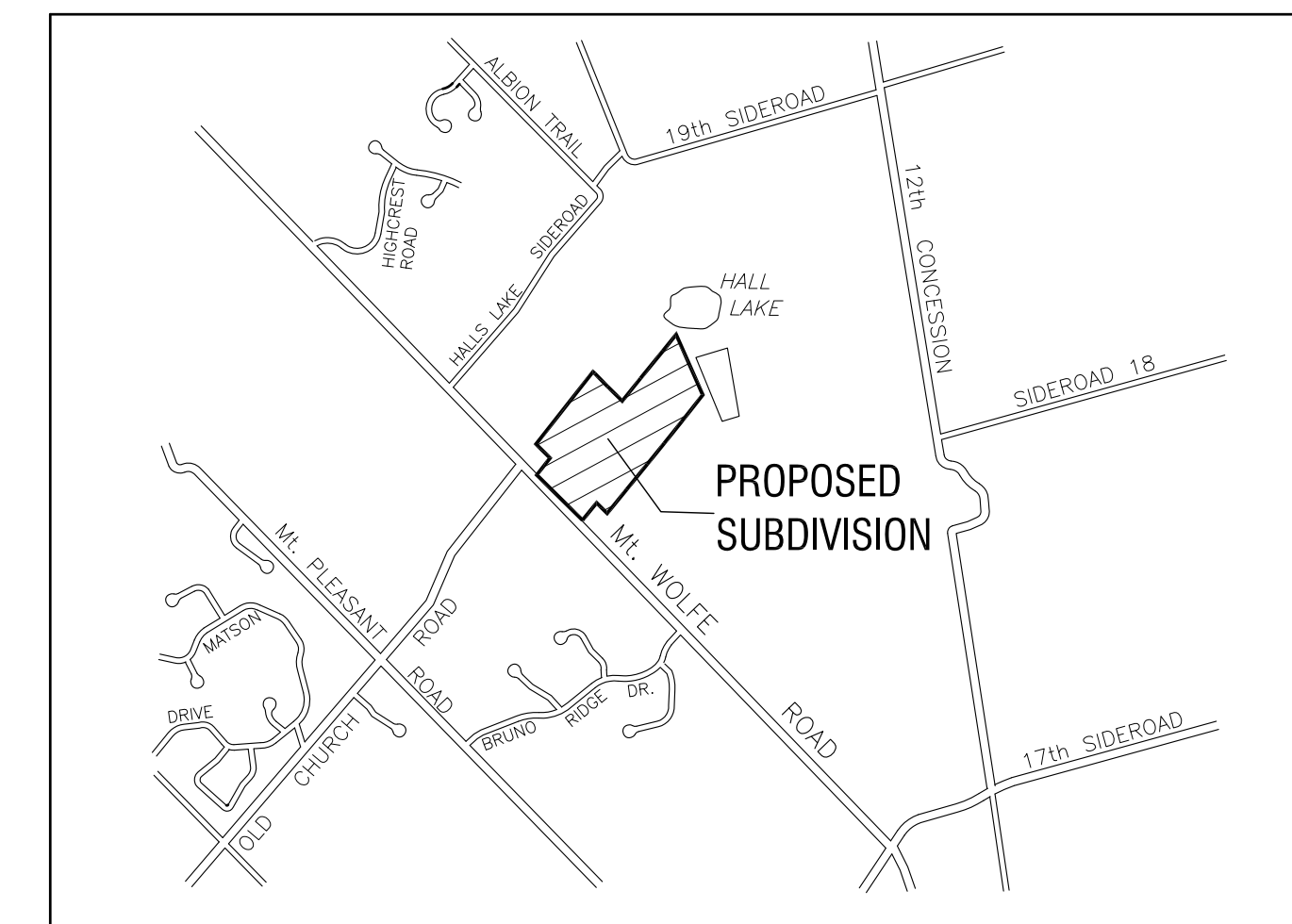


DRAFT PLAN OF SUBDIVISION PART OF LOT 20, CONCESSION 10 (GEOGRAPHIC TOWNSHIP OF ALBION) TOWN OF CALEDON REGIONAL MUNICIPALITY OF PEEL SCALE 1:2000

DRAFT PLAN 21T-98001C



KEY PLAN

SECTION 51, PLANNING ACT, ADDITIONAL INFORMATION

- A. AS SHOWN ON DRAFT PLAN
- B. AS SHOWN ON DRAFT PLAN
- C. AS SHOWN ON DRAFT PLAN
- D. SEE SCHEDULE OF LAND USE
- E. AS SHOWN ON DRAFT PLAN
- F. AS SHOWN ON DRAFT PLAN
- G. AS SHOWN ON DRAFT PLAN
- H. MUNICIPAL PIPED WATER AVAILABLE AT TIME OF DEVELOPMENT
- I. CLAY-LOAM
- J. AS SHOWN ON DRAFT PLAN
- K. GARBAGE COLLECTION, FIRE PROTECTION
- L. AS SHOWN ON DRAFT PLAN

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED AS SHOWN ON THIS PLAN, AND THEIR RELATIONSHIP TO THE ADJACENT LAND ARE ACCURATELY AND CORRECTLY SHOWN.

DATE -- FEBRUARY 4 --, 2015

TED VAN LANKVELD OLS

OWNER'S CERTIFICATE

I AUTHORIZE KLM PLANNING PARTNERS INC. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE TOWN OF CALEDON FOR APPROVAL.

OWNER

RITELAND DEVELOPMENT CORP.

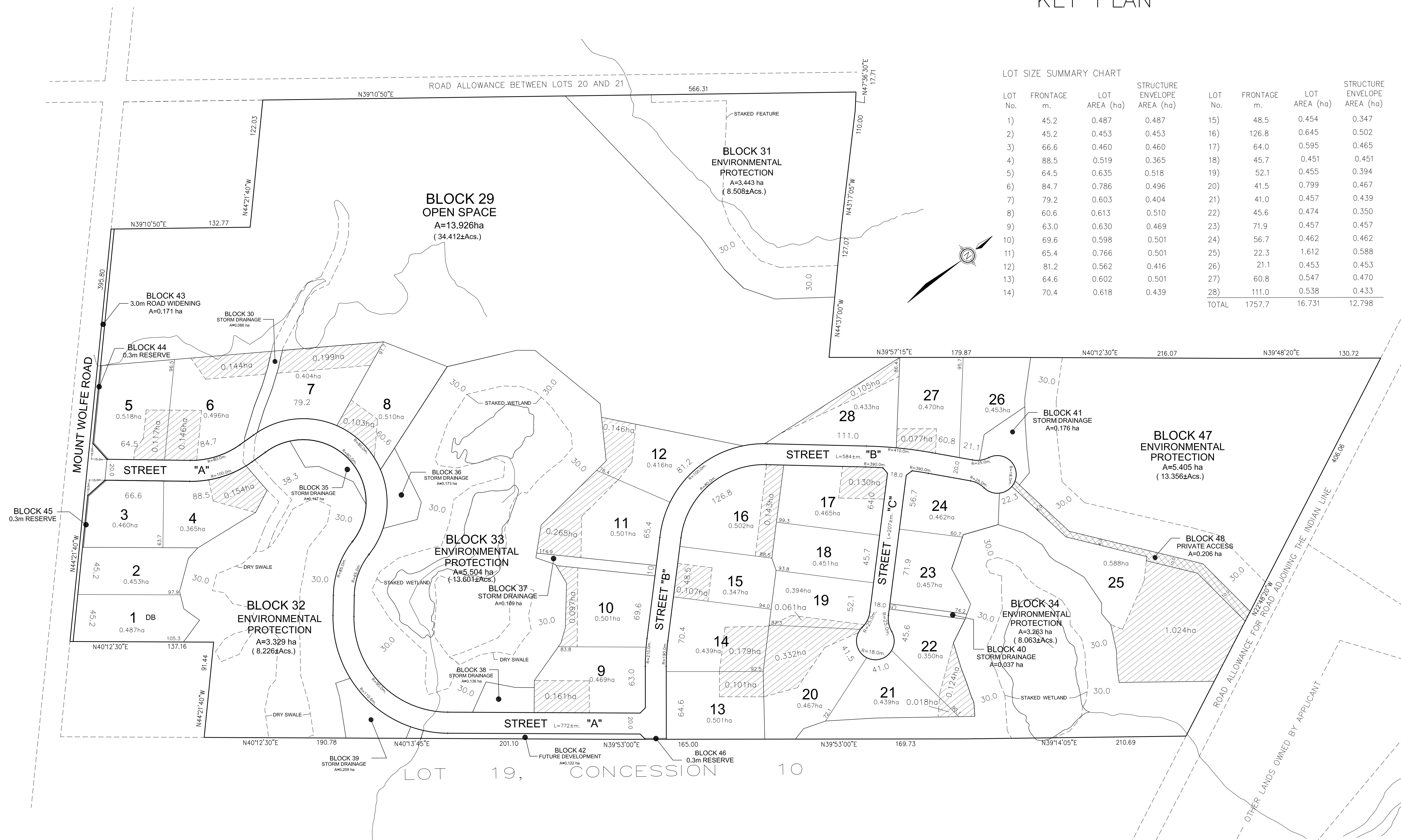
1862 ALBION RD.
REXDALE, ONTARIO
M9W 5T2

ANTONIO FERRARA A.S.O.

SCHEDULE OF LAND USE

TOTAL AREA OF LAND TO BE SUBDIVIDED = 56.263±Ha. (139.028±AcS)

DETACHED DWELLINGS	BLOCKS	LOTS	UNITS	±Ha.	±AcS.
LOTS 1-28 MIN. LOT FRONTAGE=21.1m. MIN LOT AREA=1,270sq.m.	28	28	28	16.731	41.343
SUBTOTAL		28	28	16.731	41.343
BLOCKS 29	- OPEN SPACE	1		13.926	34.412
BLOCKS 31-34 and 47	- ENVIRONMENTAL PROTECTION	5		20.944	51.754
BLOCKS 30 and 35-41	- STORM DRAINAGE	8		1.073	2.651
BLOCK 42	- FUTURE DEVELOPMENT	1		0.122	0.301
BLOCK 43	- ROAD WIDENING	1		0.171	0.423
BLOCKS 44-46	- 0.3m. RESERVE	3		0.005	0.012
BLOCKS 48	- PRIVATE ACCESS	1		0.206	0.509
STREETS				3.085	7.623
20.0m. WIDE TOTAL LENGTH=1356±m. AREA= 2.712±Ha.					
18.0m. WIDE TOTAL LENGTH= 207±m. AREA= 0.373±Ha.					
TOTAL				56.263	139.028



LOT SIZE SUMMARY CHART

LOT No.	FRONTAGE m.	LOT AREA (ha)	STRUCTURE ENVELOPE AREA (ha)	LOT No.	FRONTAGE m.	LOT AREA (ha)	STRUCTURE ENVELOPE AREA (ha)
1)	45.2	0.487	0.487	15)	48.5	0.454	0.347
2)	45.2	0.453	0.453	16)	126.8	0.845	0.502
3)	66.6	0.460	0.460	17)	64.0	0.595	0.465
4)	88.5	0.519	0.365	18)	45.7	0.451	0.451
5)	64.5	0.635	0.518	19)	52.1	0.455	0.394
6)	84.7	0.786	0.496	20)	41.5	0.799	0.467
7)	79.2	0.603	0.404	21)	41.0	0.457	0.439
8)	60.6	0.613	0.510	22)	45.6	0.474	0.350
9)	63.0	0.630	0.469	23)	71.9	0.457	0.457
10)	69.6	0.598	0.501	24)	56.7	0.462	0.462
11)	65.4	0.766	0.501	25)	22.3	1.612	0.588
12)	81.2	0.562	0.416	26)	21.1	0.453	0.453
13)	64.6	0.602	0.501	27)	60.8	0.547	0.470
14)	70.4	0.618	0.439	28)	111.0	0.538	0.433
TOTAL					1757.7	16.731	12.798

NOTE - ELEVATIONS RELATED TO CANADIAN GEODETIC DATUM

- NATURAL AREA
- EASEMENT TO OTHER LANDS OWNED BY APPLICANT
- DB** DENSITY BONUS

KLM PROJECT No. P-2520
SCALE 1:2000 NOV. 3, 2015
(2520DES10) X-REF: (2520MAS & 2520TOPO)
DWG. No. - 15:2
PLANNING PARTNERS INC. 64 JARDIN DRIVE - UNIT 1B, CONCORD ONTARIO L4K 3P3
TEL: (905)669-4055 FAX: (905)669-0097 design@klmplanning.com
Planning • Design • Development