

TOWN OF CALEDON  
PLANNING  
RECEIVED  
April 21, 2025

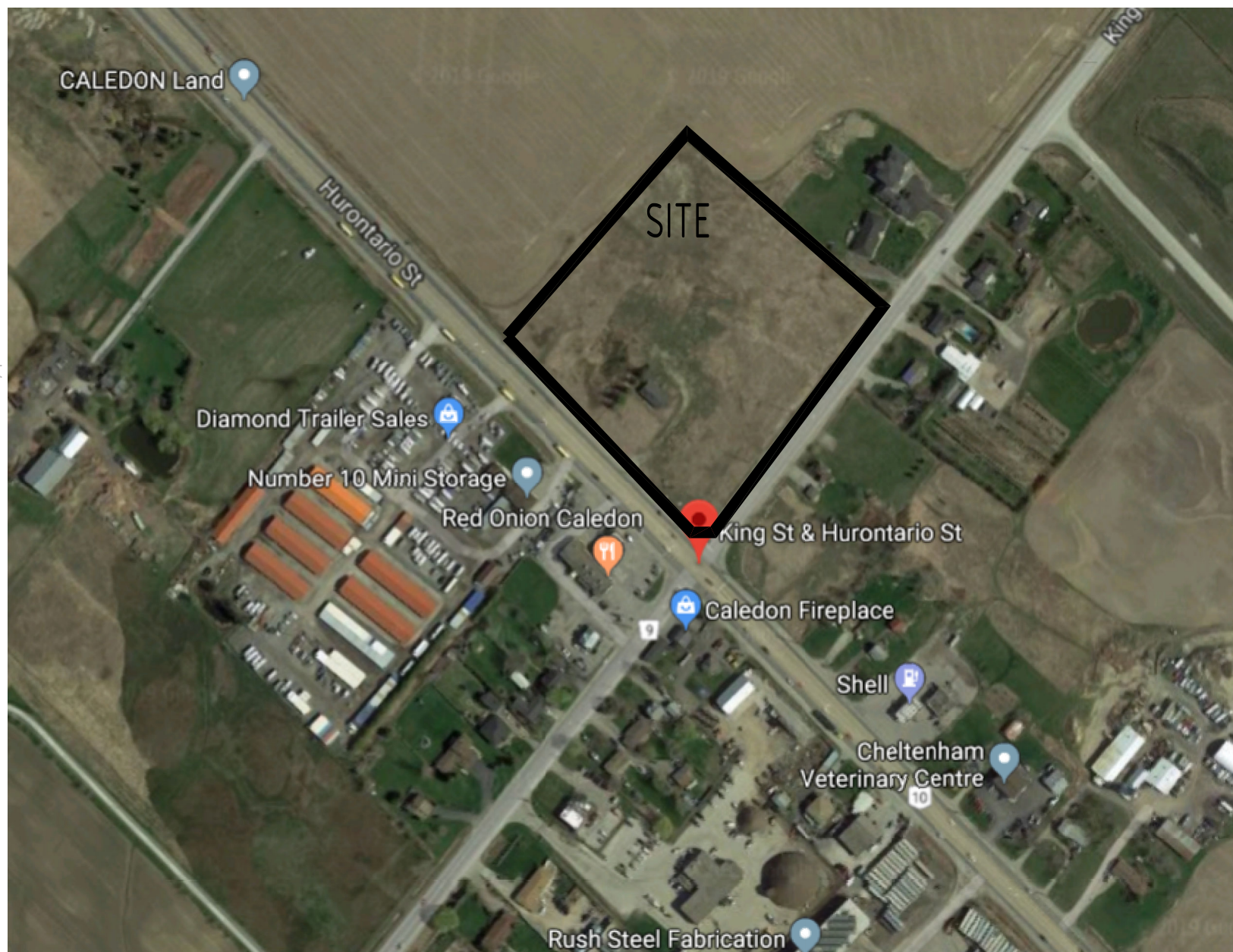
SITE INFORMATION: - CV-267, A-1 AND A1-347		
	REQUIREMENTS	PROPOSED
A1 ZONING	NO BUILDING ON SITE	(AREA = 9,474.9 SQ.M.)
A1-347 ZONING	NO BUILDING ON SITE	(AREA = 4,204.8 SQ.M.)
CV-267 ZONING		(AREA = 18,200.8 SQ.M.)
MIN. LOT AREA (EXCLUDING A1 & A1-347 ZONING)	1390 SQ.M.	18,200.8 SQ.M.
MIN. LOT FRONTAGE (KING ST.)	210 M	122.0 M
MAX. BUILDING AREA	50%	8.3 %
MIN. FRONT SETBACK (KING ST.)	7.5 M	7.6 M
MIN. FLANK SETBACK (HWY. 10)	9 M	14.8 M
MIN. REAR SETBACK	7.5 M	35.0 M
MIN. SIDE SETBACK	7.5 M	19.38 M
BUILDING SETBACK EXEMPTION	N/A	N/A
BUILDING SEPARATION	-	SEE DWG.
GROSS FLOOR AREA	9,100.4 SQ.M. (TOTAL)	1516.5 SQ.M. (TOTAL)
MAX. BUILDING HEIGHT	10.5 M	10 M
MAX. NET FLOOR AREA PER USE	BUILDING "A" BUILDING "B" BUILDING "C" & "D"	RETAIL-269.3 SQ.M. RESTAURANT-1247.2 SQ.M.
MIN. LANDSCAPING AREA	20% (3,640.1 SQM)	21.9 % (4000 SQ.M.)
PLANTING STRIP LOCATION	-	NORTH OF LOT
MIN. PLANTING STRIP WIDTH	3.0 M	6.1 M
BERM LOCATION	-	SEE LANDSCAPE DWGS
BERM WIDTH	-	SEE LANDSCAPE DWGS
BERM HEIGHT	-	SEE LANDSCAPE DWGS
OPEN STORAGE AREA SIZE	-	0 SQ.M.
MIN. DRIVEWAY SETBACK	15 M	4.3 M
MIN. PARKING SPACES PER USE:		
RETAIL - 269.3 SQM @ 1/20 SQM = 14		
RESTAURANT (NET FLOOR AREA) - 577.2 SQM @ 1/15 SQM = 39		
OFFICE AREA - 670 SQM @ 1 / 30 SQM = 23		
MIN. PARKING SPACE SETBACKS	1.5 M	3.0 M
MIN. DELIVERY SPACES	4	4
MIN. LOADING SPACES	0	0
TOTAL CONCRETE PAVEMENT AREA	-	498.3 SQ.M.
TOTAL ASPHALT PAVEMENT AREA WITH CURB	-	12133 SQ.M.
TOTAL LANDSCAPE AREA	-	4053.0 SQ.M.

TOTAL SITE AREA: (A1, A1-347, CV-267) = 31,880.5 SQ.M. (7.88 ACRES, 3.3 Ha)

▲ DENOTES ENTRY/EXIT TO BUILDING  
ALL MAIN ENTRANCES TO UNITS ARE EQUIPPED WITH POWER DOOR OPERATORS

PROPOSED USES:  
RETAIL-269.3 SQ.M.  
RESTAURANT-1247.2 SQ.M.

REFER TO BUILDING DRAWINGS FOR O.B.C. MATRIX  
REFER THIS DRAWING IN CONJUNCTION WITH SITE SERVICING, SITE GRADING, LANDSCAPE AND ELECTRICAL DRAWINGS.

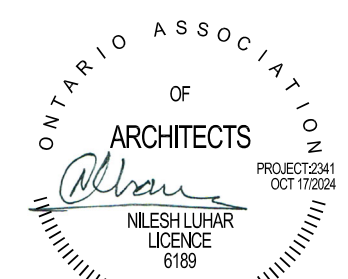


**PROPOSED SITE PLAN**  
SCALE: NTS

ISSUED FOR SPA - RESUBMISSION	APR 16, 2025
ISSUED FOR SPA - RESUBMISSION	22-11-2022
ISSUED FOR SPA - RESUBMISSION	14-08-2020
ISSUED FOR SPA	26-11-2019

**ANTRIX**  
ARCHITECTS INC.  
1109 BRITANNIA RD E., MISSISSAUGA  
ON L4W 3X1. PHONE 905 564 1154  
FAX 888 501 0265

PROJECT  
PROPOSED DEVELOPMENT  
N-E CORNER OF HURONTARIO & KING ST  
CALEDON, ON L7C 3M1



SPA 2019-0065

DRAWN BY	NL
SCALE	1:400
PROJECT NO.	1862
DRAWING TITLE & NO.	PROPOSED SITE PLAN A0

ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE DRAWINGS. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DRAWINGS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.



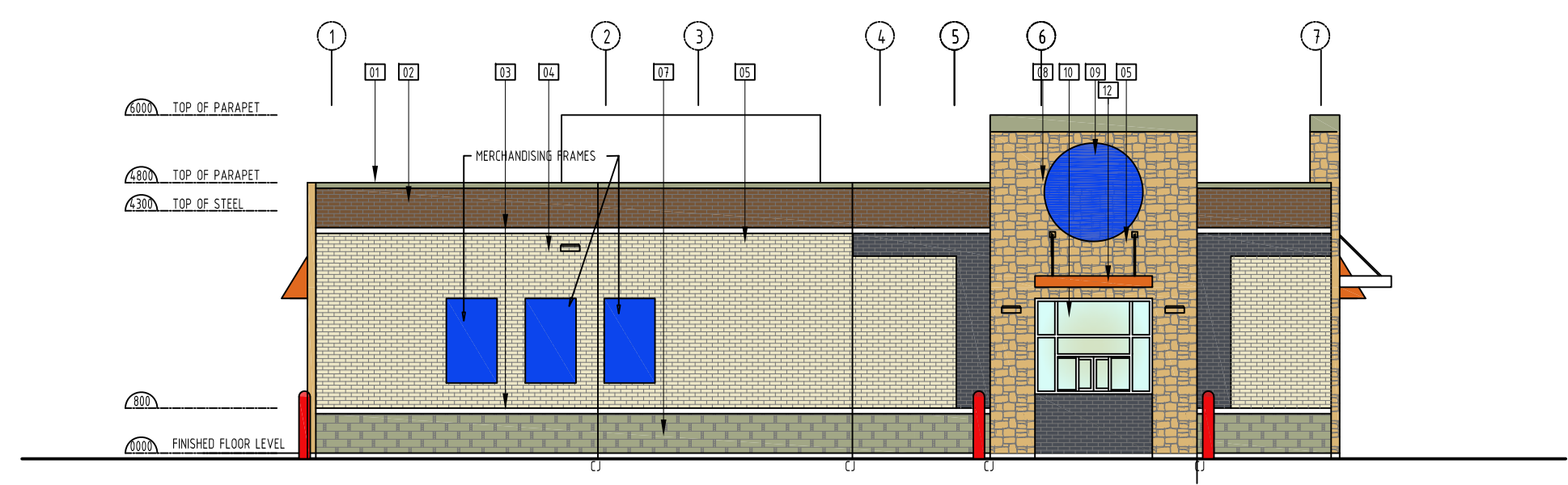
PROPOSED SITE PLAN  
SCALE: 1:400

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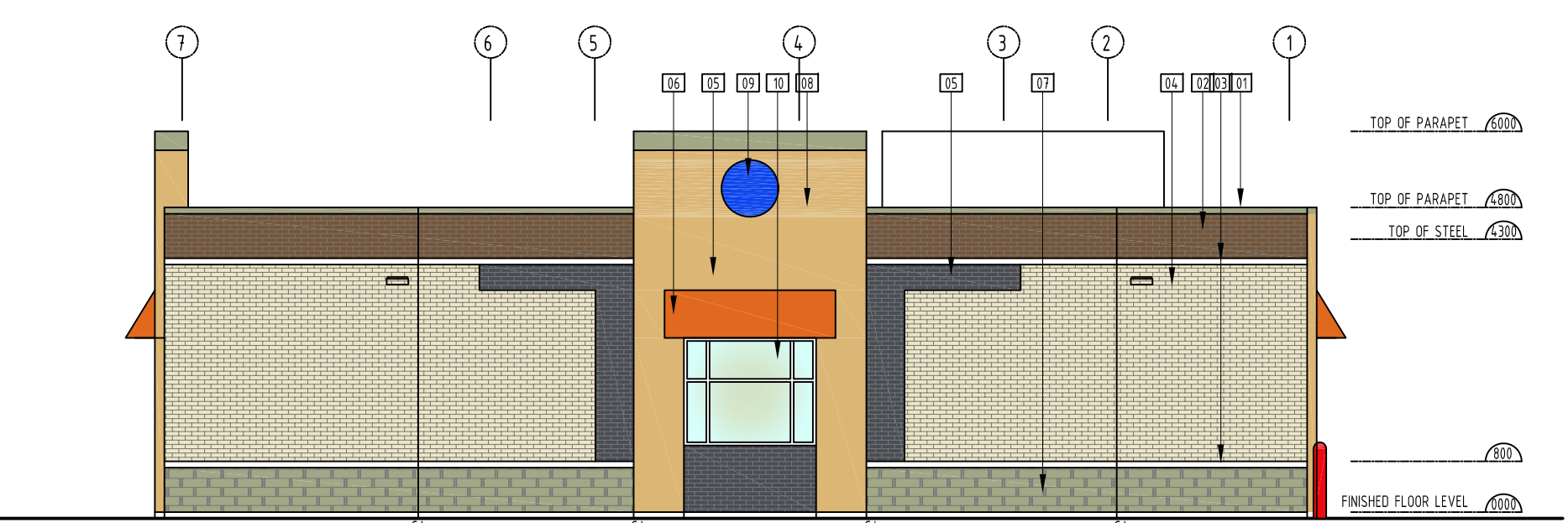


NORTH ELEVATION  
SCALE: 1/80

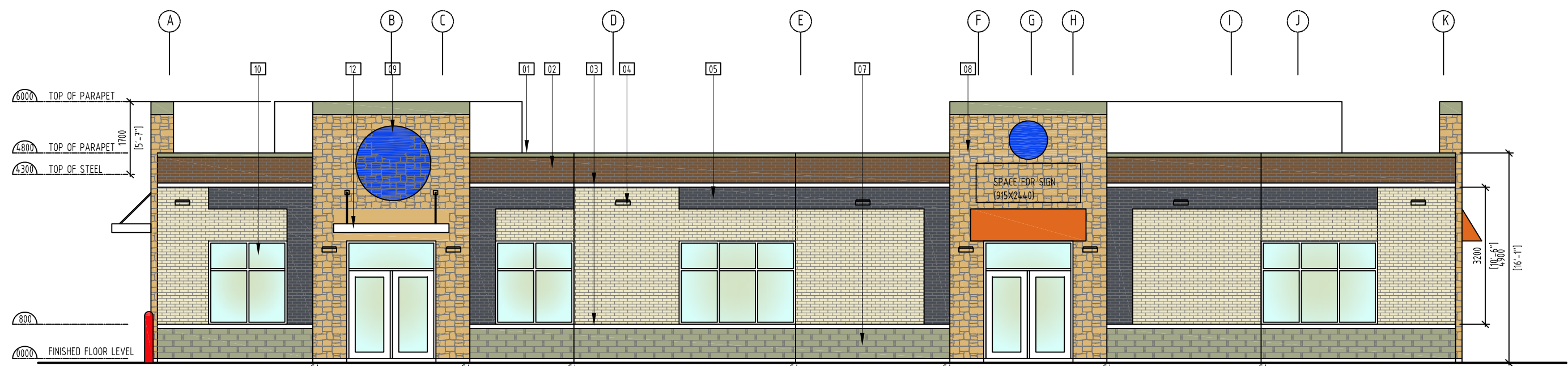
- BRICKS ARE METRIC MODULAR - 190X190MM
- 01 PRE FINISHED METAL CAP FLASHING (DARK GRASS COLOR)
  - 02 BRICK VENEER FINISH - BRAMPTON BRICKS - TAUPE SMOOTH
  - 03 CONCRETE BAND
  - 04 BRICK VENEER FINISH - BRAMPTON BRICKS - EVEREST
  - 05 BRICK VENEER FINISH - BRAMPTON BRICKS - SLATE
  - 06 FABRIC AWNING - DARK GRANGE
  - 07 STONE VENEER FINISH - BRAMPTON BRICKS - CITRUS
  - 08 STONE VENEER FINISH - BRAMPTON BRICKS - WVAZE HILAND
  - 09 ILLUMINATED ACRYLIC SIGN
  - 10 ALUMINUM GLAZING
  - 11 PAINTED HOLLOW METAL DOOR WITH FRAME
  - 12 LIGHT GRANGE BLAVES OF WHEAT
  - 13 CUSTOM METAL CANOPY (ELEAR ANODIZED)
  - 14 WALL MOUNT ELECTRICAL FIXTURE
  - 15 GENETES CONTROL JOINTS



EAST ELEVATION  
SCALE: 1/80

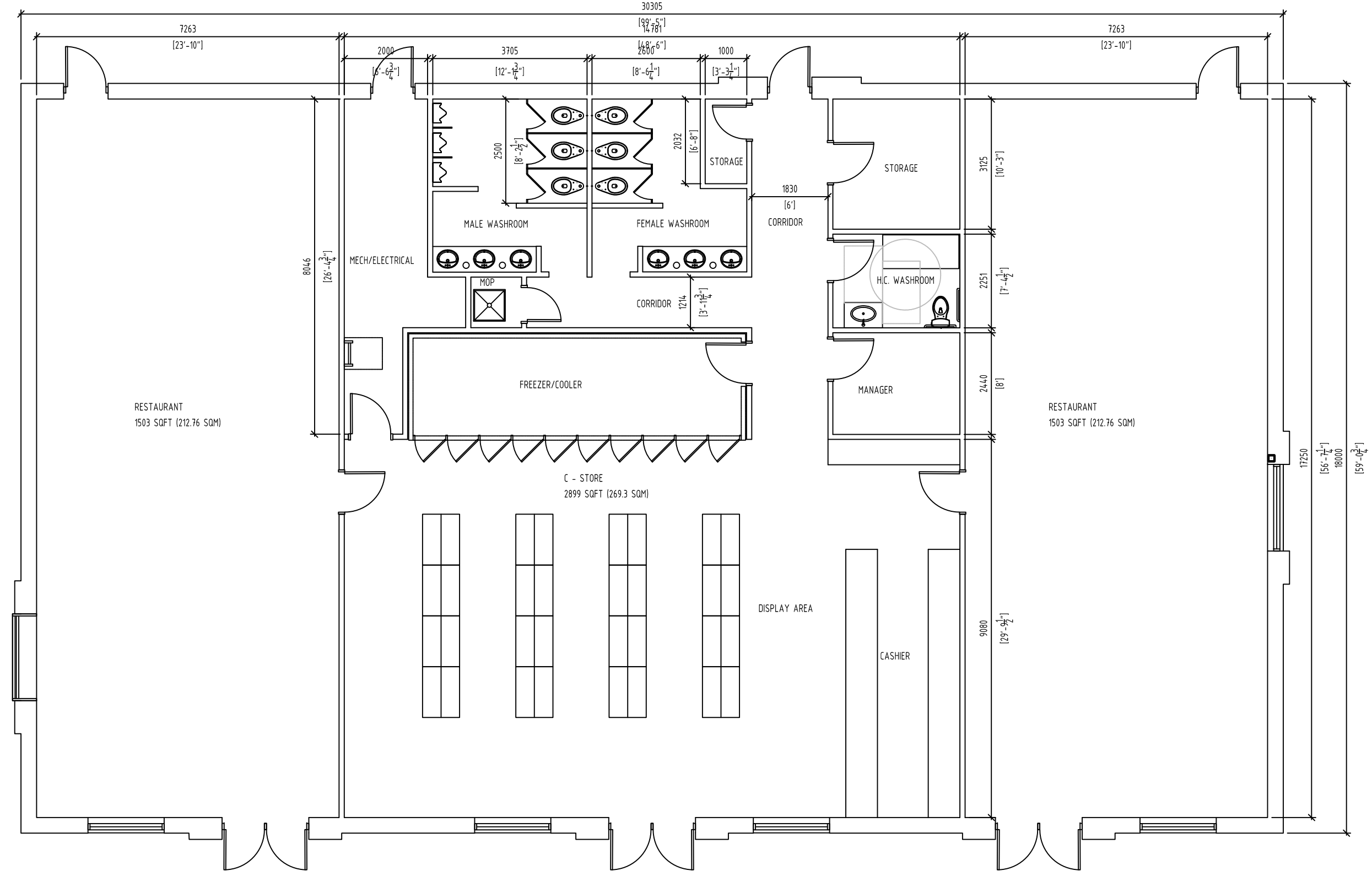


WEST ELEVATION  
SCALE: 1/80

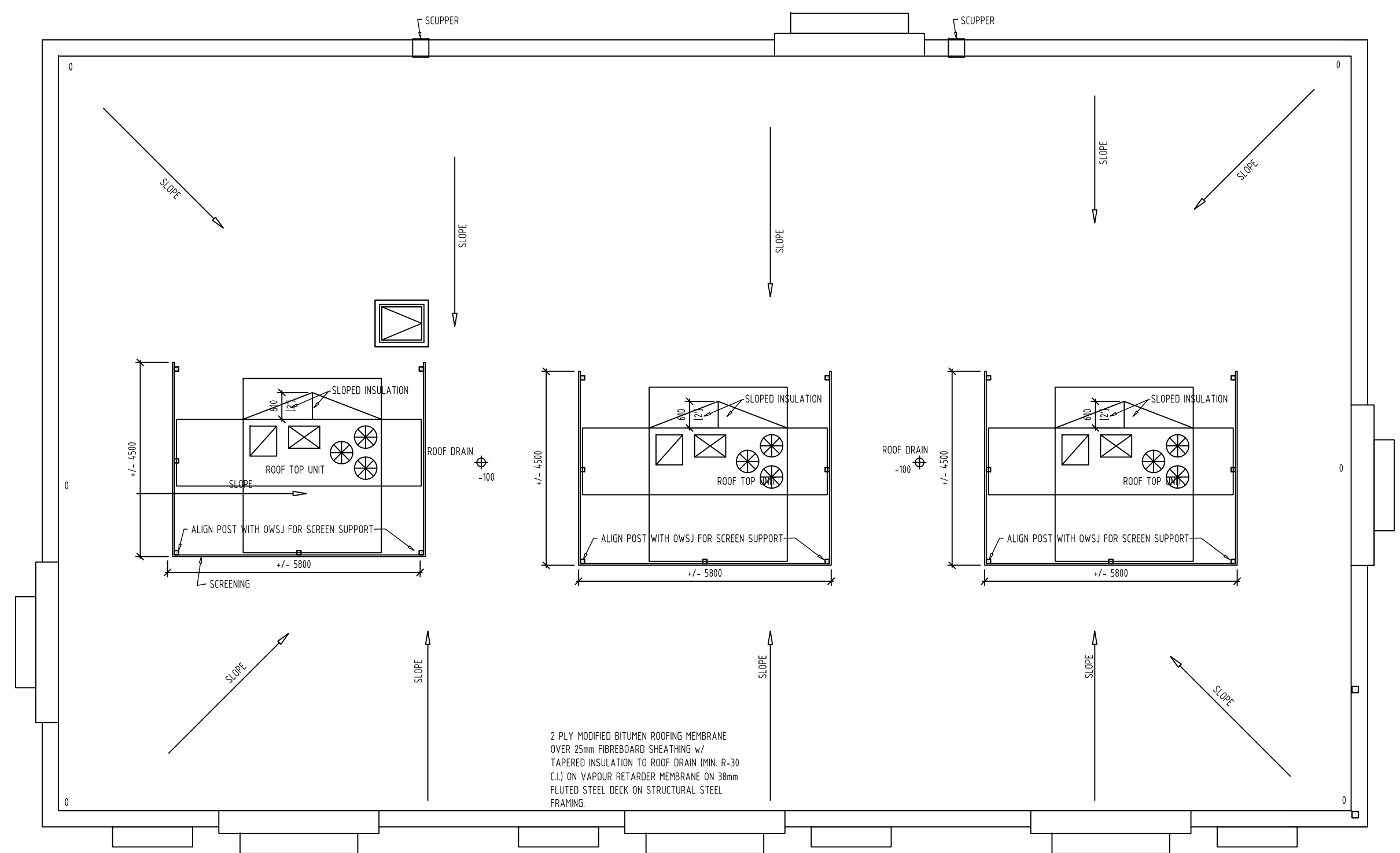


SOUTH ELEVATION  
SCALE: 1/80

Item		Ontario's 2012 Building Code Data Matrix Part 3 or 9		OBC Reference		
		Referencese to Division B unless noted [A] for Division Aor [C] for Division C				
1	Project Description: NEW BUILDING "A"	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 <input type="checkbox"/> 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> 11.2.1 [A]	<input type="checkbox"/> Part 9 <input type="checkbox"/> 1.1.2 [A] & 9.10.1.3	
2	Major Occupancy(s) GROUP A2 AND GROUP E			3.1.2.1 (1)	9.10.2	
3	Building Area (m <sup>2</sup> )	Existing 0 New 3485 SQM Total 3485 SQM		1.4.1.2 [A]	1.4.1.2 [A]	
4	Gross Area	Existing 0 New 3485 SQM Total 3485 SQM		1.4.1.2 [A]	1.4.1.2 [A]	
5	Number of Storeys	Above grade 1 Below grade 0		1.4.1.2 [A] & 3.2.5.1	1.4.1.2 [A] & 9.10.4	
6	Number of Streets/Fire Fighter Access	1		3.2.2.10 & 3.2.5	9.10.20	
7	Building Classification	32261		3.2.2.20-83	9.10.2	
8	Sprinkler System Proposed		<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX INDEX	
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.9	N/A	
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.4	9.10.18	
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7	N/A	
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6	N/A	
13	Construction Restrictions	<input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Both		3.2.2.20-83	9.10.6	
14	Actual Construction	<input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both		3.2.2.11 (3)(8)	9.10.4.1	
15	Mezzanine(s) Area m <sup>2</sup> - NA			3.1.17	9.9.1.3	
16	Occupant load based on	<input checked="" type="checkbox"/> m <sup>2</sup> /person <input type="checkbox"/> design of building				
17	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)		3.8	9.5.2	
18	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2 & 3.3.1.19	9.10.1.3(4)	
19	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floors 3/4 Hours Roof 1 Hours Mezzanine 1 Hours	Listed Design No. or Description (SG-2)	3.2.2.20 -83 & 3.2.1.4	9.10.8, 9.10.9	
20	FRR of Supporting Members	Floors NA Hour Roof NA Hour Mezzanine NA Hour	Listed Design No. or Description (SG-2)			
21	Spatial Separation - Construction of Exterior Walls	Wall Area of EBF (m <sup>2</sup> ) L.D. (m) L/H or H/L Permitted Max. % of Openings Proposed % of Openings FRR (Hours)	Listed Design or Description Comb Const Comb. Constr. Non-Cladding Non -comb. Constr.	3.2.3	9.10.14	
22	North	NA		ULC W45, cUL 445		
23	South	NA				
24	East	NA				
25	West	NA				
26	( Additional wall areas continued below )					
27	Other - Descrone					



FIRST FLOOR PLAN  
SCALE: 1/80



ROOF PLAN  
SCALE: 1/80



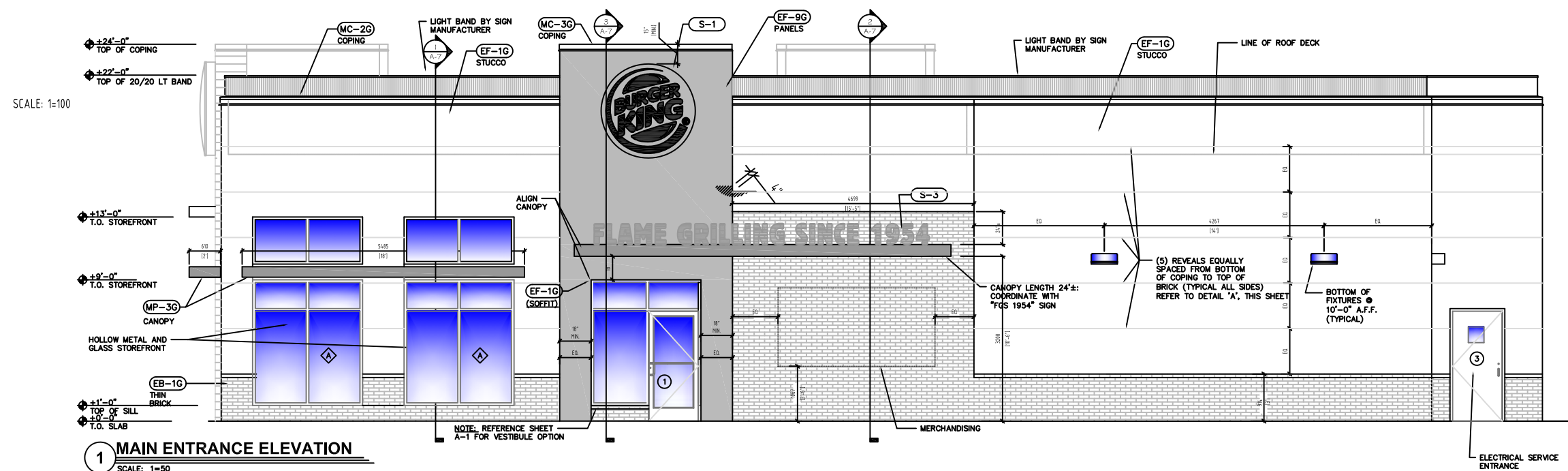
**ANTRIX**  
ARCHITECTS INC.  
109 BRITANNIA RD E, MISSISSAUGA  
ON L4W 3X1. PHONE 905 564 1154  
FAX 888 501 0265

REISSUED FOR SPA April 14, 2025  
REISSUED FOR SPA Nov.22,2022  
ISSUED FOR SPA Nov.26,2019

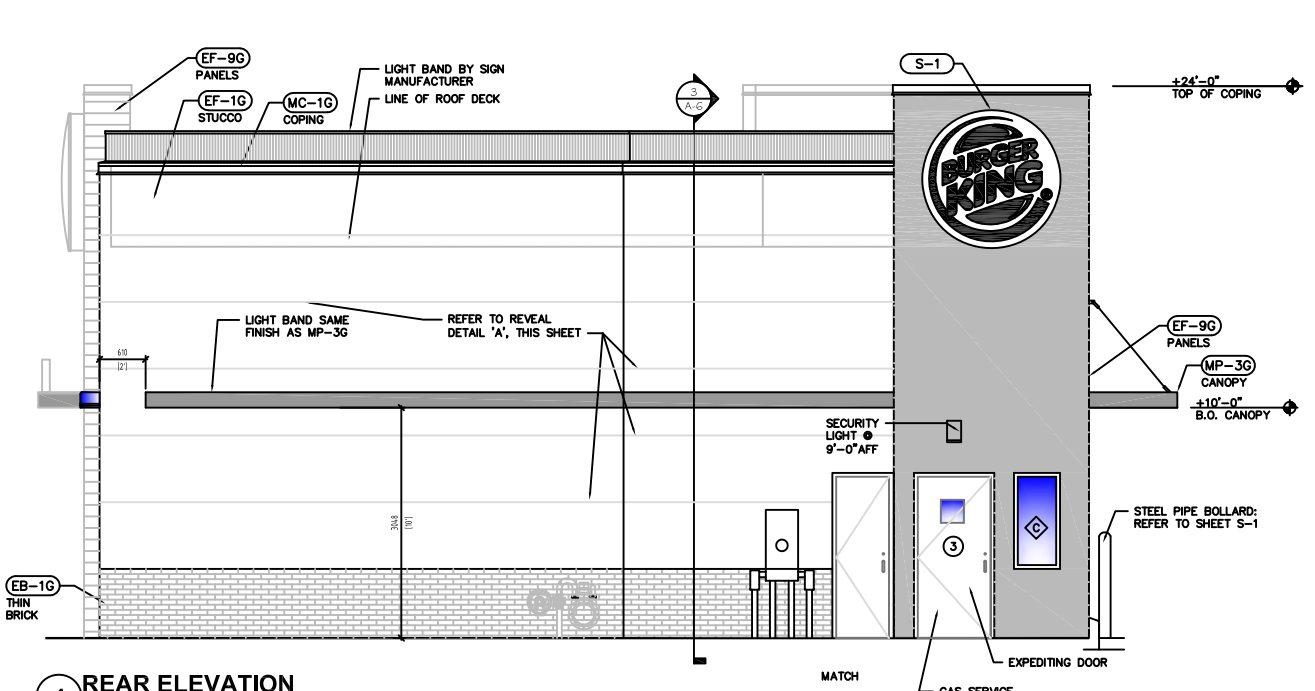
PROJECT  
PROPOSED BUILDING "A"  
N-E CORNER OF HURONTARIO & KING ST  
CALEDON, ON L7C 3M1

ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE DRAWINGS. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DRAWINGS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

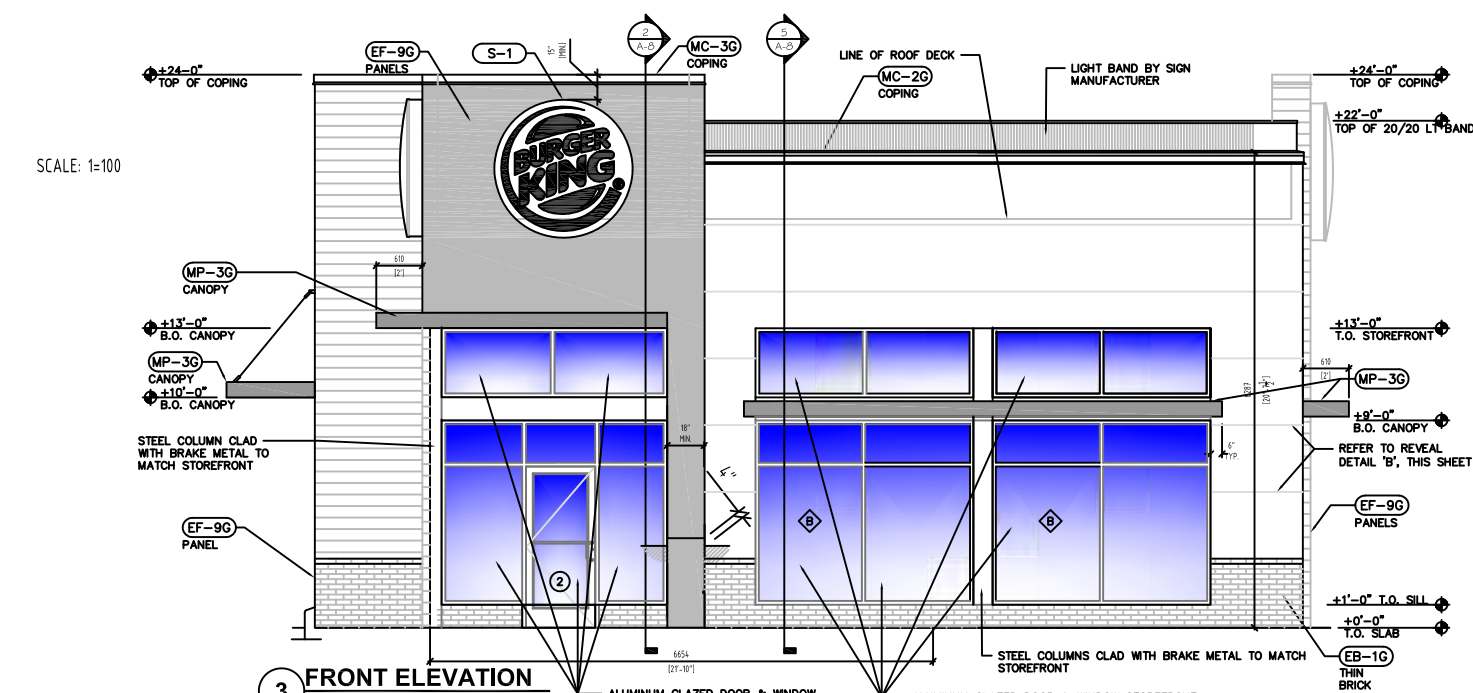
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SCALE 1:100  
PROJECT NO. 1862  
DRAWING TITLE & NO. PLANS AND ELEVATIONS A-A-01



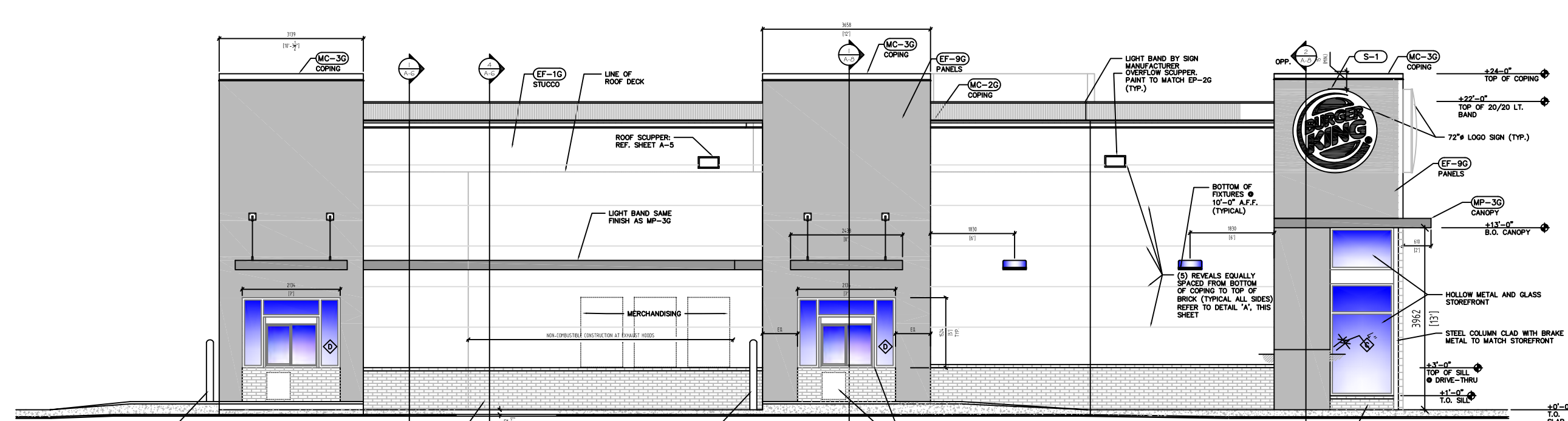
1 MAIN ENTRANCE ELEVATION  
SCALE: 1/80



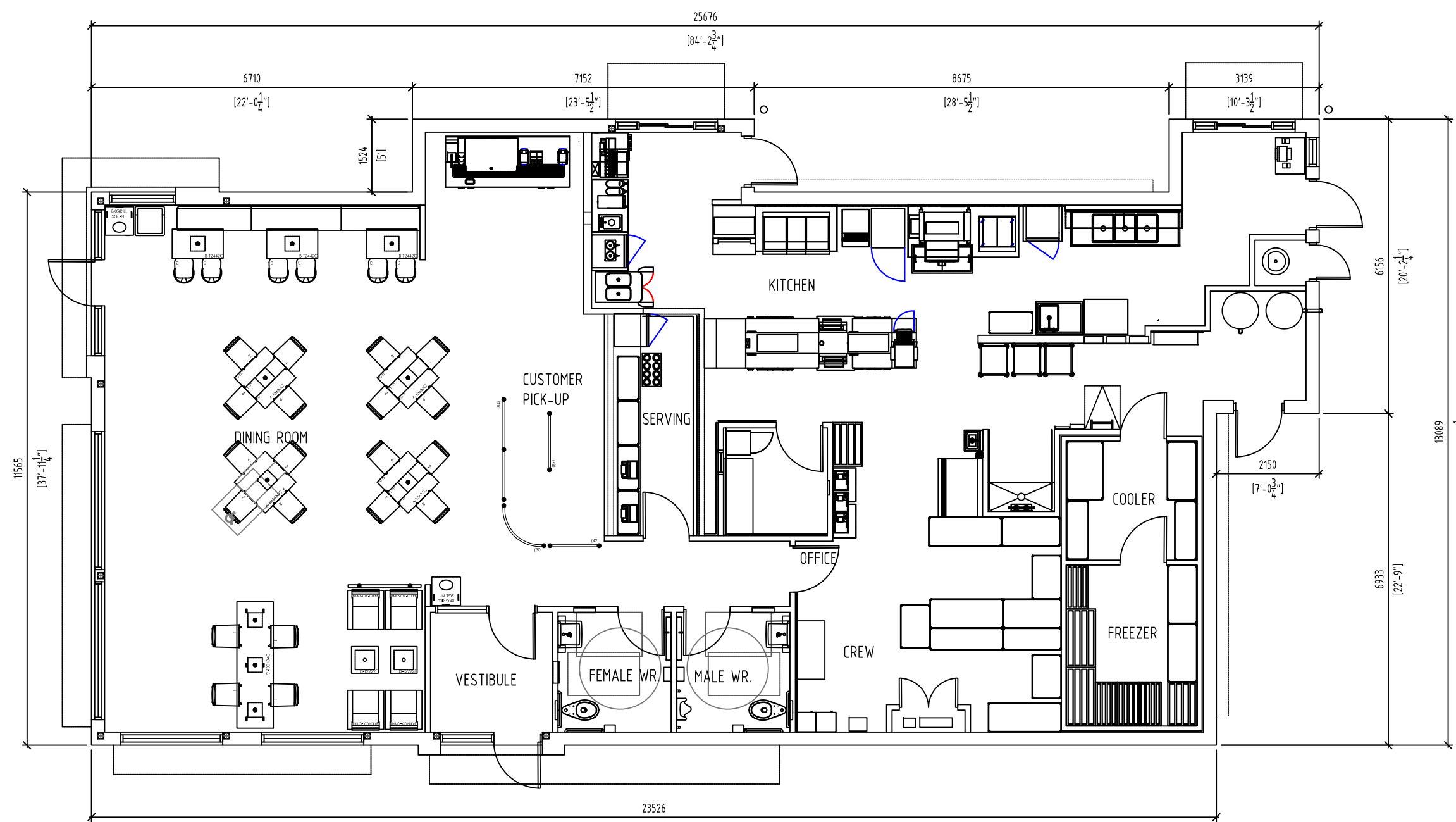
4 REAR ELEVATION  
SCALE: 1/80



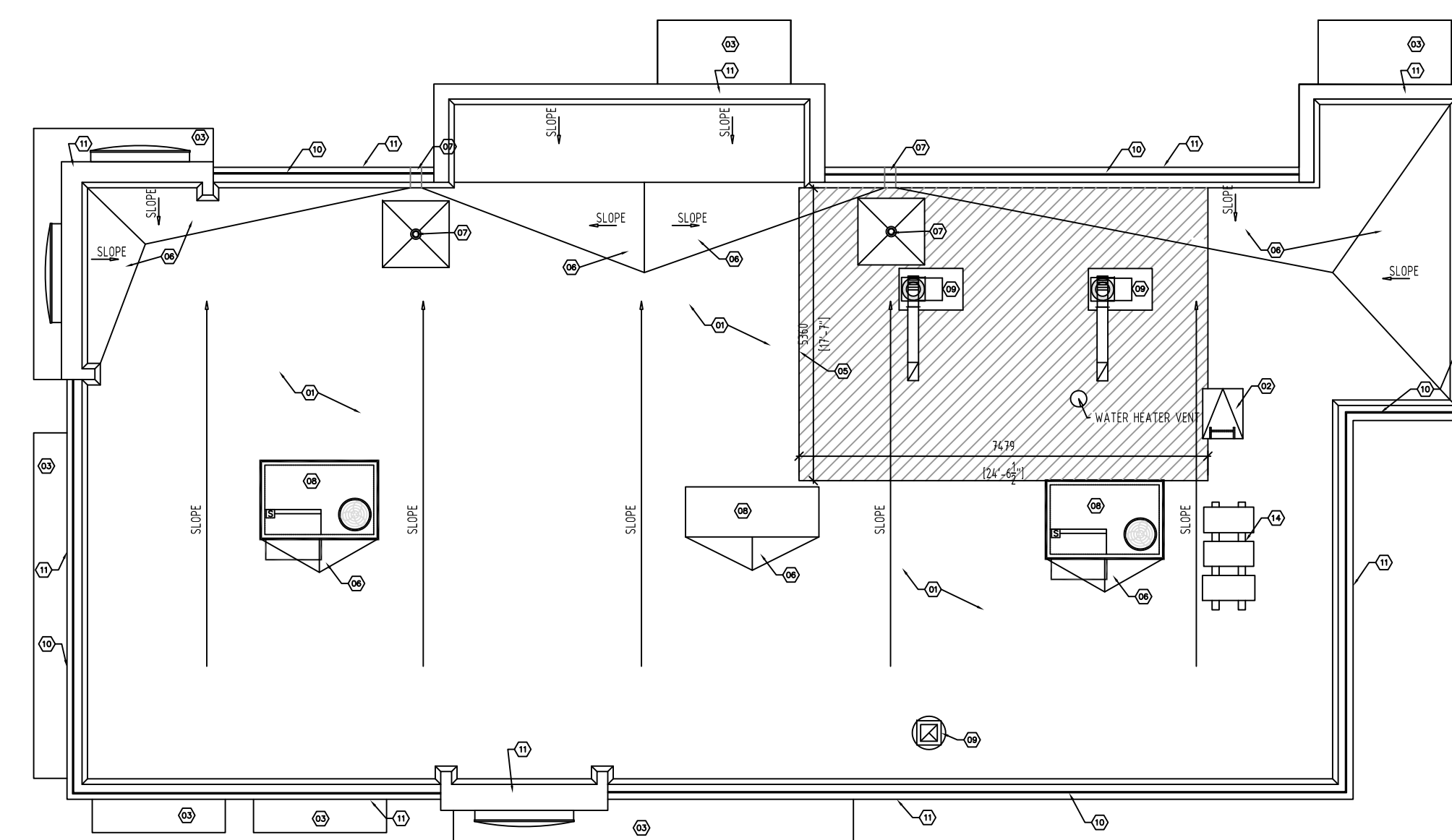
3 FRONT ELEVATION  
SCALE: 1/80



2 DRIVE THROUGH ELEVATION  
SCALE: 1/80



FIRST FLOOR PLAN  
SCALE: 1/80



ROOF PLAN  
SCALE: 1/80

Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9				OBC Reference							
	Referencare to Division B unless noted [A] for Division A or [C] for Division C											
1	Project Description:	NEW BUILDING "B"	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 <input type="checkbox"/> 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> Part 9	1.1.2. [A] 1.1.2. [A] & 9.10.1.3						
2	Major Occupancy(s) GROUP A2					3.1.2.1.(1) 9.10.2						
3	Building Area (m <sup>2</sup> )	Existing	New	Total		1.4.1.2. [A] 1.4.1.2. [A]						
4	Gross Area	Existing	New	Total		1.4.1.2. [A] 1.4.1.2. [A]						
5	Number of Storeys	Above grade	Below grade			1.4.1.2. [A] & 3.2.1.1 1.4.1.2.[A] & 9.10.4						
6	Number of Streets/Fire Fighter Access					3.2.2.10. & 3.2.5. 9.10.20.						
7	Building Classification	322B				3.2.2.20-83 9.10.2.						
8	Sprinkler System Proposed		<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement in lieu of roof rating <input checked="" type="checkbox"/> not required			3.2.2.20-83 3.2.1.5 3.2.2.17. INDEX INDEX						
9	Standpipe required		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.9. N/A						
10	Fire Alarm required		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4. 9.10.18.						
11	Water Service/Supply is Adequate		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.5.7. N/A						
12	High Building		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6. N/A						
13	Construction Restrictions	<input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Non-combustible	<input type="checkbox"/> Both required <input type="checkbox"/> Both			3.2.2.20-83 9.10.6						
14	Mezzanine(s) Area m <sup>2</sup>	NA				3.2.1.1.(3)(8) 9.10.4.1						
15	Occupant load based on	<input checked="" type="checkbox"/> m <sup>2</sup> /person <input type="checkbox"/> design of building				3.1.17. 9.9.1.3						
	Basement:	Occupancy	RESTAURANT	Load	LESS THAN 40 persons							
	1 <sup>st</sup> Floor:	Occupancy	RESTAURANT	Load	LESS THAN 40 persons							
	2 <sup>nd</sup> Floor:	Occupancy		Load	RESERVED							
	3 <sup>rd</sup> Floor:	Occupancy		Load	persons							
	4 <sup>th</sup> Floor:	Occupancy		Load	persons							
	(Additional floor areas continued below)											
16	Barrier-free Design		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)			3.8. 9.5.2						
17	Hazardous Substances		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2. & 3.3.1.19 9.10.1.3(4)						
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies (FRR) (Hours)	Listed Design No. or Description (SG-2)			3.2.2.20-83 & 3.2.1.4. 9.10.8. 9.10.9.						
		Floors	3/4 Hours	NA								
		Roof	0 Hours	NA								
		Mezzanine	0 Hours	NA								
		FRR of Supporting Members	Listed Design No. or Description (SG-2)									
		Floors	NA Hour	NA								
		Roof	NA Hour	NA								
		Mezzanine	NA Hour	NA								
19	Spatial Separation - Construction of Exterior Walls	Wall	Area of EBF (m <sup>2</sup> )	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Non-Cladding	Non-Comb. Constr.
		North	NA									
		South	NA									
		East	NA									
		West	NA									
		(Additional wall areas continued below)										
20	Other - Descrone											

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
*Alvan*  
PROJECTED NOV 2022  
NILES LUPAR  
LICENSE  
6386

TOWN OF CALEDON  
PLANNING  
RECEIVED  
April 21, 2025

ISSUED FOR SPA Oct 20, 2023  
ISSUED FOR SPA 26-11-2019

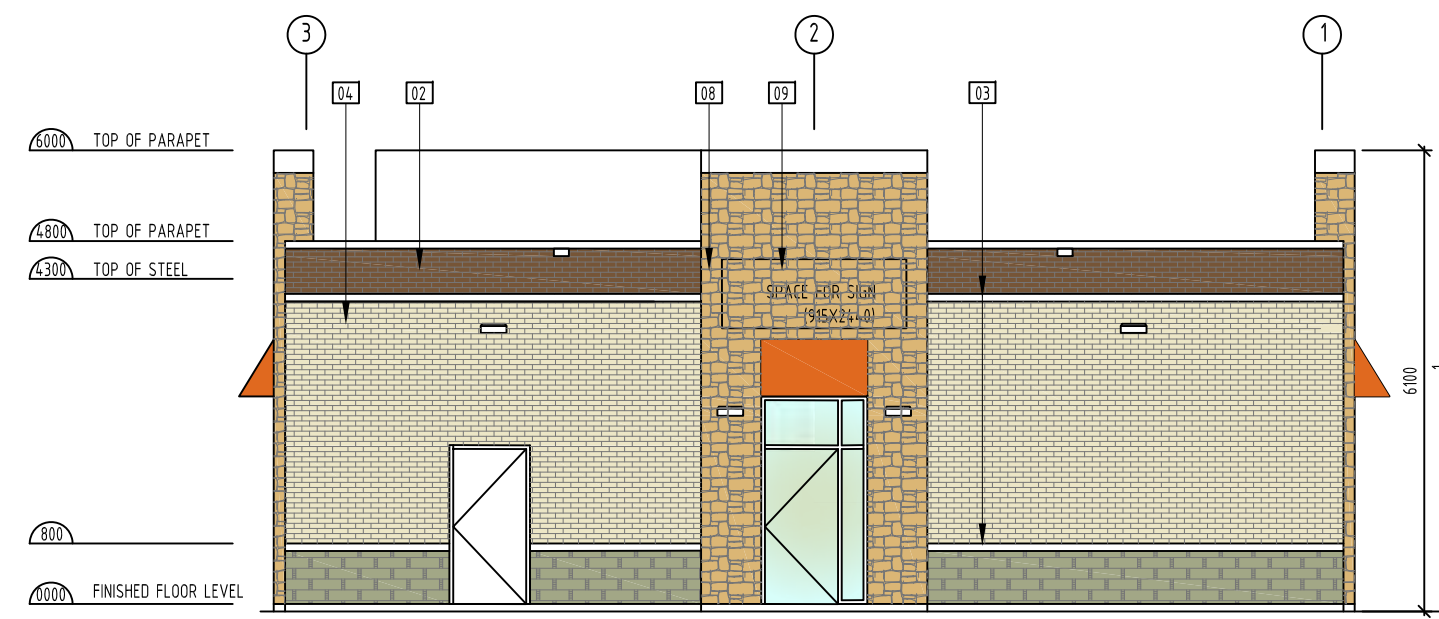
**ANTRIX**  
ARCHITECTS INC.  
109 BRITANNIA RD E, MISSISSAUGA  
ON L4W 3X1. PHONE 905 564 1154  
FAX 888 501 0265

PROJECT  
PROPOSED BUILDING "B"

N-E CORNER OF HURONTARIO & KING ST  
CALEDON, ON L7C 3M1

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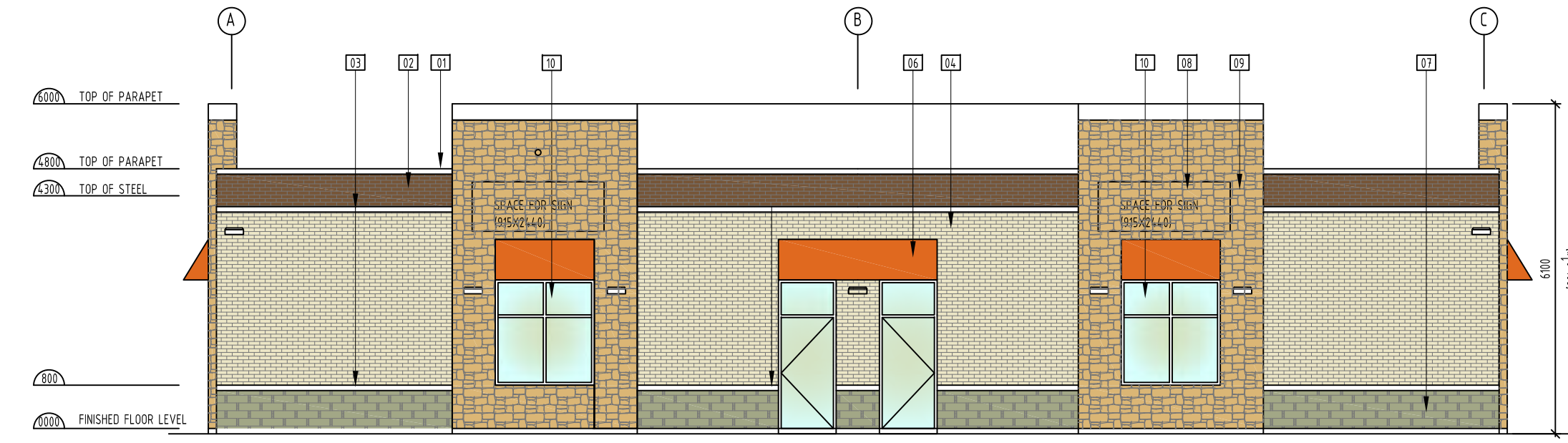
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SCALE	1:100
PROJECT NO.	1862
DRAWING TITLE & NO.	PLANS AND ELEVATIONS A-B-01



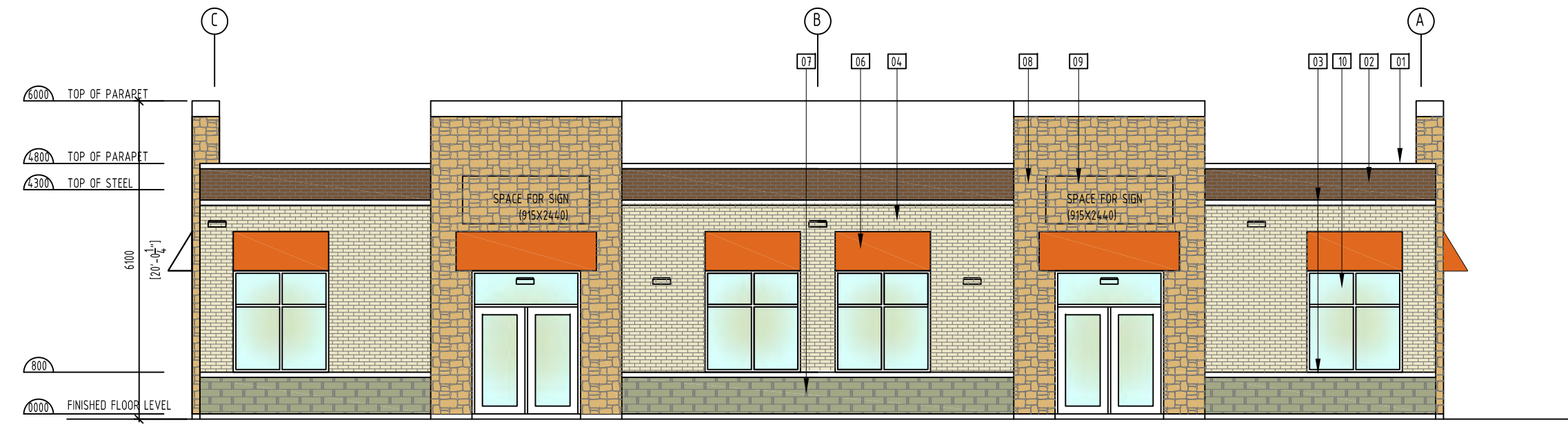
**EAST ELEVATION**  
SCALE: 1/50

BRICKS ARE METRIC MODULAR - 190x75x90

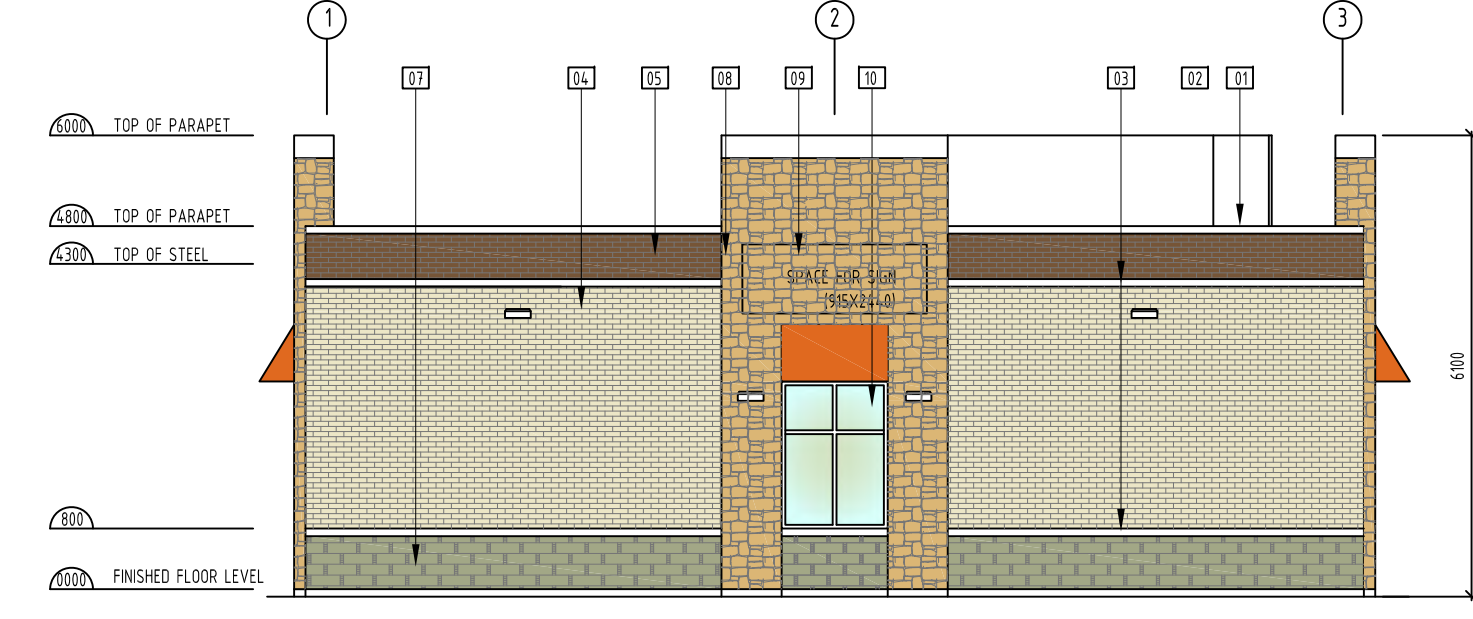
101	PRE FINISHED METAL CAP FLASHING (DUNE GRASS COLOR)
102	BRICK VENEER FINISH - BRAMPTON BRICKS - TAURE SMOOTH
103	CONCRETE BAND
104	BRICK VENEER FINISH - BRAMPTON BRICKS - EVEREST
105	BRICK VENEER FINISH - BRAMPTON BRICKS - SLATE
106	FABRIC FINISH - DARK ORANGE
107	STONE VENEER FINISH - BRAMPTON BRICKS - CITRUS
108	STONE VENEER FINISH - BRAMPTON BRICKS - VIVACE MILANO
109	ILLUMINATED ACRYLIC SIGN
110	ALUMINUM GLAZING
111	PAINTED HOLLOW METAL DOOR WITH FRAME
112	- LIGHT ORANGE (WAVES OF WHEAT)
113	CUSTOM METAL CANOPY (ELEM. ANCHORED)
114	WALL MOUNT ELECTRICAL FIXTURE
C1	DEMOTES CONTROL JOINTS



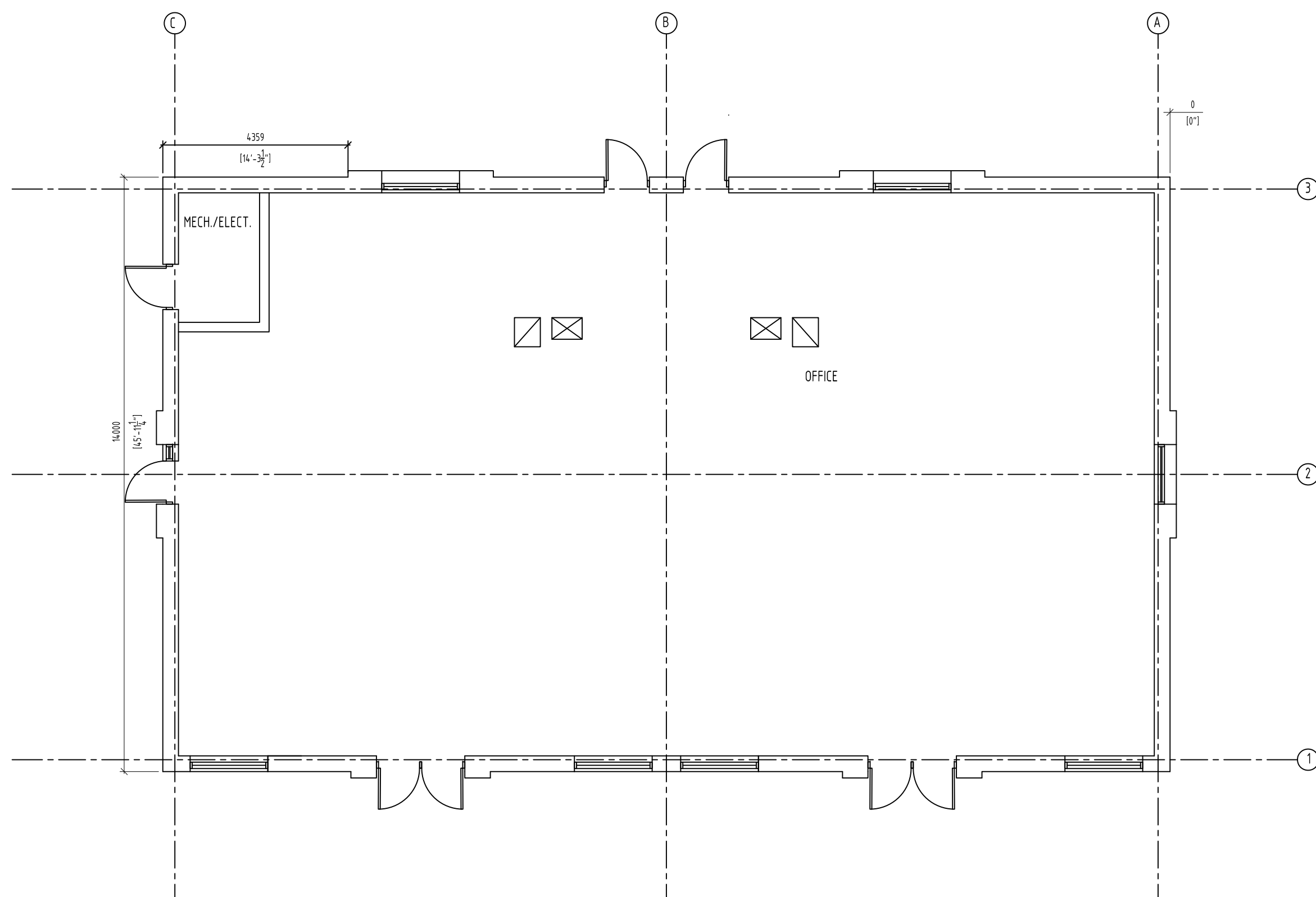
**SOUTH ELEVATION**  
SCALE: 1/50



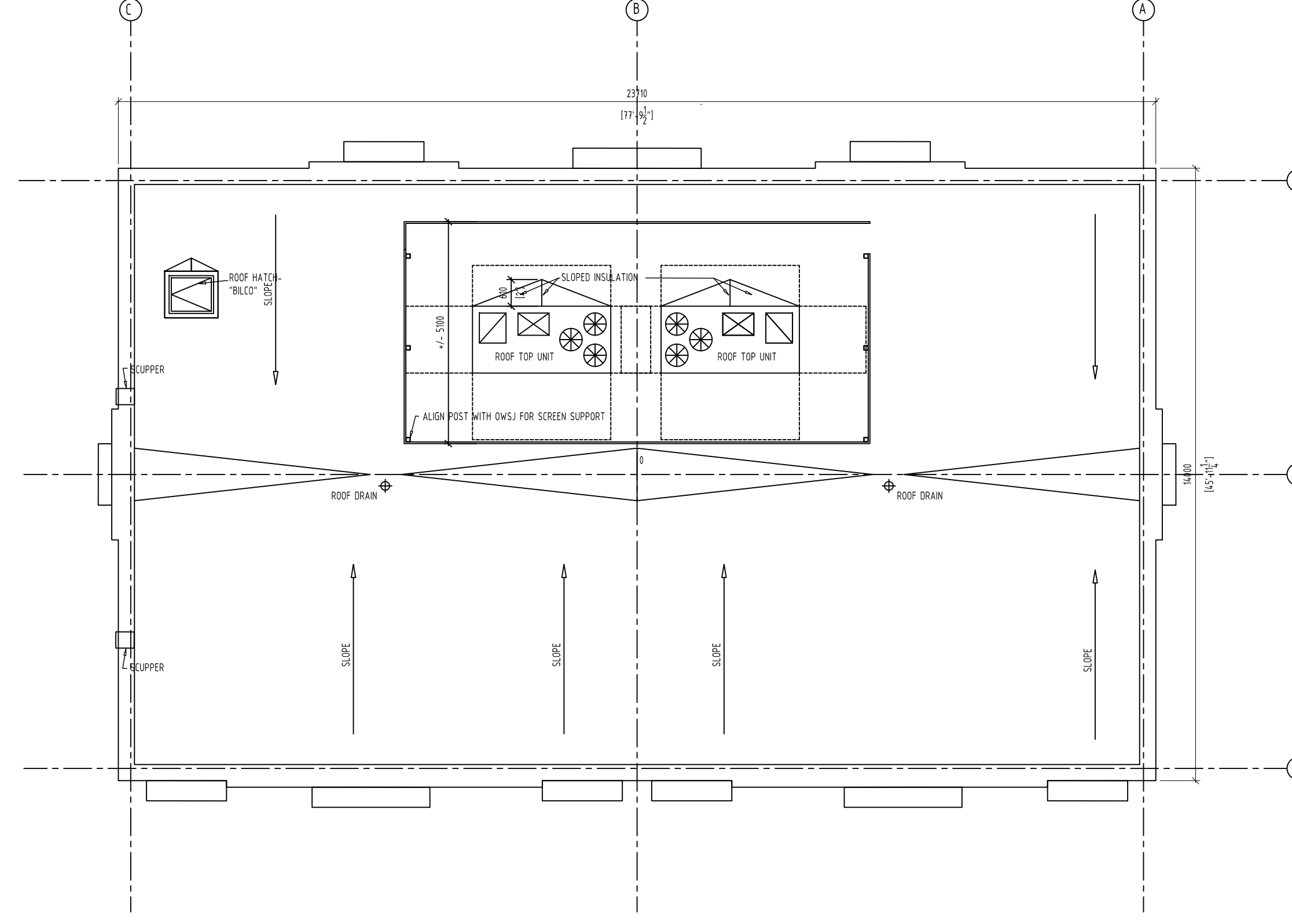
**NORTH ELEVATION**  
SCALE: 1/50



**WEST ELEVATION**  
SCALE: 1/50



**FIRST FLOOR PLAN**  
SCALE: 1/50



**ROOF PLAN**  
SCALE: 1/50

Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9			OBC Reference							
	References to Division B unless noted [A] for Division A, [C] for Division C			Part 3	Part 9						
1	Project Description: <input type="checkbox"/> New Building <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3	1.1.2. [A]	1.1.2. [A] & 9.10.1.3						
2	Major Occupancy(s) GROUP A2			3.1.2.1.(1)	9.10.2						
3	Building Area (m <sup>2</sup> ) Existing <input type="checkbox"/> New <input checked="" type="checkbox"/> 335 SQM Total <input checked="" type="checkbox"/> 335 SQM			1.4.1.2. [A]	1.4.1.2. [A]						
4	Gross Area Existing <input type="checkbox"/> New <input checked="" type="checkbox"/> 335 SQM Total <input checked="" type="checkbox"/> 335 SQM			1.4.1.2. [A]	1.4.1.2. [A]						
5	Number of Storeys Above grade <input type="checkbox"/> 1 Below grade <input type="checkbox"/> 0			1.4.1.2. [A] & 3.2.1.1	1.4.1.2 [A] & 9.10.4						
6	Number of Storeys/Fire Fighter Access <input type="checkbox"/> 1			3.2.2.10 & 3.2.5.	9.10.20						
7	Building Classification 32221			3.2.2.20-83	9.10.2						
8	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required			3.2.2.20-83	9.10.8.2						
9	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.9	N/A						
10	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4	9.10.18						
11	Water Service/Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.2.5.7	N/A						
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6	N/A						
13	Construction Restrictions <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Both <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both			3.2.2.20-83	9.10.6						
14	Actual Construction Mezzanine(s) Area m <sup>2</sup> -NA-			3.2.1.1.(3)(8)	9.10.4.1						
15	Occupant load based on <input checked="" type="checkbox"/> m <sup>2</sup> /person <input type="checkbox"/> design of building			3.1.17	9.9.1.3						
	Basement: Occupancy _____ Load _____ persons										
	1 <sup>st</sup> Floor: Occupancy RESTAURANT Load BY (DESIGN) persons										
	2 <sup>nd</sup> Floor: Occupancy _____ Load _____ persons										
	3 <sup>rd</sup> Floor: Occupancy _____ Load _____ persons										
	4 <sup>th</sup> Floor: Occupancy _____ Load _____ persons										
	(Additional floor areas continued below)										
16	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain) _____			3.8	9.5.2						
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2. & 3.3.1.19	9.10.1.3(4)						
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours)	Listed Design No. or Description (SG-2)	3.2.2.20 -83 & 3.2.1.4.	9.10.9.						
		Floors 3/4 Hours	NA								
		Roof 1 Hours	NA								
		Mezzanine 1 Hours	NA								
		FRR of Supporting Members	Listed Design No. or Description (SG-2)								
		Floors NA Hour	NA								
Roof NA Hour	NA										
Mezzanine NA Hour	NA										
19	Spatial Separation - Construction of Exterior Walls			3.2.3.	9.10.14.						
	Wall	Area of EBF (m <sup>2</sup> )	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Non-Cladding	Non -comb. Constr.
	North	NA									
	South	NA									
	East	NA									
	West	NA									
	( Additional wall areas continued below )										
20	Other - Describe										



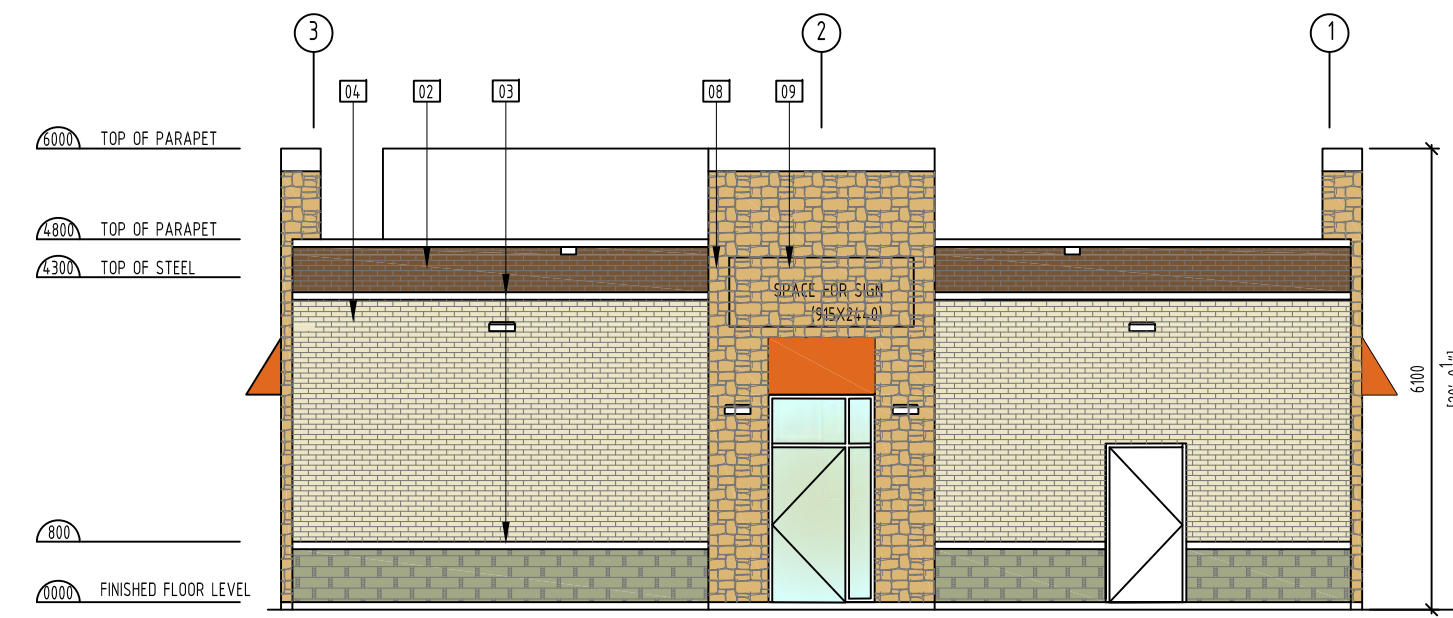
**NITRIX**  
ARCHITECTS INC.  
109 BRITANNIA RD E, MISSISSAUGA  
ON L4W 3X1. PHONE 905 564 1154  
FAX 888 501 0265

TOWN OF CALEDON  
PLANNING  
RECEIVED  
April 21, 2025

ISSUED FOR SPA Oct 20, 2023  
ISSUED FOR SPA 26-11-19

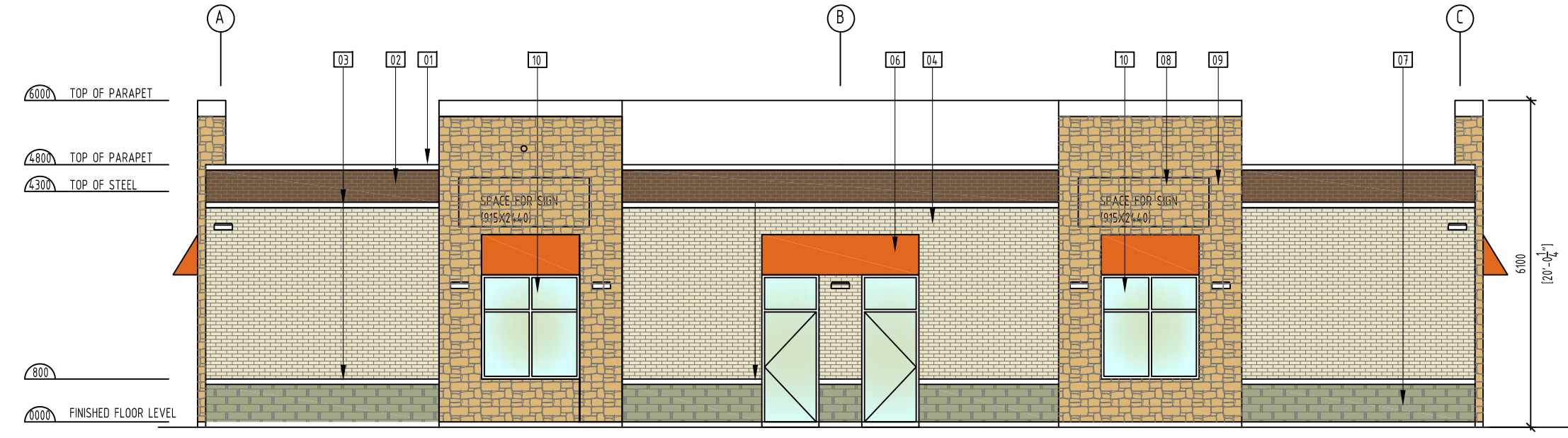
PROJECT  
PROPOSED BUILDING "C"  
N-E CORNER OF HURONTARIO & KING ST  
CALEDON, ON L7C 3M1

ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE DRAWINGS. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DRAWINGS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.	DRAWN BY	NL
	SCALE	1:100
	PROJECT NO.	1862
	DRAWING TITLE & NO.	PLANS AND ELEVATIONS A-C-01



WEST ELEVATION  
SCALE: 1/80

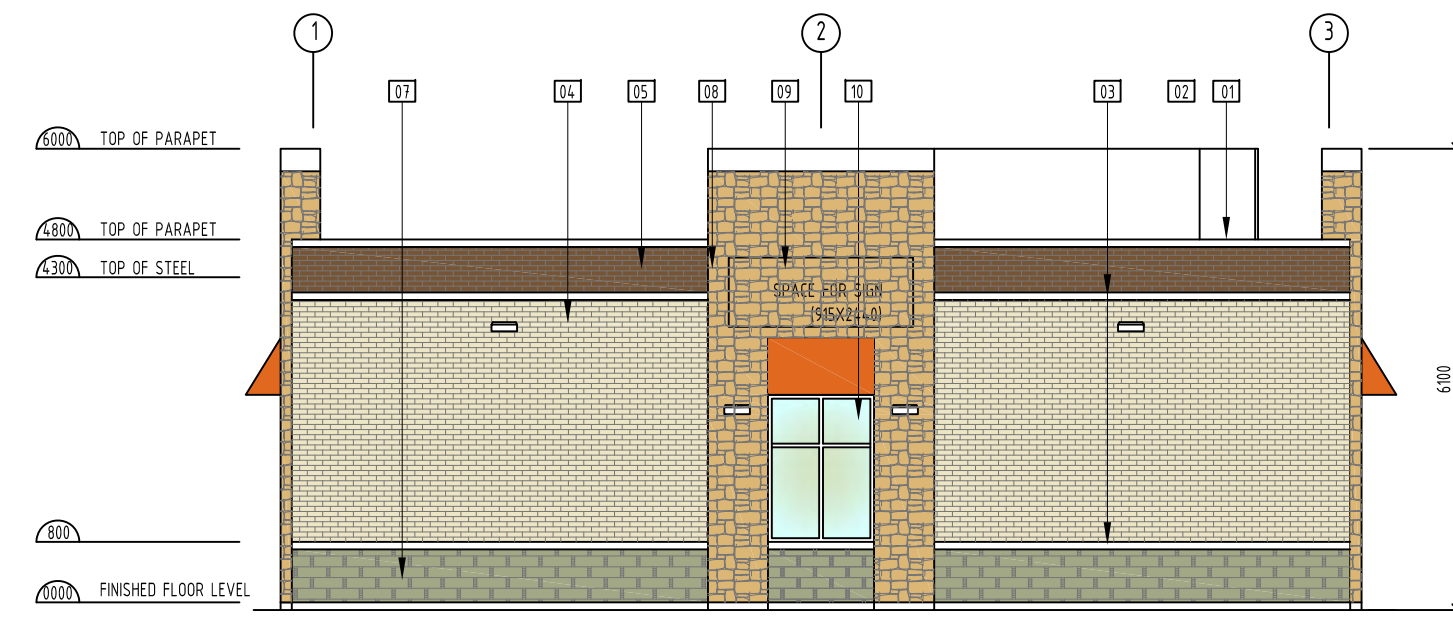
- BRICKS ARE METRIC MODULAR - ROCKTIX90
- 07 PRE FINISHED METAL CAP FLASHING (DUNE GRASS COLOR)
  - 08 BRICK VENEER FINISH - BRAMPTON BRICKS - TAUPE SMOOTH CONCRETE BAND
  - 09 BRICK VENEER FINISH - BRAMPTON BRICKS - EVEREST
  - 10 BRICK VENEER FINISH - BRAMPTON BRICKS - SLATE
  - 11 FABRIC FINISH - DUNE ORANGE
  - 12 STONE VENEER FINISH - BRAMPTON BRICKS - CITRUS
  - 13 STONE VENEER FINISH - BRAMPTON BRICKS - VIVACE MELAND
  - 14 ILLUMINATED ACRYLIC SIGN
  - 15 ALUMINUM GLAZING
  - 16 PAINTED HOLLOW METAL DOOR WITH FRAME - LIGHT ORANGE (SHAVES OF WHEAT)
  - 17 CUSTOM METAL CANOPY (CLEAR ANODIZED)
  - 18 WALL MOUNT ELECTRICAL FIXTURE
  - 19 DENOTES CONTROL JOINTS



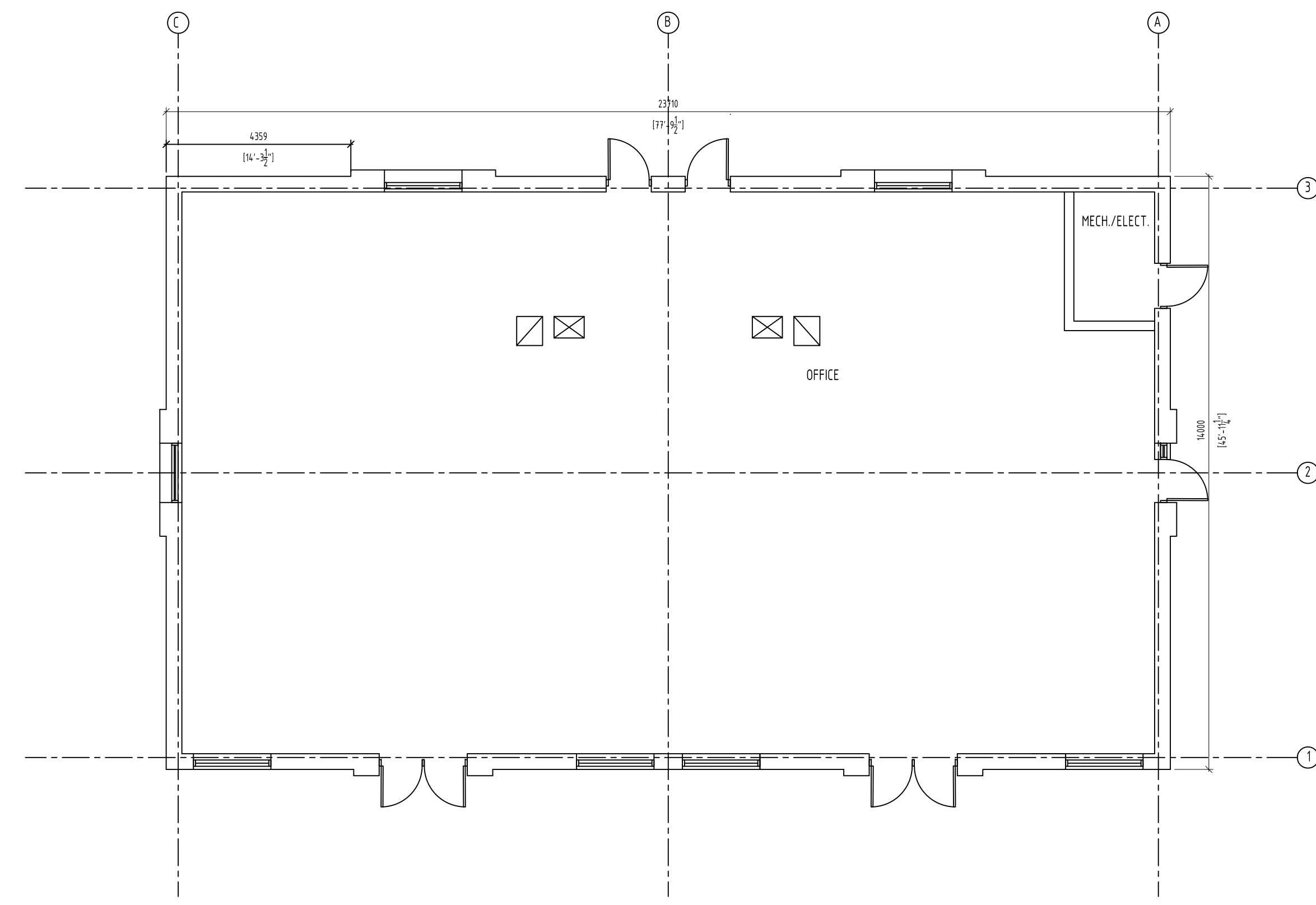
SOUTH ELEVATION  
SCALE: 1/80



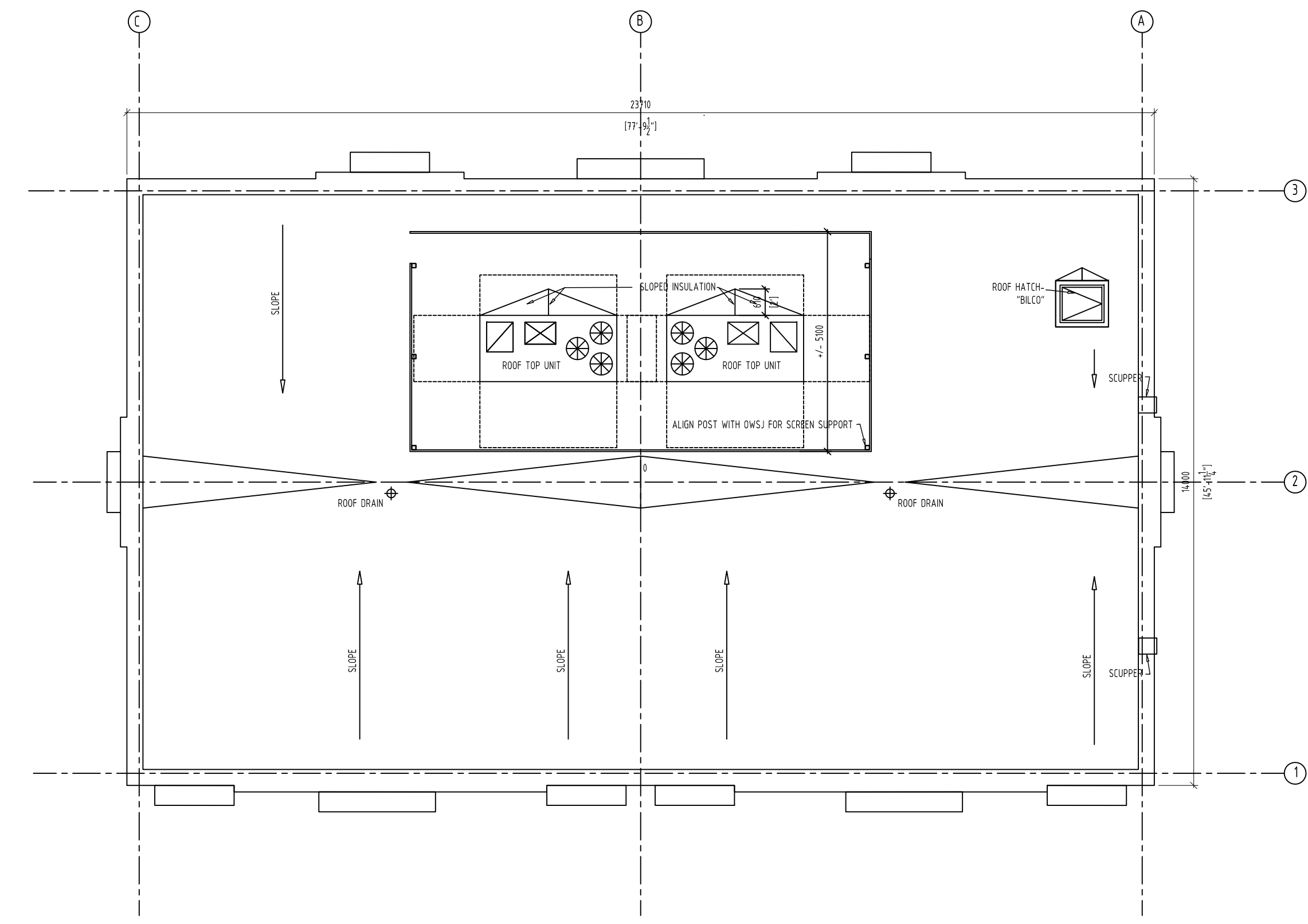
NORTH ELEVATION  
SCALE: 1/80



EAST ELEVATION  
SCALE: 1/80



FIRST FLOOR PLAN  
SCALE: 1/80



ROOF PLAN  
SCALE: 1/80

Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9			OBC Reference							
	Reference to Division B unless noted [A] for Division A, [C] for Division C			Part 3	Part 9						
1	Project Description: New Building "D"	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 <input checked="" type="checkbox"/> 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9						
2	Major Occupancy(s) GROUP A2			3.1.2.1.(1)	9.10.2						
3	Building Area (m <sup>2</sup> )	Existing 0 New 335.52m <sup>2</sup> Total 335.52m <sup>2</sup>		1.4.1.2. [A]	1.4.1.2. [A]						
4	Gross Area	Existing 0 New 335.52m <sup>2</sup> Total 335.52m <sup>2</sup>		1.4.1.2. [A]	1.4.1.2. [A]						
5	Number of Storeys	Above grade 1 Below grade 0		1.4.1.2. [A] 3.2.1.1.	1.4.1.2[A] & 9.10.4						
6	Number of Streets/Fire Fighter Access			3.2.2.10 & 3.2.5.	9.10.20.						
7	Building Classification	32221		3.2.2.20-83	9.10.2.						
8	Sprinkler System Proposed	<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required		3.2.2.20-83	9.10.8.2.						
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.9.	N/A						
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.4.	9.10.18.						
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.	N/A						
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6.	N/A						
13	Construction Restrictions	<input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Both		3.2.2.20-83	9.10.6.						
14	Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both		3.2.2.11.(3)(8)	9.10.4.1.						
15	Mezzanine(s) Area m <sup>2</sup> - NA.			3.1.17.	9.9.1.3						
16	Occupant load based on	<input checked="" type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building									
17	Basement:	Occupancy _____ Load _____ persons									
18	1 <sup>st</sup> Floor:	Occupancy RESTAURANT Load 48 (DESIGNED) persons									
19	2 <sup>nd</sup> Floor:	Occupancy _____ Load _____ persons									
20	3 <sup>rd</sup> Floor:	Occupancy _____ Load _____ persons									
21	4 <sup>th</sup> Floor:	Occupancy _____ Load _____ persons									
22	(Additional floor areas continued below)										
16	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)		3.8.	9.5.2.						
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2. & 3.3.1.19	9.10.1.3(4)						
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours)	Listed Design No. or Description (SG-2)								
19	FRR of Supporting Members	Floors 3/4 Hours NA	NA								
20	Roof NA Hours NA	NA									
21	Mezzanine NA Hours NA	NA									
19	Spatial Separation - Construction of Exterior Walls			3.2.3.	9.10.14.						
	Wall	Area of EBF (m <sup>2</sup> )	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Non-Cladding	Non-comb. Constr.
	North	NA									
	South	NA									
	East	NA									
	West	NA									
	( Additional wall areas continued below )										
20	Other - Describe										



**ANTRIX**  
ARCHITECTS INC.  
109 BRITANNIA RD E, MISSISSAUGA  
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REISSUED FOR SPA Oct 20, 2023  
ISSUED FOR SPA 26-11-19  
PROJECT PROPOSED BUILDING "D"  
N-E CORNER OF HURONTARIO & KING ST  
CALEDON, ON L7C 3M1

DRAWN BY NL  
SCALE 1:100  
PROJECT NO. 1862  
DRAWING TITLE & NO. PLANS AND ELEVATIONS A-D-01

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