

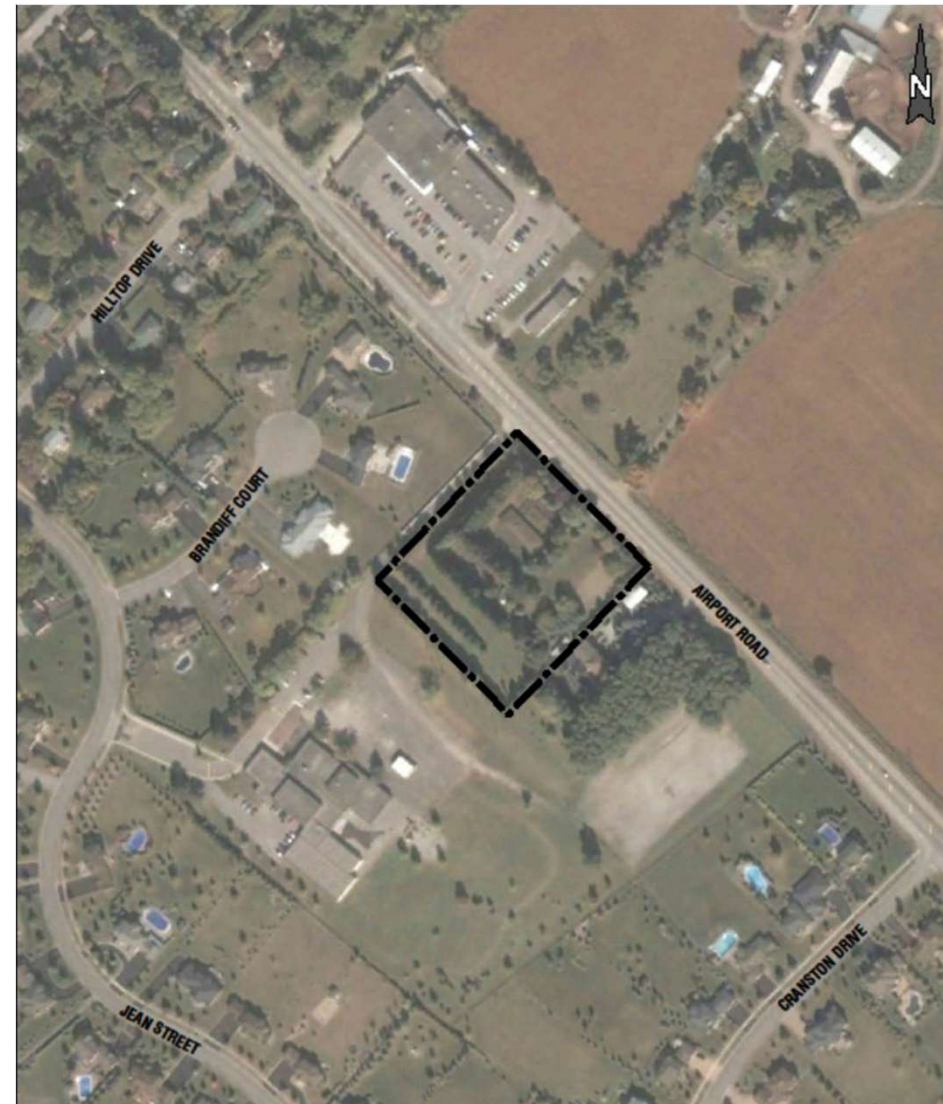


# Resident's Meeting

Wyndham Holdings Inc. 15728 Airport Road, Caledon East  
November 29<sup>th</sup>, 2021 | 7:00 – 8:00 pm

# Subject Lands

- 15728 Airport Road in Caledon East.
- 0.96 ha (2.4 ac) property located on the west side of Airport Road between Hilltop Drive (north) and Cranston Drive (south).
- Currently occupied by a single-detached dwelling.



# Surrounding Area

- The proposed development fronts onto Airport Road, which is a High Capacity Arterial Road extending the entire length of Caledon through to Toronto Pearson International Airport.
- Airport Road within Caledon East contains a mix of uses including commercial, residential and institutional uses.



Airport Road – future development site looking east across from the subject property.



Foodland Plaza – located to the north of the property on Airport Road.

# Surrounding Area

## North

- 'Foodland' commercial plaza with additional retail and service commercial
- Single-detached dwellings

## East

- Development lands (residential subdivision)

## West

- Single-detached dwellings
- Caledon East Public School

## South

- Single-detached dwellings
- Field belonging to Caledon East Public School

# Development Proposal

- A three (3) storey Seniors Retirement Facility with a total of 127 units which include a mix of unit types and levels of care, including the following:
  - 26 ambulatory care units.
  - 21 memory care units.
  - 80 one (1) and two (2) bedroom independent living units.



# Planning Applications

## Official Plan Amendment

- Property is currently designated *Low Density Residential* within the Town of Caledon Official Plan.
- An amendment is required to redesignate the property to *Institutional* to permit the Seniors Retirement Facility.

## Zoning By-law Amendment

- Property is current zoned *Rural Residential* within Zoning By-law No. 2006-50.
- An amendment is required to rezone the property to *Institutional* with special provisions to permit the Seniors Retirement Facility.

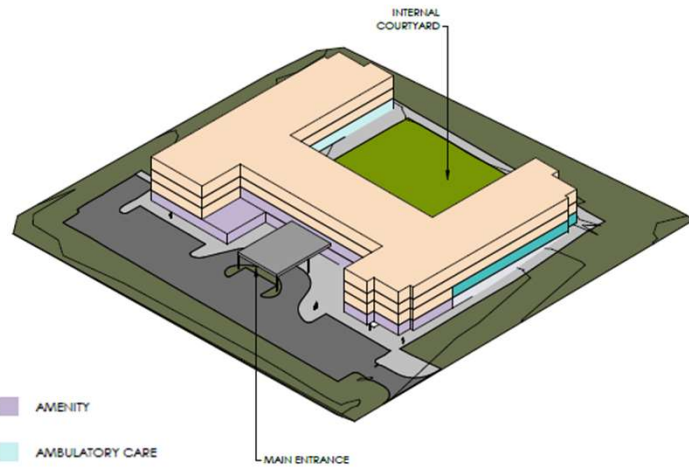
# Relevant Policy Documents

- Provincial
  - Provincial Policy Statement 2020
  - Growth Plan for the Greater Golden Horseshoe 2020
  - Greenbelt Plan 2017
- Municipal
  - Region of Peel Official Plan
  - Town of Caledon Official Plan
  - Caledon East Secondary Plan
  - Town of Caledon Zoning By-law No. 2006-50

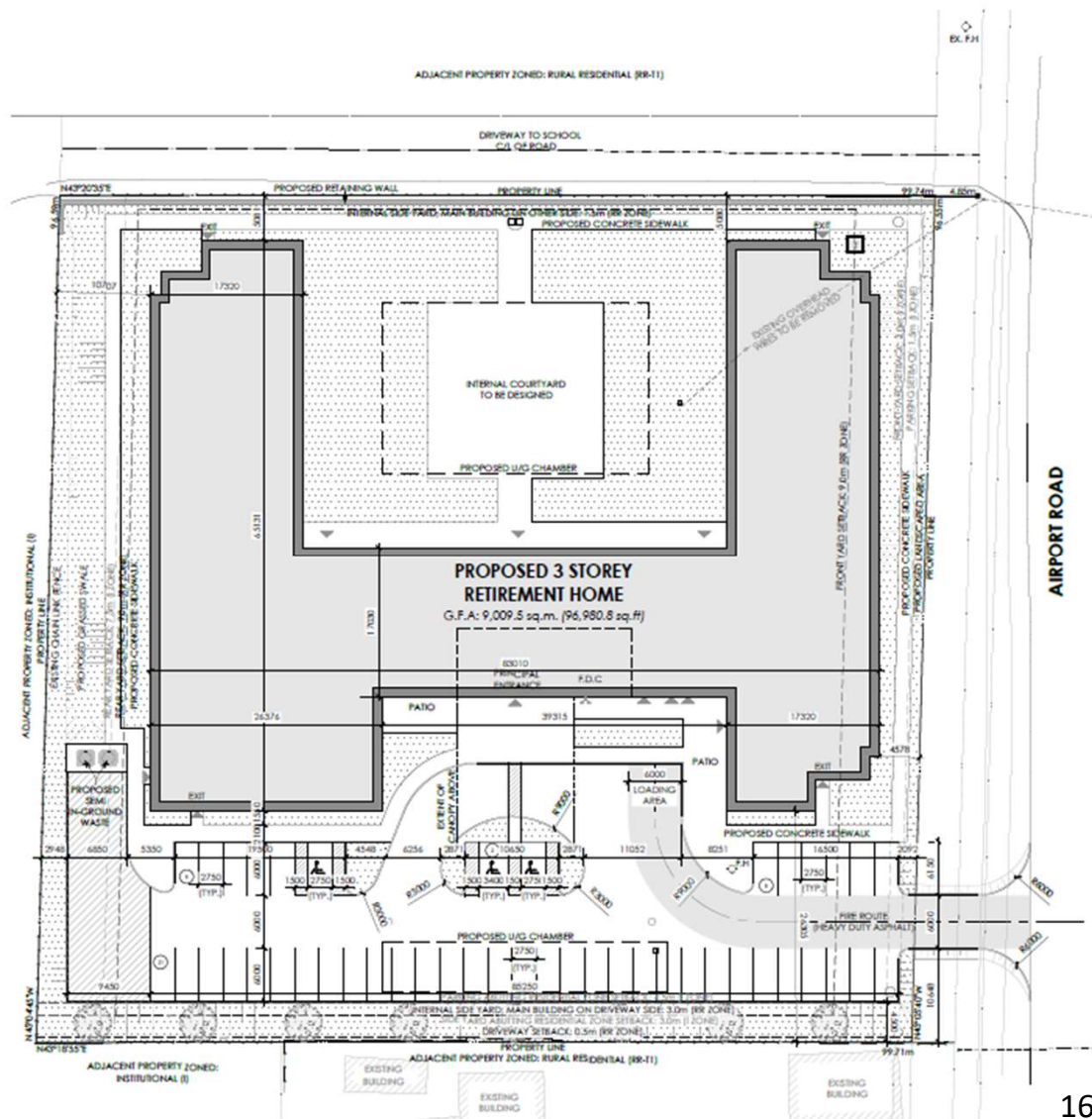
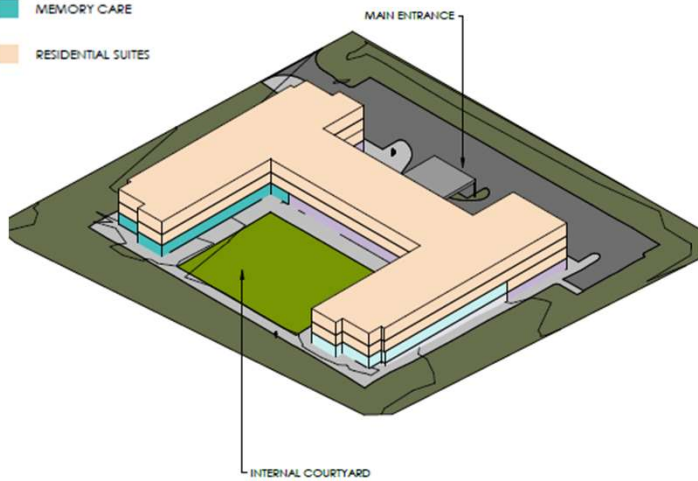
# Technical Reports

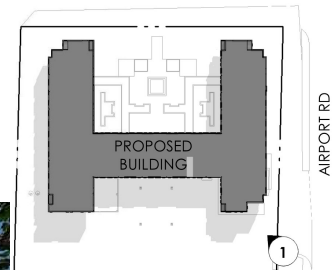
- The following Technical Reports were submitted as part of the application:
  - Planning Justification Report
  - Urban Design Report
  - Hydrogeological Study
  - Geotechnical Report
  - Functional Servicing Report
  - Noise Impact Study
  - Transportation Impact Study
  - Arborist Report
  - Phase 1 Environmental Site Assessment
  - Waste Management Report
  - Healthy Development Assessment
  - Business Plan

# Site Plan

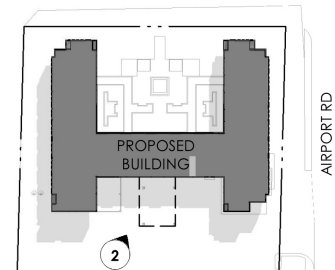


- AMENITY
- AMBULATORY CARE
- MEMORY CARE
- RESIDENTIAL SUITES





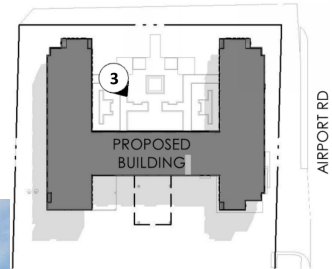
**Conceptual View of Building Approaching Caledon East**



**Conceptual View of Building Entry**

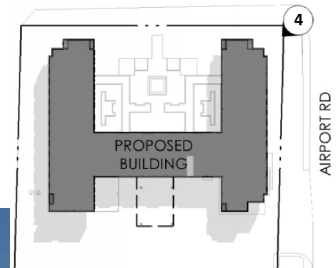


**Conceptual View of Internal Courtyard**





**Conceptual View of Building Leaving Caledon East**



# Contacts

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