

TOWN OF CALEDON  
PLANNING  
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July 29, 2020



PALGRAVE ESTATE

Palgrave, Town of Caledon  
URBAN DESIGN BRIEF





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URBAN DESIGN BRIEF

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1.1 Purpose

This Urban Design Brief has been prepared for the proposed 29 lot estate residential subdivision located in Palgrave, the Town of Caledon.

The Purpose of this Urban Design brief is to

- To discuss the relationships of the site to its context, such as existing and proposed streets, existing local built form and proposed built form, landscape context and reforestation.
- To describe a design vision that will illustrate the intended visual character and structure of the proposed development.
- To provide a flexible guideline that addresses design method for respective design criteria with considerations to conform to the Caledon Official Plan and Town-Wide Design Guidelines.

1.2 Design Objectives

The site in Palgrave appears at first to be the kind of disregarded stretch of agricultural land and next to a rural two-way road. Flying by at 70 kilometers per hour, you might not even notice it. The surrounding residential houses suggest that this will be a place that will be abounded with life.

The following design principles will be used to guide urban design decisions related to the proposed development

- To create a low density masterplan that implements the Town of Caledon’s vision for a rural-picturesque, high quality estate residential neighbourhood.
- To analyze existing conditions that will affect street pattern, lotting configuration, building envelopes and access to each lot.
- To establish objectives for built form to ensure the development harmonizes with the open space character of the area and minimizes negative visual impacts.
- To envision a responsible plan that allows to maintain and enhance the conditions of local ecosystem and Oak Ridges Moraine Conservation Area.
- To encourage harmonious and attractive streetscapes which reflect an upscale residential character through attention to gateway features, dwelling facades / materials, and landscape treatments.

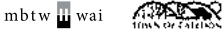
Land use, growth and development is managed by a series of documents:

1. The Town of Caledon Official Plan sets out detailed policies that guide development, growth and land use in the PERC. Development applications must meet all of these policies.
2. Additionally, the Region’s Official Plan, and Provincial Policies establish other expectations for the way development and growth is planned in the Palgrave Estate Residential Community.
3. The Town of Caledon Zoning By-law is the legal tool that regulates land use, buildings and structures at the lot-level.

The intent of the urban design brief is to promote an attractive, high quality landscape and built form that maintain and enhance the natural and open space character of Caledon.



- Town of Caledon Comprehensive Town-Wide Design Guidelines (TWDG)
- Town of Caledon Official Plan
- Town of Caledon Zoning By-Law



TOWN OF CALEDON  
COMPREHENSIVE TOWN-WIDE  
DESIGN GUIDELINES

November 2017



Town of Caledon

Official Plan

Consolidated in November, 2016

Town of Caledon Comprehensive Town-Wide Design  
Guidelines (TWDG)

Town of Caledon Official Plan



Town of Caledon Zoning By-Law

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Revised: October 20, 2017





2.0

COMMUNITY CONTEXT

2.1 LOCATION AND SITE DESCRIPTION

The subject lands occupy 102 acres on the west east side of Mount Hope Road just south of Highway 9, in the Town of Caledon. This site is bounded by:

- North –A rural residential property, woodlot.
- East –Woodlots and estate residential properties on Barbara Pl and McGuire Trail.
- South –Woodlots and estate residential properties on Rowley Drive.
- West –Mount Hope Road, opposite are existing estate residential properties on Doctor Reynar Road.

The site contains a mix of agricultural fields and treed areas and under zone A2-ORM and EPA2-ORM. Significant heritage features, Landforms (environmental policy area) will be protected and buffered from development.

Significant woodland will be preserved and Tree preservation practices will be applied to maximize retention of healthy mature trees on the building lots where feasible, as per the approved Tree Preservation Report. Natural restoration and reforestation will be encouraged as part of development.

SUBJECT LAND - KEY PLAN

- Major Traffic Road
- Traffic Road
- Subject Site
- Significant Woodland
- Open Space (Agricultural)
- Water Body
- Residential Area





2.0

COMMUNITY CONTEXT  
2.2 EXISTING SITE CONTEXT

The site is in proximity to several estate residential subdivisions.

Homes on Doctor Reynar Road and Buckstown Trail have been constructed over the past 7 years. Homes on Rowley Drive and McGuire Trail have been constructed over the past 15 years and more and the subdivision is close to assumption.

These homes are typically characterized as large, upscale bungalow and two storey masonry-clad detached dwelling that represent an eclectic range of tradition-inspired architectural styles.



- 1 - 2 **SITE**  
Flat agricultural land close to the road with woodland in the distance.
- 3 - 4 **BUCKSTOWN TRAIL**  
Developments in this area are newer and closer to the street.
- 5 - 6 **ROWLEY DR**  
Deep lot frontage and driveway from the street to the built forms. Majority of facade materials are masonry.
- 7 - 8 **MCGUIRE TRAIL + BARBARA PL**  
Bigger home and mostly with private gateway.



1



8



2



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3.0

VISION AND PROPOSED DEVELOPMENT  
3.1 VISION

This Design Guideline is proposing a 29 lot subdivision that is envisioned to be reflective of a “rural-picturesque” estate residential enclave, with built-form and streetscape designs inspired by the open space character of the surrounding area. The subdivision has been designed to maximize tree preservation and protection of significant natural features and landforms within the Oak Ridges Moraine through the use of irregular shaped lots and establishment of building envelopes. The landscape features and housing will be designed with quality in mind creating an attractive, vibrant upscale neighbourhood identity that will harmonize with its natural setting amongst the rolling countryside of Caledon.





3.0

VISION AND PROPOSED DEVELOPMENT  
3.2 PROPOSED DEVELOPMENT

Development Concept Plan

- Significant Woodland
- Lot Property Line
- Buildable Area
- Boundary of Subdivision
- Road
- Significant Woodland
- New Landscape Area
- Approximate limit of EZ2

3.2 Proposed Development

- The proposed development pattern evolves from the structure of the existing road, potential site access and open space, including significant woodland conservation, reforestation plan and environmental policy area conservation.
- The development proposal includes 29 estate residential lots connected by three proposed streets. All lots will be accessible via Street “A” from the existing Mount Hope Road and potential extension of the existing Barbara Place.
- The neighbourhood entrance / gateway will be distinguished through use of masonry piers and landscape at both end of Street “A”.
- Two new cul-de-sac roads will be developed to provide access to lots 1-12 through Street “B” and lots 13-16 through Street “C”.
- Some lots will have irregular shape to accommodate open space under conservation plan.
- Each lot will have its own private septic system and municipal water service.
- A significant portion of the site will be dedicated as Open Space to protect and buffer sensitive environmental features and landforms.
- Each dwelling and septic bed will be sited within the defined building envelope with regard for on-site natural features, lot grading constraints and building setbacks as stipulated in the Municipal Zoning By-law.
- Visual impact from the street will be addressed using front yard landscaping to diminish the overall massing of the dwellings to match with the open space, as well as using appropriate facade design and material that suit the character of houses in the region.



DEVELOPMENT CONCEPT PLAN





4.0

PUBLIC REALM DESIGN CRITERIA  
4.1 ROAD / SITE ACCESS

Road Hierarchy

Street “A” > Street “B” = Street “C”

Street “A”

- Linkage between Mountain Hope Road and McGuire Trail.
- 20.0m wide public right-of-way.
- Access to lots 17-29.




Street “B”

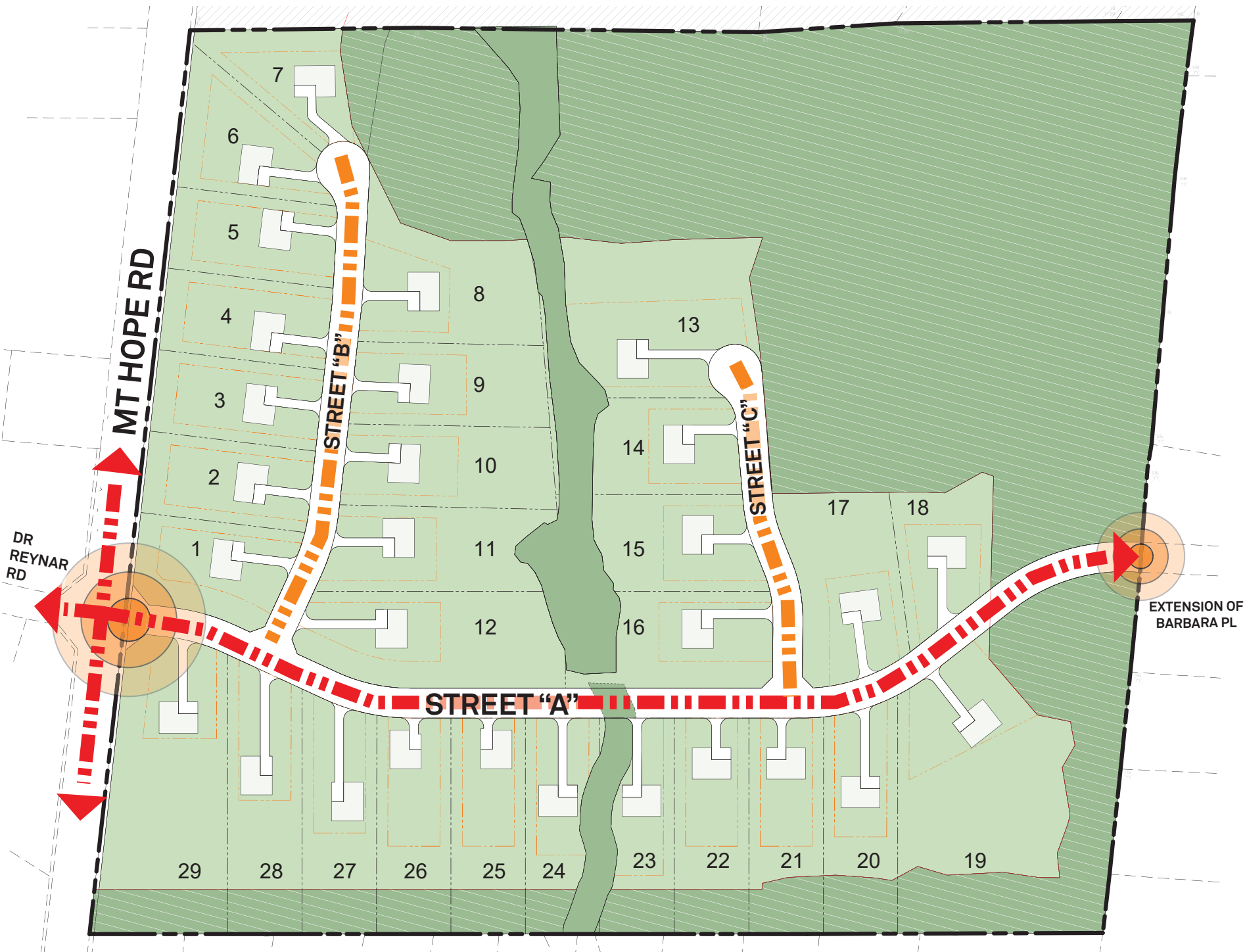
- Cul-de-sac with green space at center.
- Access to lots 1-12.

Street “C”

- Cul-de-sac with green space at center.
- Access to lots 13-16.

Development Concept Plan

-  Site Entrance
-  Major Vehicular Routes
-  Minor Vehicular Routes



4.1 Road / Site Access

- A well-designed entrance at Mountain Hope Road and Street “A” to promote the proximity of the intimate neighbourhood.
- Entry features facilitate orientation, promote a sense of arrival, add visual interest to the neighbourhood character and articulate transition between the enclave and its surroundings.
- Reflective of the ‘rural-picturesque’ inspired character, materials used for the built component of the entry features (stone, brick, paving, etc.) should be complementary to the prevailing materials used throughout the community.
- A gateway feature may also be considered at the potential extension of Barbara Place and Street “A”.
- A variety of naturalized, low maintenance vegetation should be incorporated with the aim of achieving a wide range of seasonal experiences.
- Appropriate landscape design should be incorporated to create the atmosphere and a leading way into a semi-private residential area.

ROAD / SITE ACCESS

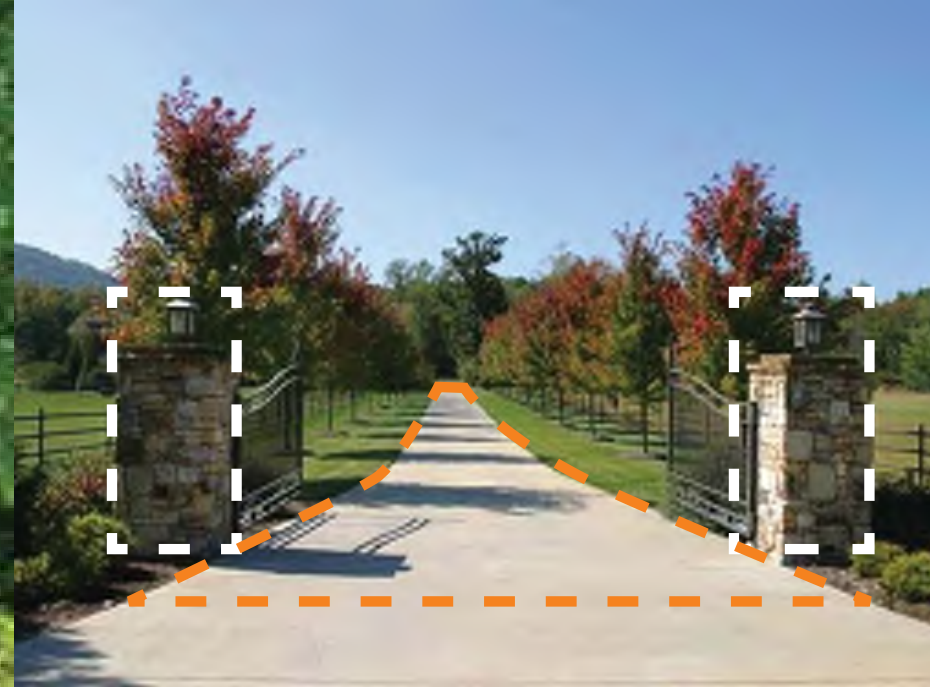


## 4.0

### PUBLIC REALM DESIGN CRITERIA

#### 4.2 GATEWAY

- “Gateway signage and treatments must be unique to the community or neighbourhood, recognizing and celebrating the unique historical characteristics of urban and rural edges.” (TWDG P36)
- “Incorporate high quality and low maintenance design into gateway and edge features, including well articulated architectural façades, and high quality landscaping treatments (i.e. special paving, signage, lighting, seating and/or fencing). Strong architectural elements must be coordinated with landscape features (in terms of colours, materials and textures).” (TWDG P36)
- “Accent planting including flowering shrubs and native trees, ornamental grasses and perennials are encouraged at these locations.” (TWDG P36)
- Entry features facilitate finding direction and orientation, promote a sense of arrival, add visual interest to the neighbourhood character and articulate transition between the neighbourhood and its surroundings.
- Features at the site entry create a warm welcoming atmosphere for a cohesive community.





4.0

PUBLIC REALM DESIGN CRITERIA  
4.3 WOODLAND + OPEN SPACE

- “Promote ecologically diverse, healthy and sustainable, connected natural systems and wildlife corridors.” (TWDG P30)
- “Remediation, restoration and enhancement of the natural heritage system is required.” (TWDG P30)
- “Estate residential development adjacent to woodlots, wetlands, watercourses or other ecologically significant areas shall incorporate environmental protection measures to ensure these areas are protected from development.” (TWDG P180)
- The Town of Caledon Official Plan addresses that the fundamental objective is to ensure the integrity of Caledon’s cultural heritage landscapes and ecosystems is protected, maintained and enhanced.
- Preservation of and enhancements to environmental protection areas, natural heritage, open space and mature tree canopy on public and private property promotes ecological function and improve biodiversity and wildlife corridors.
- Existing natural features and habitat shall be protected through the use of 30m buffers.
- A Provincially Significant Woodland and an Environmental Policy Area will be the major natural heritage assets preserved within the proposed development site.
- Additional 5 parcels of potential reforestation areas which is around 13.85 hectares in total. Design of the reforestation areas should consider the rural landscape and agricultural heritage of the Town.



SHARED OPEN SPACE WITHIN SUBJECT SITE



THE WOODLAND AND OPEN SPACE SYSTEM IN THIS AREA ARE ESSENTIAL COMPONENTS OF THE COMMUNITY’S CHARACTER AND THE REGION’S ECOLOGICAL SYSTEM.





4.0

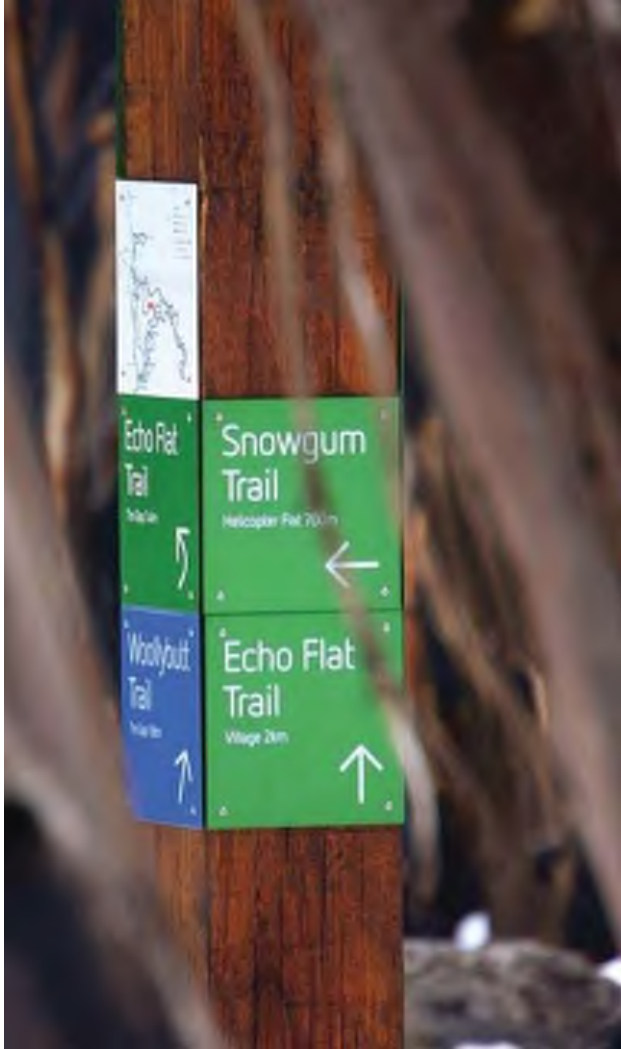
PUBLIC REALM DESIGN CRITERIA

4.4 STREETScape

- The streetscape involves the combination of landscape elements, entry feature, street lighting and signage, their designs should provide unification to the proposed development, create visual interest, and complement the built form to form a warm and welcoming neighbourhood.

4.4.1 Neighbourhood Safety

- “Communities that encourage opportunities for casual surveillance throughout the public realm.” (TWDG P13)
  - “Enhance night and seasonal visibility and safety by ensuring that the placement of street lighting is consistent with the principles of CPTED.” (TWDG P44)
  - “Street lighting should reflect the urban, village or rural character of the community.” (TWDG P44)
  - Well-lit environments with limited visual obstructions to ensure safety at all times of the day and night, and through the winter months.
  - Streetlights will be located to take in consideration of their visual impact on the development and adjacent properties. There should be no light encroachment into natural areas in order to avoid impacts on wildlife.
- 4.4.2 Reflective Rural Wayfinding
- Wayfinding elements may be incorporated to provide clear and concise direction to users as well as providing community character in accordance with the Town.
  - Wayfinding elements may integrate with utility and street lighting poles.



STREET LIGHTING ON BARBARA PLACE.





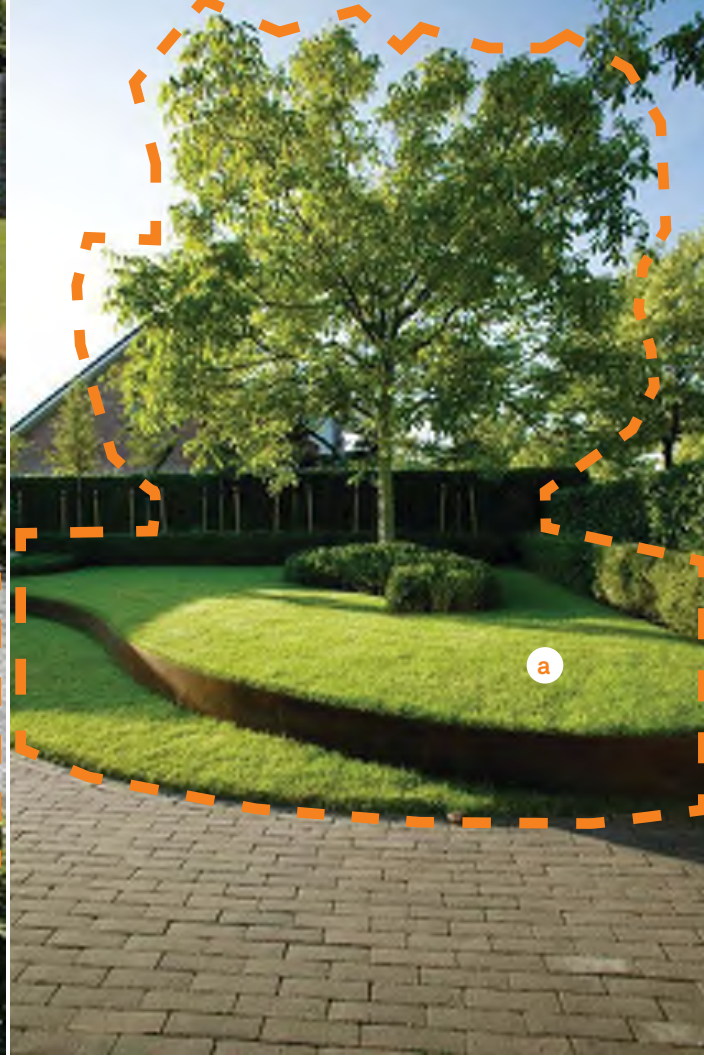
## 4.0

### PUBLIC REALM DESIGN CRITERIA

#### 4.4 STREETSCAPE

##### 4.4.3 Street Landscape

- “Plant high-branching trees to ensure visibility and clear sight lines at the intersection.” (TWDG P46)
- **a. Planter at corner** should consider groupings of trees and more prominent design to highlight intersections and transitional areas.
- **b. Bushes and shrubs** will be preferred to be planted as the barrier of properties potentially to minimize the visual impact of fencing.
- **c. Pavement** should consider multiple selections respectively for different zones, especially to articulate the transition from the public realm into private properties.
- Street trees can help to establish the residential character of the neighbourhood. They will be planted to create the neighbourhood boulevard along the traffic routes as well as the perimeter of the site to screen the traffic from Mountain Hope Road.
- Trees will be planted in accordance with the Town’s standard requirement and adequately set back from paving and utilities.
- A variety of native species should be considered for to ensure the diversity of the appearance and health of the ecosystem.





5.0

PRIVATE REALM DESIGN CRITERIA  
5.1 BUILT FORM

- “The rural character of the landscape and community shall be maintained as new development occurs, incorporating traditional styles that are most frequently associated with rural, estate style communities, in accordance with the Town of Caledon Official Plan.” (TWDG P180)
- The use of heritage-inspired, tradition-based residential architecture is recommended to suit the rural site context and to respect the existing built form context of the area.
- The architecture is not just limited to traditional rural style, modern and contemporary styles are also encouraged, as long as the design respond to maintain and enhance the character of the Town and diversity of its settlements.
- Colour palettes will be selected to ensure visual interest and harmony within the streetscape and to be compatible with the established visual context of the surrounding area.

MATERIAL

- The selection of building materials has a great impact on the overall expression of both individual buildings and of a neighbourhood as a whole. Therefore, all materials shall be selected based on the following criteria:
  - Aesthetics
  - Durability
  - Energy efficiency
  - Low environmental impact, and;
  - Overall quality
- Materials shall be appropriate to their use and context. A variety of materials and colour palettes between blocks is strongly encouraged to enhance visual interest within the neighbourhood

Mixture of Form Design

- a. Square Box
- b. Slanted Roof with Various Orientations
- c. Overlapping and Intersection Mixture





5.0

PRIVATE REALM DESIGN CRITERIA  
5.1 BUILT FORM

ARCHITECTURAL ELEMENT  
FEATURE

a. Chimney

Chimney can be a prominent part of the built form and the facade. The vertical architectural element and the horizontality of the house together create juxtaposition of massing forms. It also contrasts with other geometries from the facade.

PRECEDENT

Prairie House / Saint-Lambert, Canada  
  
NatureHumaine

The existing house is partly demolished and rebuilt by reinterpreting features in a contemporary way such as a low and elongated profile , a overhanging roof and the use of masonry and wood on the facades. The roof is covered with finished steel zinc, while facades are composed with St-Marc limestone and insertions of panels in slats of cedar. The monolithic fireplace stands out as the main element which is a continuation between the internal living spaces and the garden.





5.0

PRIVATE REALM DESIGN CRITERIA  
5.1 BUILT FORM

ARCHITECTURAL ELEMENT  
FEATURE

a. Material

Mixture of opaque and transparent building skin creates contrast for visual interest. Yet, masonry creates a heavier sense than wood does. The selection of material combination can determine the heaviness and lightness of each component of the built form.

PRECEDENT

House on Ancaster Creek / Hamilton, Canada

Williamson Williamson

A wide lot backing onto Ancaster Creek is the site for an intergenerational home for a couple and their elderly parents. The house was conceived as two distinct residences, each formed into a linear bar containing the full program of a home. The bars sit perpendicular to each other, creating a landscaped courtyard setback from the street, and stack at the corner.

MATERIAL

A high-performance glazing system, triple-pane wood-frame windows with an average  $U_w = .77$  anchor the highly insulated envelope.





5.0

PRIVATE REALM DESIGN CRITERIA  
5.1 BUILT FORM

PRECEDENT

Residence DBB / Knokke-Heist, Belgium  
Govaert & Vanhoutte Architects

NY House / Toronto, Canada  
Urbanscape Architects

Bedford Park House / Toronto, Canada  
Mehdi Marzyari Architects

Vesta Residence / Toronto, Canada  
Williamson Chong

- a. Chimney
- b. Material Combination





5.0

PRIVATE REALM DESIGN CRITERIA  
5.2 FACADE + ROOF

- The primary facade of the dwelling should relate directly to the street, where feasible based upon lot configuration, to encourage an attractive and vibrant streetscape.
- The front facade of the dwelling should be well-articulated and detailed through the use of front porches, bay projections and large windows appropriate to the style of the building.

FACADE MATERIAL

- **a.** “Strongly encourage natural stone and clay brick, and permit manufactured stone products with discretion based on their realistic appearance, durability and compatibility with the architectural theme.” (TWDG P181)
- **b.** “Restrict simulated wood paneling and stucco boards, and vinyl sidings to minor detailing only (such as over dormers).” (TWDG P181)
- **c.** **Transparent component** should be used to highlight the design of the facade, as well as to provide optimum view and natural light source.





## 5.0

## PRIVATE REALM DESIGN CRITERIA

## 5.2 FACADE + ROOF

## ROOF

- “Encourage a variety of roofscapes within the context of the established architectural theme.” (TWDG P181)
- “Use premium roofing materials such as cedar shingles or shakes, standing seam metal, copper, heavy shadow asphalt and synthetic slate, where feasible.” (TWDG P181)
- **a.** Slope roof is the traditional architectural element of house, also it provides functional advantages to reduce the accumulation of snow, rain, and falling leaves.
- A low slope roof improves heating and cooling by limiting extra air and makes a structure easier to keep comfortable throughout the seasons.
- **b.** Entrance or porch are distinguished under the roofline, and become prominent architectural elements.



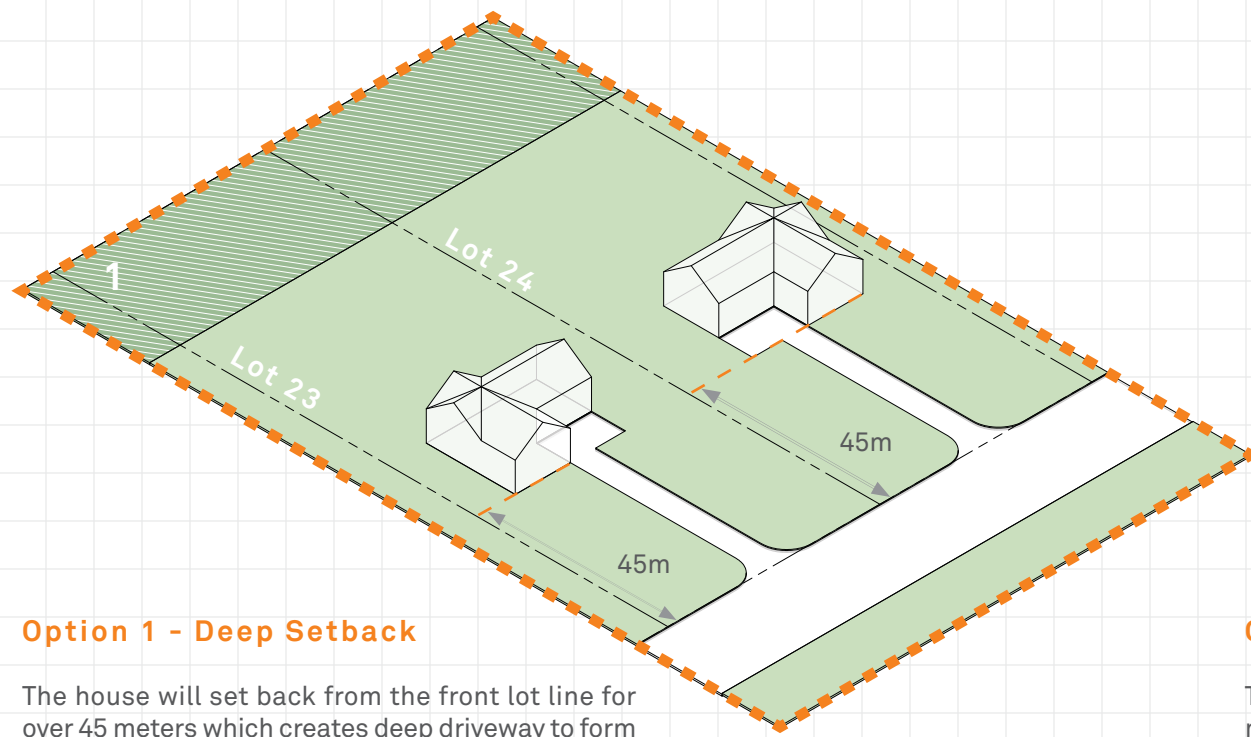


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## PRIVATE REALM DESIGN CRITERIA

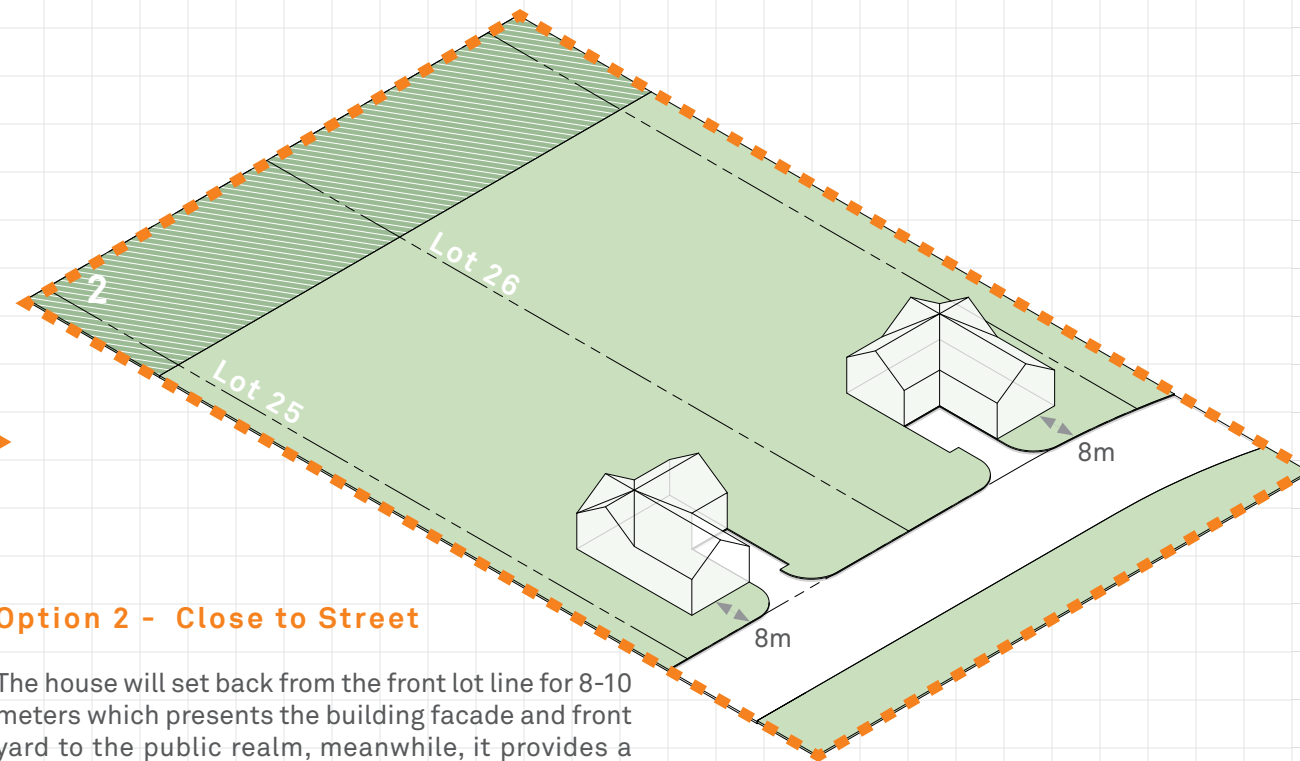
## 5.3 SETBACK + BUFFERING

- “Where possible, encourage buffers adjacent to natural features located within agricultural fields within portions of the Greenbelt.” (TWDG P33)
- “Provide adequate buffering to minimize the visual impact of estate residential neighbourhoods on the rural countryside.” (TWDG P181)
- “Avoid the use of noise barriers, where possible.” (TWDG P181)
- Each dwelling shall be sited within the defined building envelope with due regard for the location of septic fields, significant on-site natural features, lot grading constraints and building setbacks as stipulated in the Municipal Zoning By-law.
- Maximize the visual appeal of the natural and rural setting, where possible, and sensitively integrate new development into their natural setting.



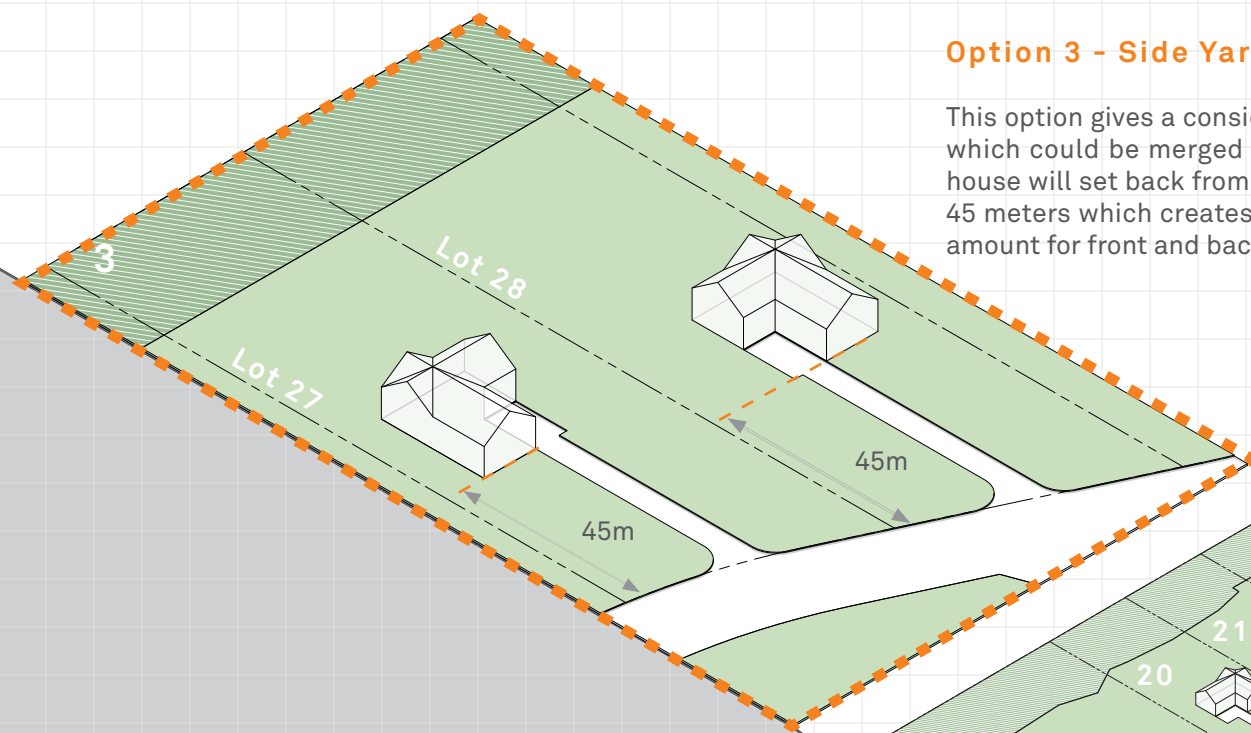
## Option 1 - Deep Setback

The house will set back from the front lot line for over 45 meters which creates deep driveway to form a buffering distance between the dwelling unit and public realm, meanwhile provide even amount for front and back yards.



## Option 2 - Close to Street

The house will set back from the front lot line for 8-10 meters which presents the building facade and front yard to the public realm, meanwhile, it provides a considerable sized areas for the back yard.

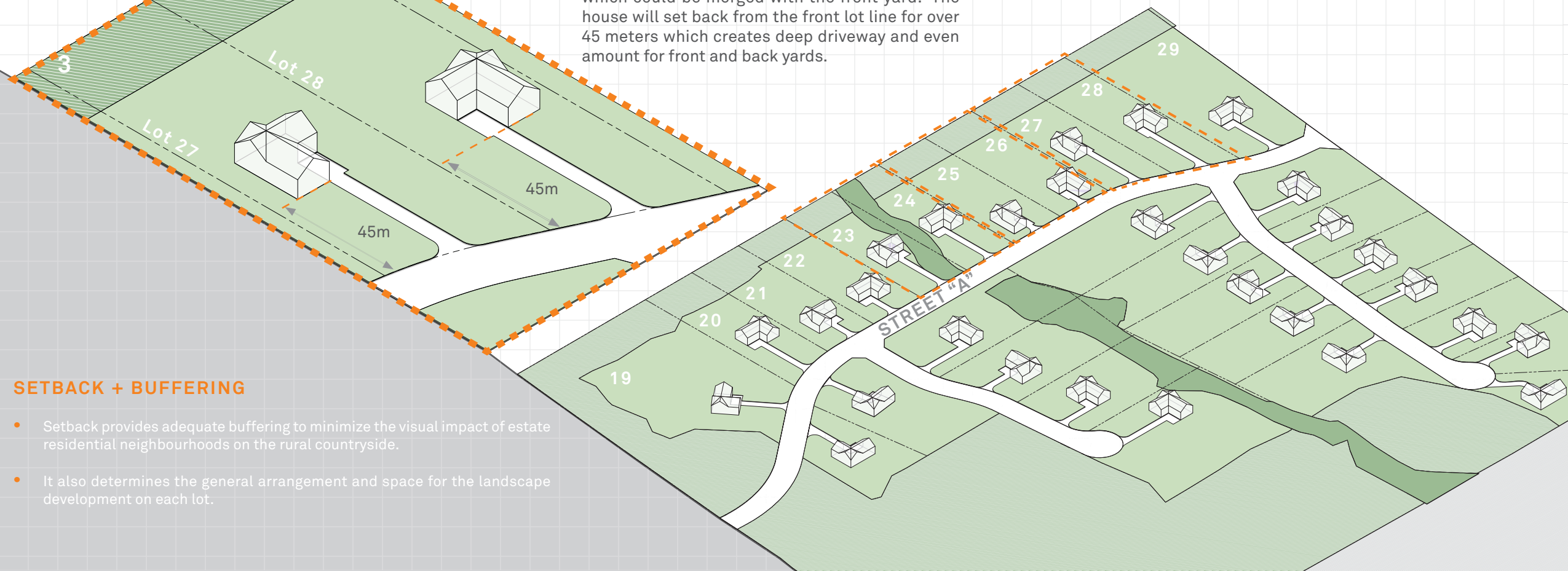


## Option 3 - Side Yard

This option gives a considerable size for side yard which could be merged with the front yard. The house will set back from the front lot line for over 45 meters which creates deep driveway and even amount for front and back yards.

## SETBACK + BUFFERING

- Setback provides adequate buffering to minimize the visual impact of estate residential neighbourhoods on the rural countryside.
- It also determines the general arrangement and space for the landscape development on each lot.





5.0

PRIVATE REALM DESIGN CRITERIA  
5.4 GARAGE

- “Provide unobtrusive garage treatments, considering massing, orientation and architectural detailing of the garage and limiting the extent of garage projection from the main front wall of the house.” (TWDG P180)
- “Limit garage doors to a maximum of three.” (TWDG P181)
- Garages should not dominate the dwelling when viewed from the street and subordinate to dwelling to minimize impact on streetscape.
- a. High-quality materials and colours such as real wood panel may be employed to provide a distinctive yet classic character, well-suited to the building architecture.
- b. Garage doors may be located on the left or right side of the built form.

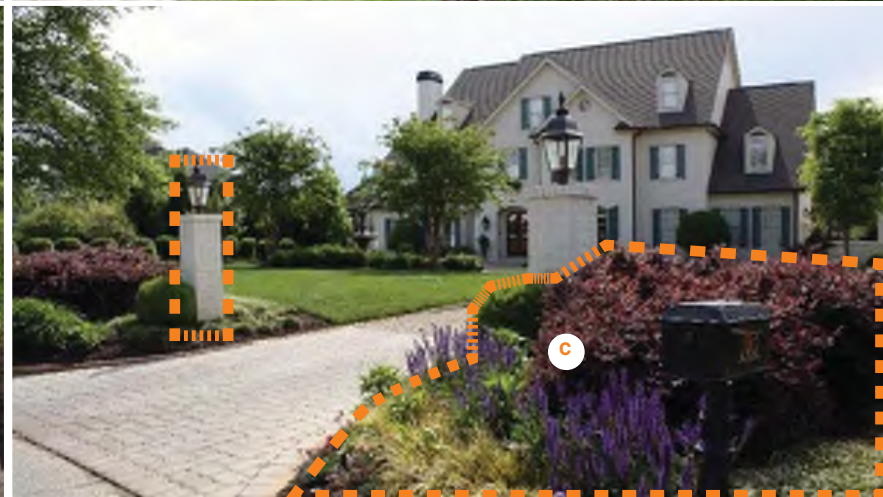




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PRIVATE REALM DESIGN CRITERIA  
5.5 DRIVEWAY

- a. Driveway will be expected to be long because of the setback requirement as well as the huge lot depth.
- b. Specific paving material should be considered such as brick, stone, or gravel. Selection should be made in accordance with the overall materials of the development.
- c. Landscape along the driveway should follow the direction, shape and pattern of the driveway to create a welcoming entry way.





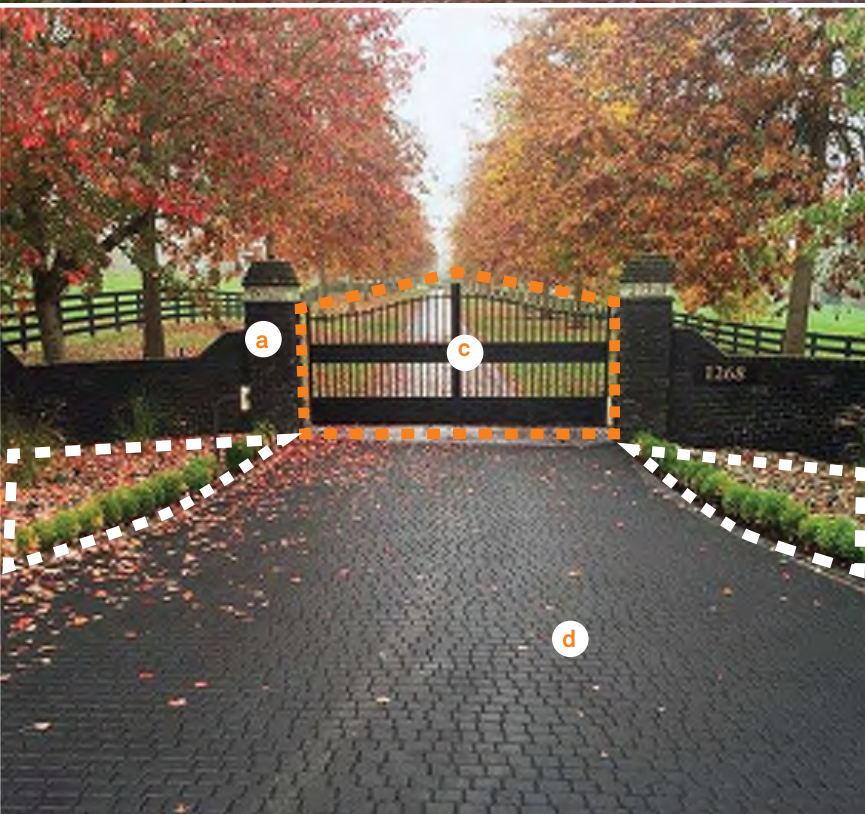
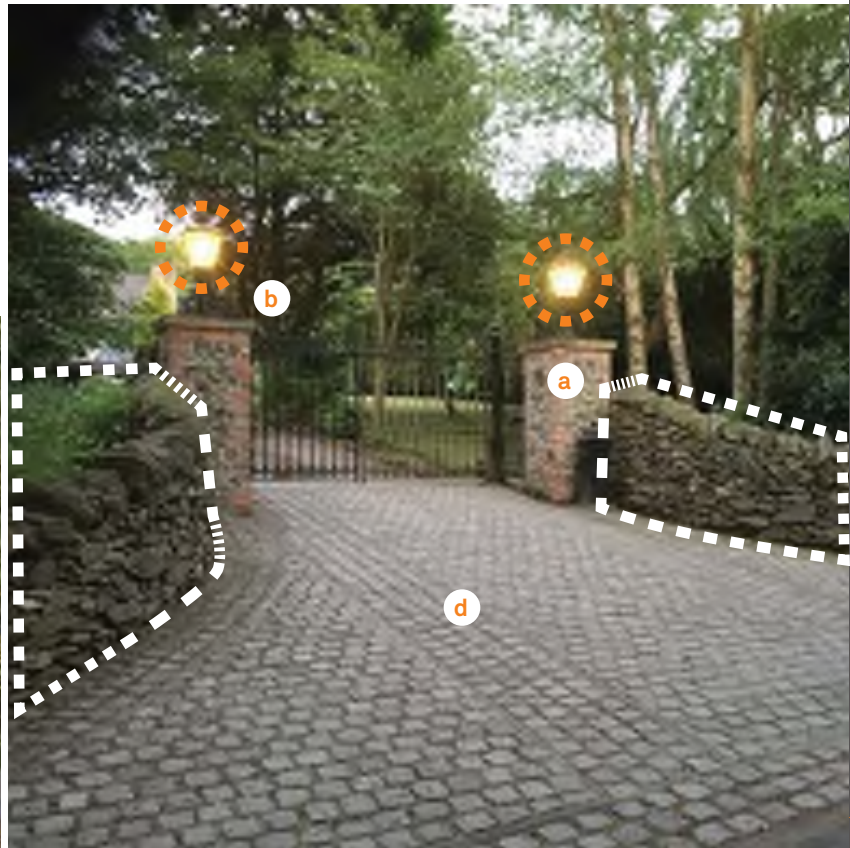
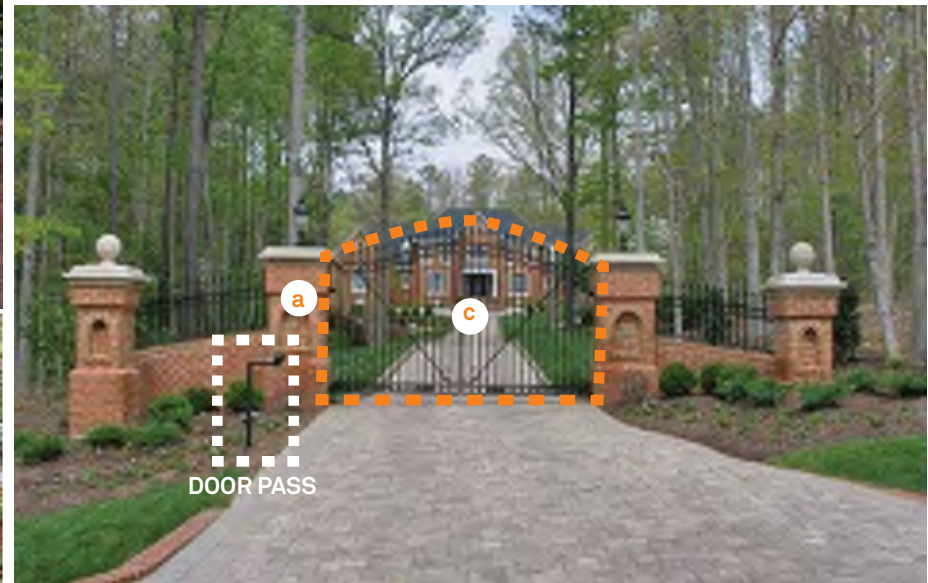
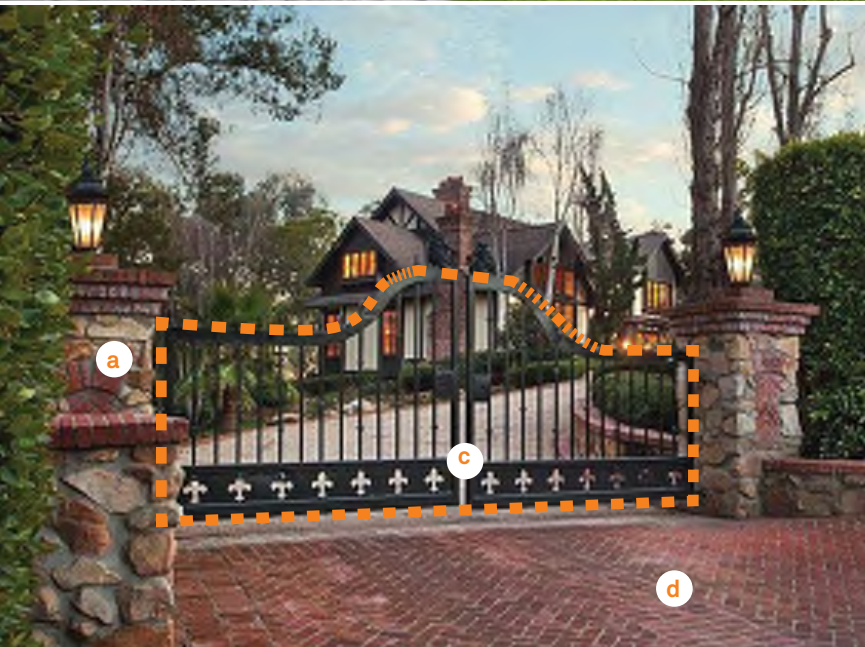
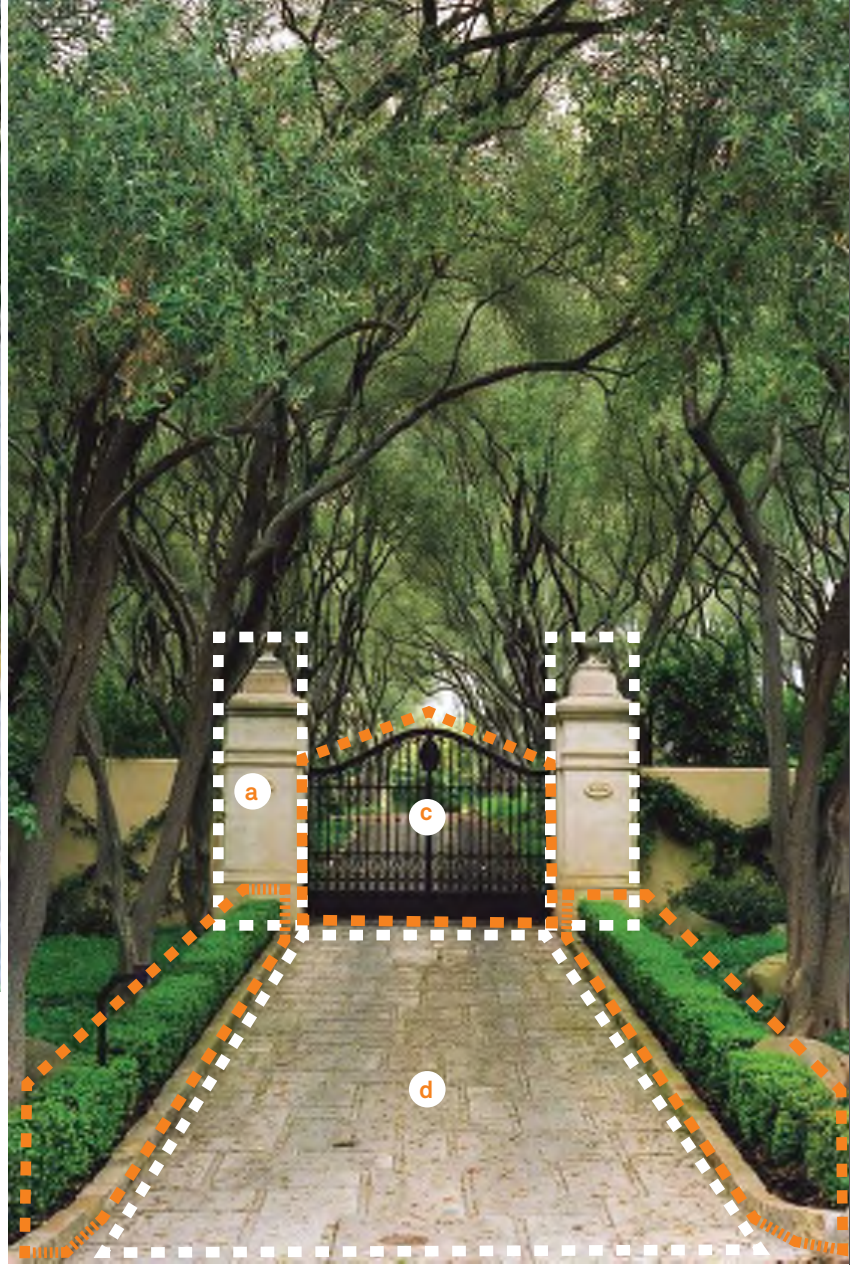
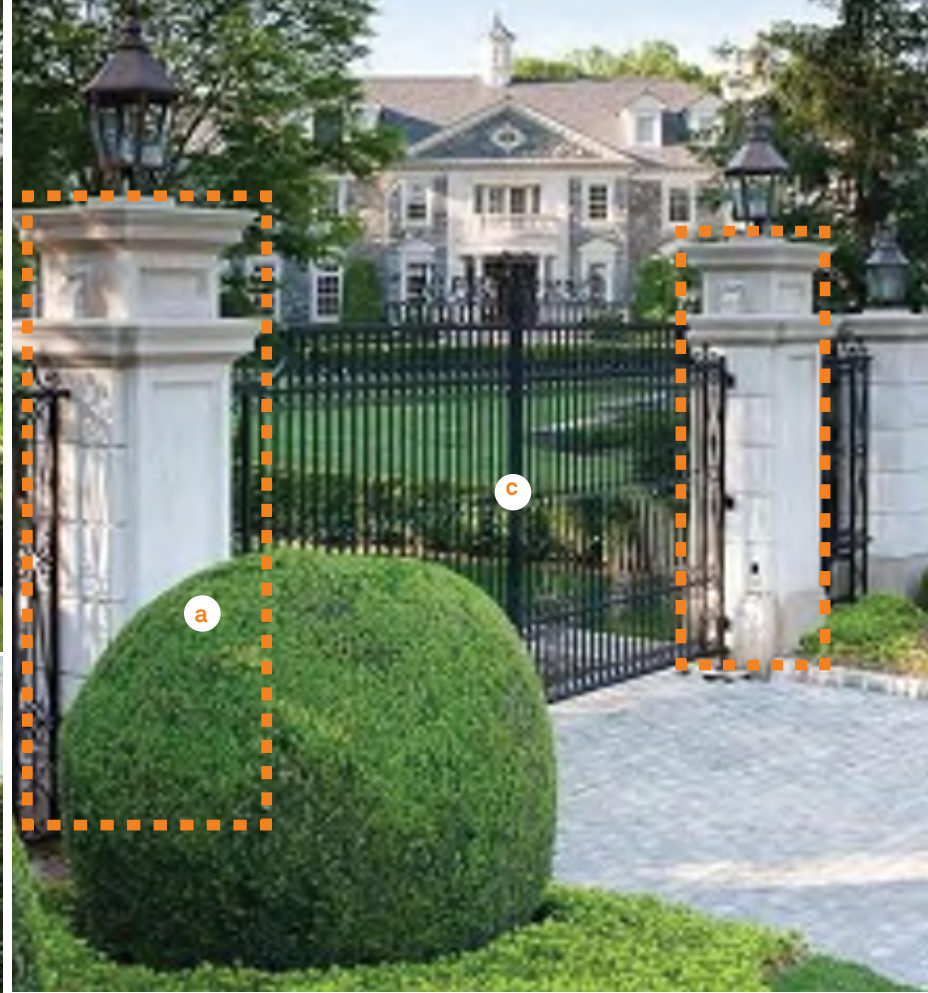
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PRIVATE REALM DESIGN CRITERIA  
5.6 GATEWAY

- a. High quality stone masonry piers which should be in accordance with the selection of building facade materials are preferred to be used as the main element.
- b. Lighting such as lamps may be considered to be integrate with the piers to provide illumination and facilitate orientation at night time.
- c. Steel gate with decorative elements may be use for individual room. It promote a higher-end, private and safe residential type.
- d. Different types of paving may be considered to create transition between public street and private property. Material should be considered to match the aesthetics.

Entry Feature

- Similar to individual gateway for homes, features at the site entry create a cohesive private neighbourhood.
- Entry features facilitate finding direction and orientation, promote a sense of arrival, add visual interest to the neighbourhood character and articulate transition between the neighbourhood and its surroundings.

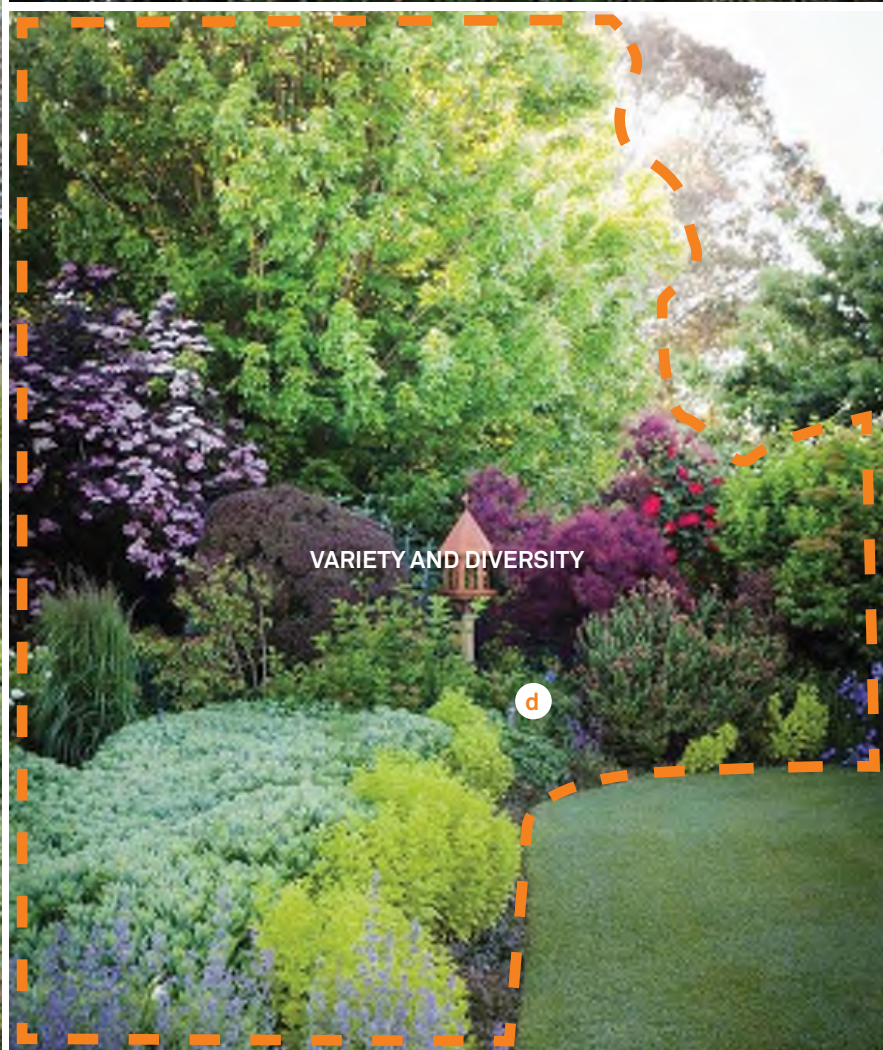
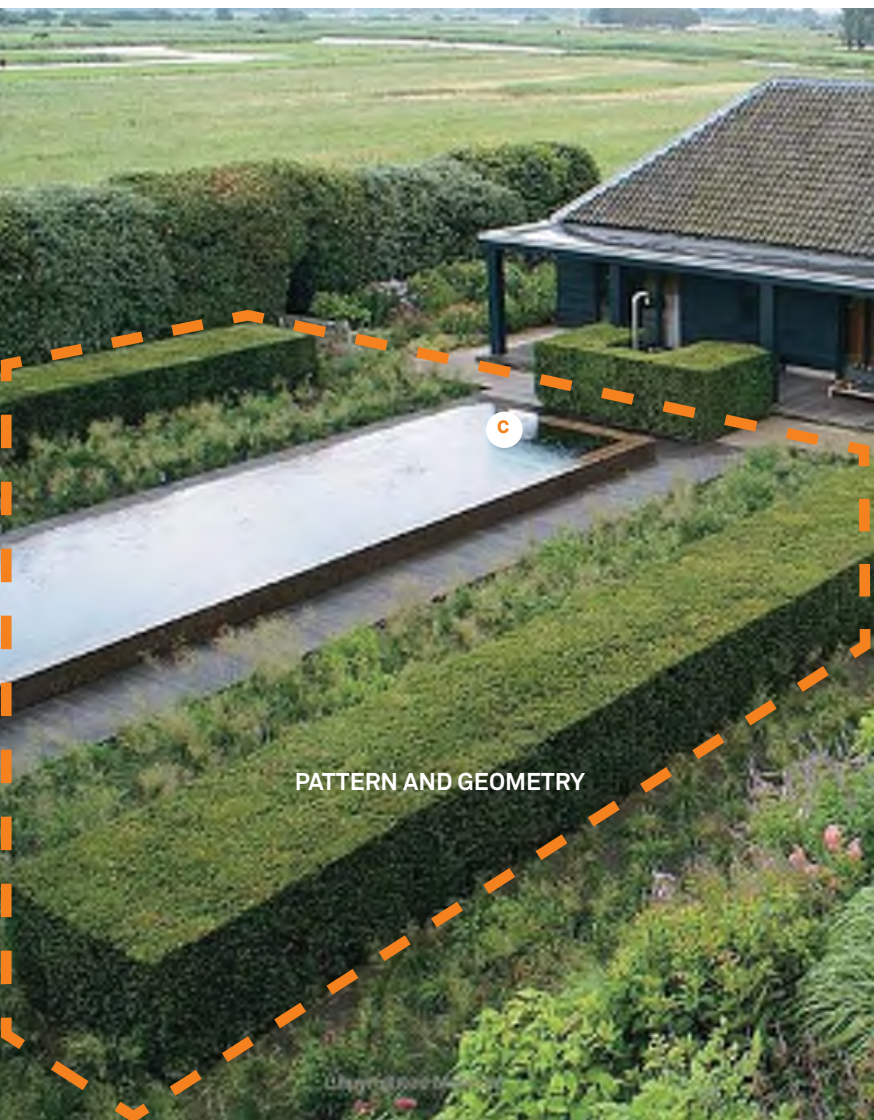




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PRIVATE REALM DESIGN CRITERIA  
5.7 YARD / OPEN SPACE ON LOT

- a. A huge portion of each individual lot will be open space for landscape, therefore it is essential to establish a guide for its design to maintain complement the landscape character of the town and natural heritage.
- b. The design can be flexible from lot to lot to respond to its immediate surrounding context since there are two types of context of open space and forest.
- c. The design should also reflect the future use of the space. Element such as water features, area with pavement, or simply open space. Design should consider the relationship between the form of the building and the function of space around it.
- d. The design should consider to use a variety of species of plants to ensure the biodiversity of the environment.

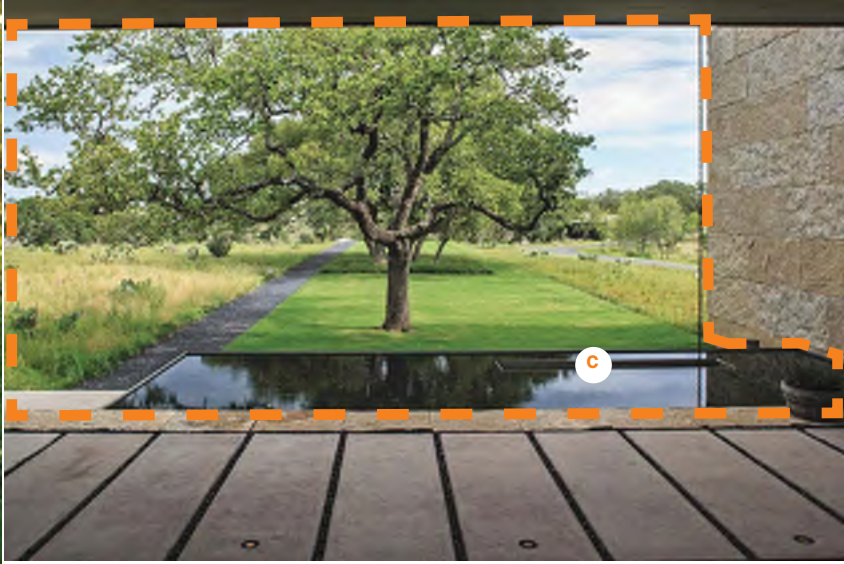
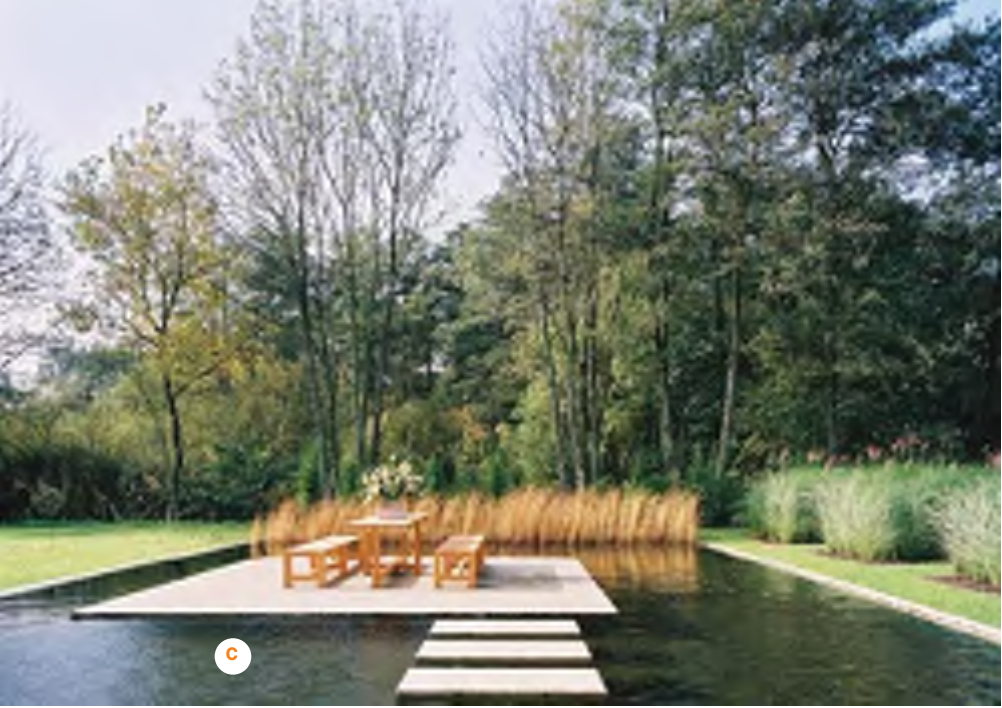




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5.7 YARD / OPEN SPACE ON LOT

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