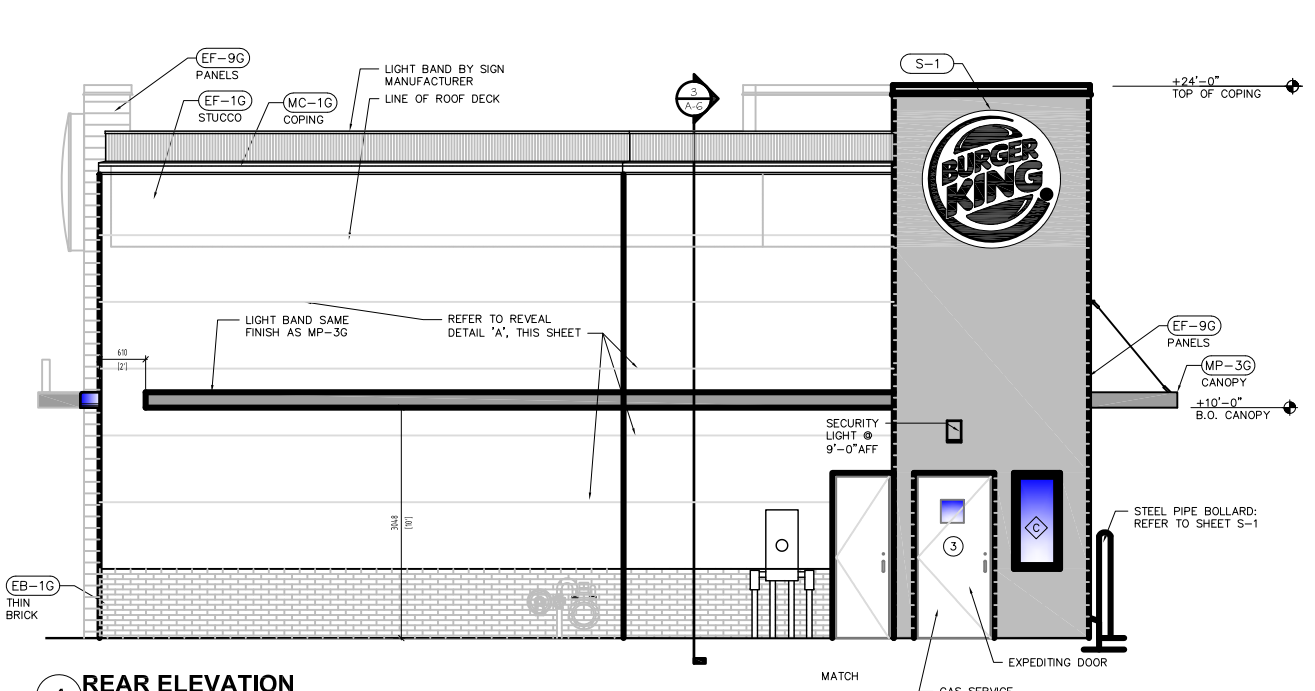


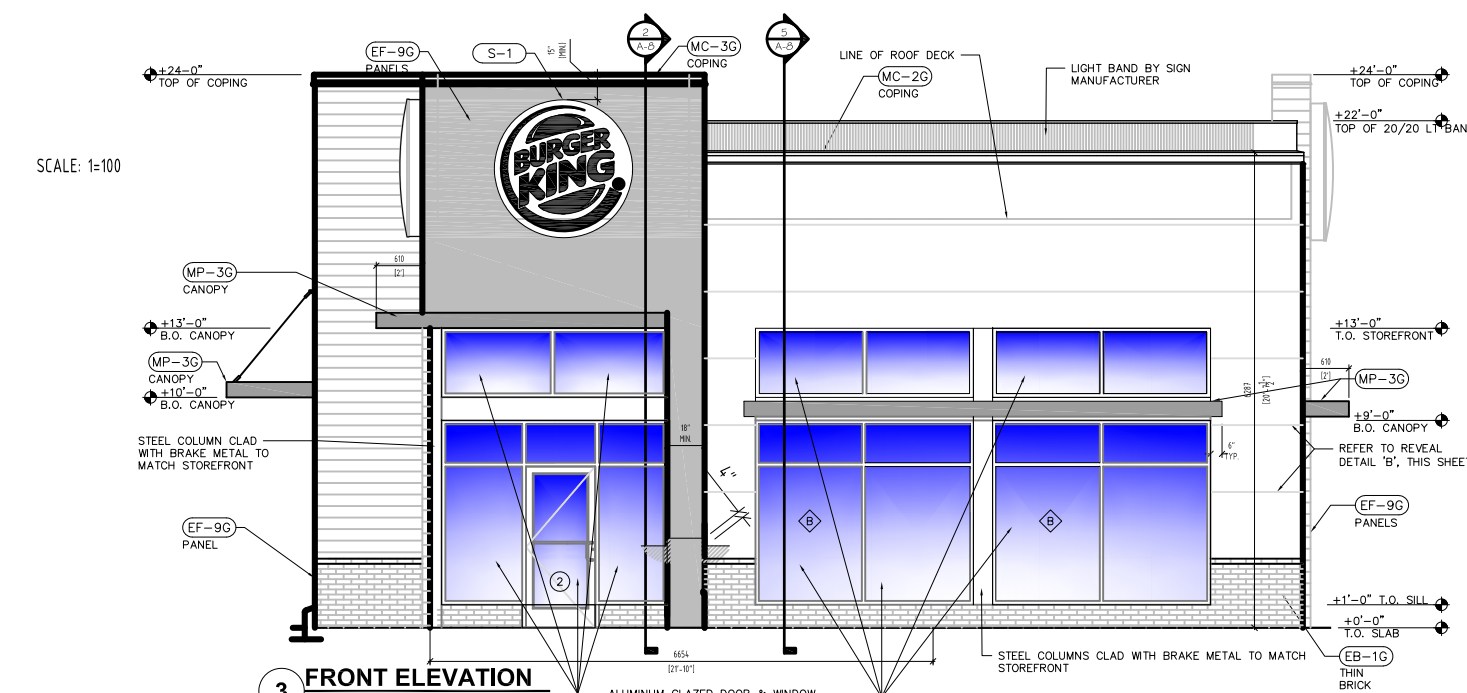
1 MAIN ENTRANCE ELEVATION
SCALE 1:50

FRONT (WEST) ELEVATION



4 REAR ELEVATION
SCALE 1:50

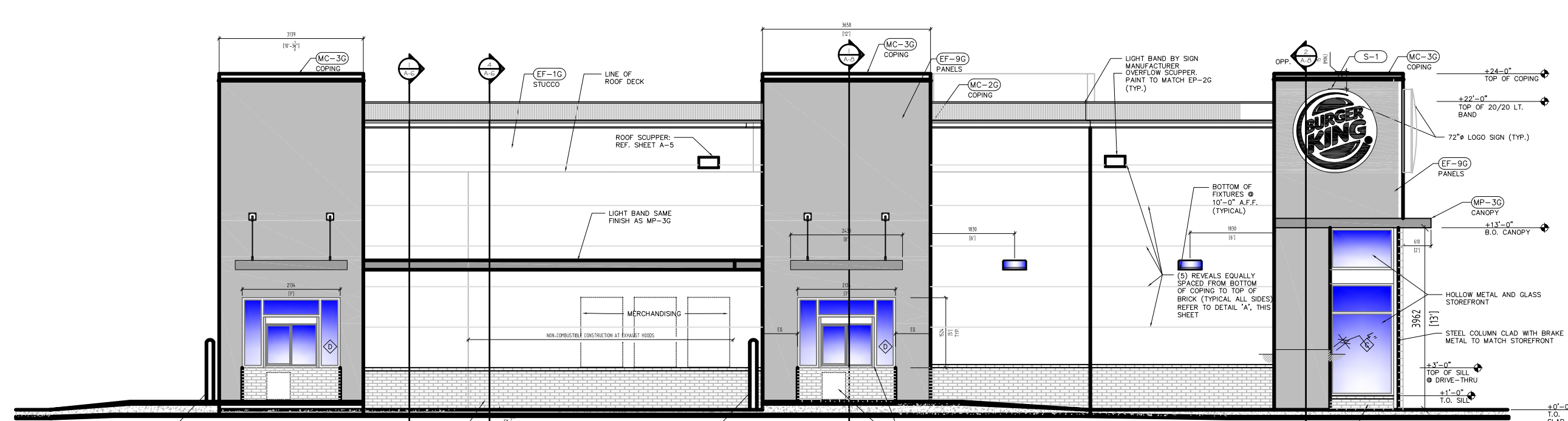
SOUTH ELEVATION



3 FRONT ELEVATION
SCALE 1:50

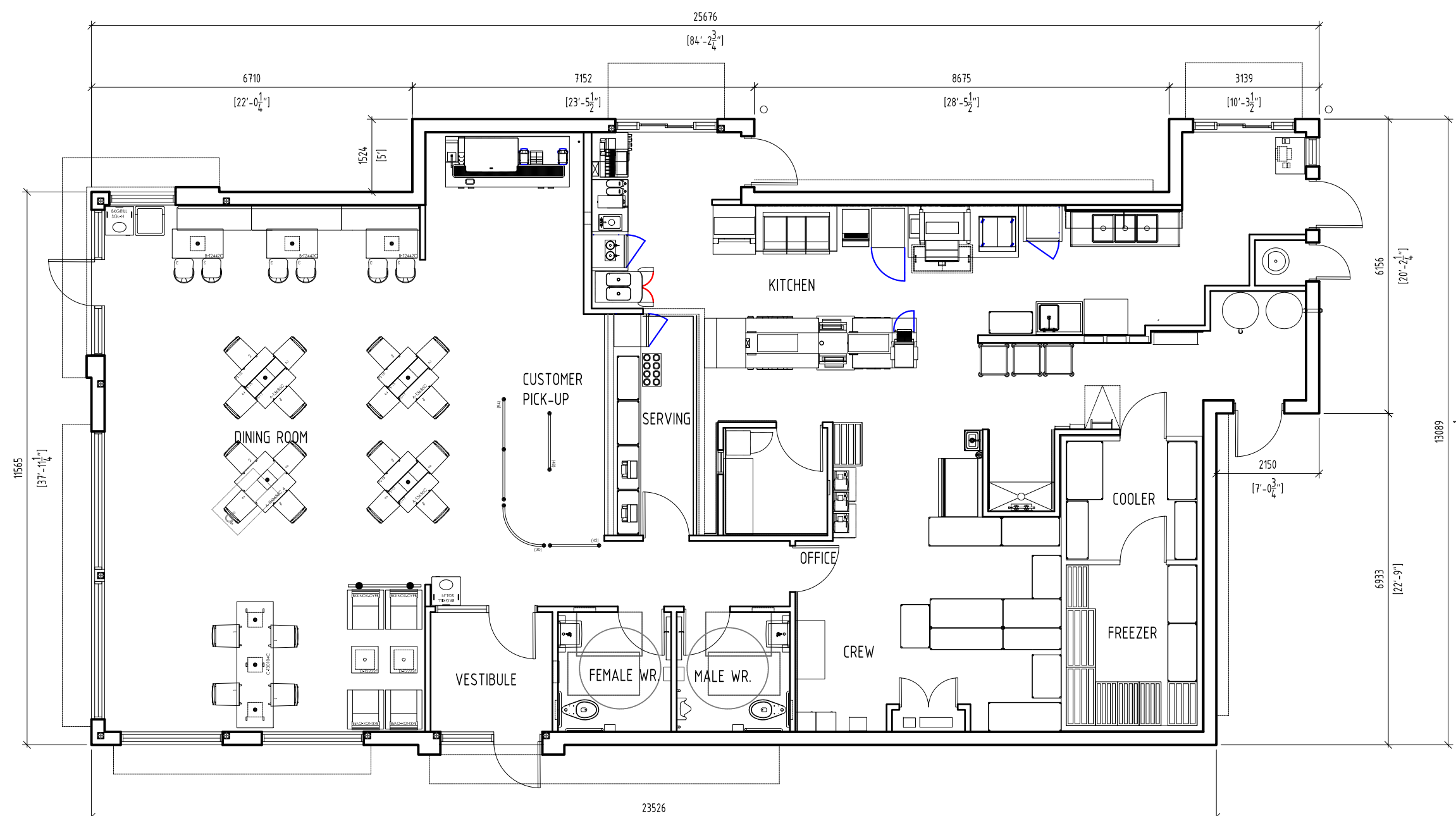
NORTH ELEVATION

EXPOSED BUILDING FACE AREA = 645 X 629 = 418 SQM
LIGHTING DISTANCE = 9 M
UNPROTECTED OPENINGS LIGHT = 100%

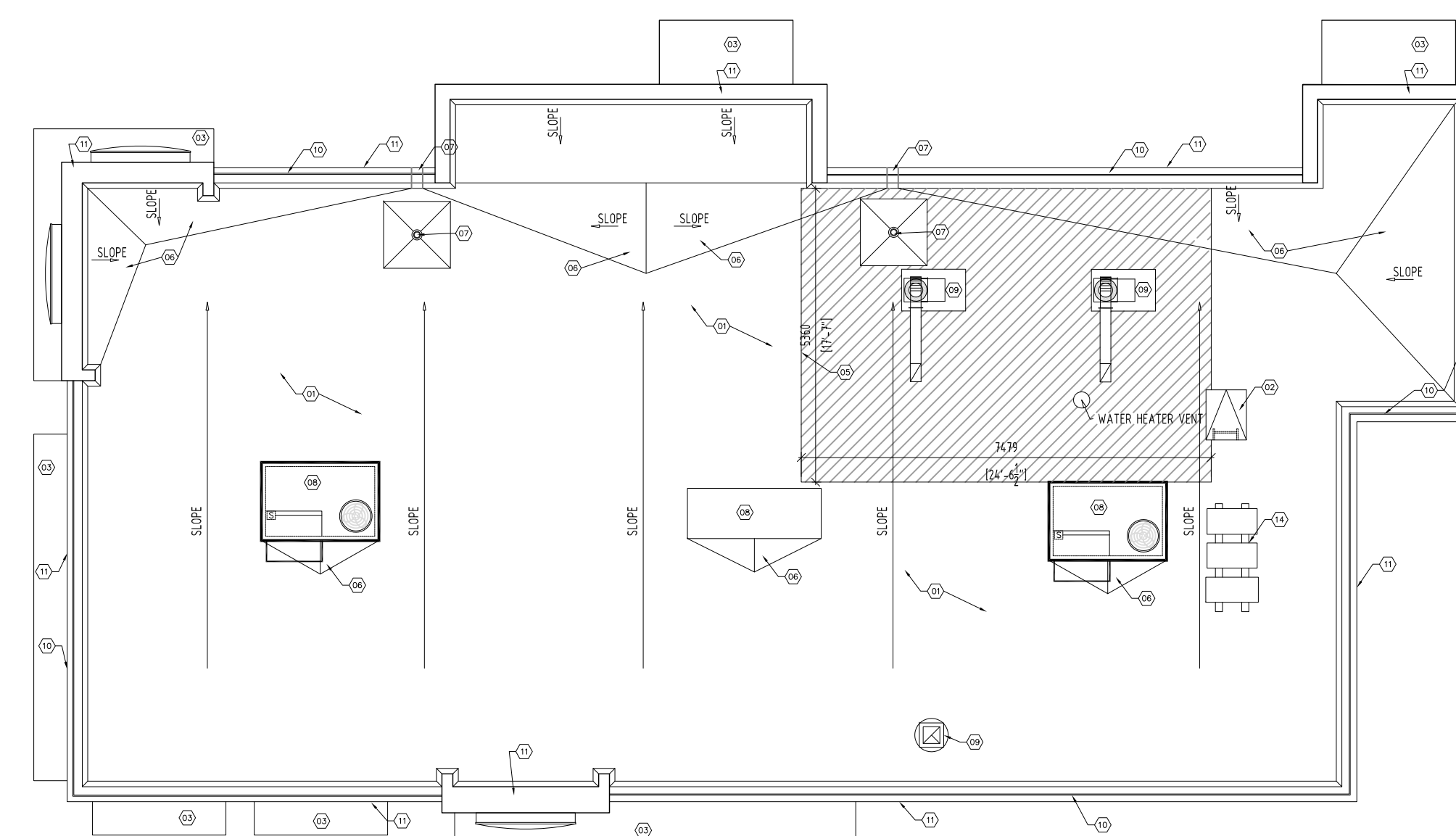


2 DRIVE THROUGH ELEVATION
SCALE 1:50

EAST ELEVATION



FIRST FLOOR PLAN
SCALE 1:50



ROOF PLAN
SCALE 1:50

| Item | Ontario's 2012 Building Code Data Matrix Part 3 or 9 | | | | OBC Reference | | | | | | |
|-----------|--|---|---|--|--|--|-------------|------------------------------|------------|----------------------------|-------------------|
| | Referencare to Division B unless noted [A] for Division A or [C] for Division C | | | | | | | | | | |
| 1 | Project Description: | NEW BUILDING 'B' | <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use | <input type="checkbox"/> Part 11 11.1 to 11.4 | <input checked="" type="checkbox"/> Part 3 1.1.2. [A] | <input type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3 | | | | | |
| 2 | Major Occupancy(s) GROUP A2 | | | | 3.1.2.1.(1) | 9.10.2 | | | | | |
| 3 | Building Area (m ²) | Existing | New | Total | 1.4.1.2. [A] | 1.4.1.2. [A] | | | | | |
| 4 | Gross Area | Existing | New | Total | 1.4.1.2. [A] | 1.4.1.2. [A] | | | | | |
| 5 | Number of Storeys | Above grade | Below grade | | 1.4.1.2. [A] & 3.2.1.1 | 1.4.1.2.[A] & 9.10.4 | | | | | |
| 6 | Number of Streets/Fire Fighter Access | | | | 3.2.2.10 & 3.2.5. | 9.10.20. | | | | | |
| 7 | Building Classification | 3222B | | | 3.2.2.20-83 | 9.10.2. | | | | | |
| 8 | Sprinkler System Proposed | | <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement in lieu of roof rating <input checked="" type="checkbox"/> not required | | 3.2.2.20-83 | 9.10.8.2. | | | | | |
| 9 | Standpipe required | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | 3.2.9. | N/A | | | | | |
| 10 | Fire Alarm required | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | 3.2.4. | 9.10.18. | | | | | |
| 11 | Water Service/Supply is Adequate | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | 3.2.5.7. | N/A | | | | | |
| 12 | High Building | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | 3.2.6. | N/A | | | | | |
| 13 | Construction Restrictions | <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible | <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Non-combustible | <input type="checkbox"/> Both | 3.2.2.20-83 | 9.10.6. | | | | | |
| 14 | Mezzanine(s) Area m ² | NA | | | 3.2.1.1.(3)(8) | 9.10.4.1 | | | | | |
| 15 | Occupant load based on | | <input checked="" type="checkbox"/> m ² /person <input type="checkbox"/> design of building | | 3.1.17. | 9.9.1.3 | | | | | |
| | Basement: | Occupancy | RESTAURANT | Load | LESS THAN 4 persons | | | | | | |
| | 1 st Floor: | Occupancy | RESTAURANT | Load | LESS THAN 4 persons | | | | | | |
| | 2 nd Floor: | Occupancy | | Load | RESERVED | | | | | | |
| | 3 rd Floor: | Occupancy | | Load | persons | | | | | | |
| | 4 th Floor: | Occupancy | | Load | persons | | | | | | |
| | (Additional floor areas continued below) | | | | | | | | | | |
| 16 | Barrier-free Design | | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain) | | 3.8. | 9.5.2. | | | | | |
| 17 | Hazardous Substances | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | 3.3.1.2. & 3.3.1.19 | 9.10.1.3(4) | | | | | |
| 18 | Required Fire Resistance Rating (FRR) | Horizontal Assemblies (FRR (Hours)) | | Listed Design No. or Description (SG-2) | 3.2.2.20-83 & 3.2.1.4. | | | | | | |
| Floors | | 3/4 | Hours | | NA | | | | | | |
| Roof | | 0 | Hours | | NA | | | | | | |
| Mezzanine | | 0 | Hours | | NA | | | | | | |
| | FRR of Supporting Members | Listed Design No. or Description (SG-2) | | | | | | | | | |
| Floors | | NA | Hour | NA | | | | | | | |
| Roof | | NA | Hour | NA | | | | | | | |
| Mezzanine | | NA | Hour | NA | | | | | | | |
| 19 | Spatial Separation - Construction of Exterior Walls | | | | 3.2.3. | 9.10.14. | | | | | |
| | Wall | Area of EBF (m ²) | L.D. (m) | L/H or H/L | Permitted Max. % of Openings | Proposed % of Openings | FRR (Hours) | Listed Design or Description | Comb Const | Comb. Constr. Non-Cladding | Non-Comb. Constr. |
| | North | NA | | | | | | | | | |
| | South | NA | | | | | | | | | |
| | East | NA | | | | | | | | | |
| | West | NA | | | | | | | | | |
| | (Additional wall areas continued below) | | | | | | | | | | |
| 20 | Other - Descrone | | | | | | | | | | |

TOWN OF CALEDON
PLANNING
RECEIVED
December 13th, 2022



ANTRIX
ARCHITECTS INC.
1109 BRITANNIA RD E, MISSISSAUGA
ON L4W 3X1. PHONE 905 564 1154
FAX 888 501 0265

ISSUED FOR SPA 22-11-2022
ISSUED FOR SPA 26-11-2019
PROJECT PROPOSED BUILDING "B"
N-E CORNER OF HURONTARIO & KING ST
CALEDON, ON L7C 3M1

ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE DRAWINGS. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DRAWINGS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

DRAWN BY NL
SCALE 1:100
PROJECT NO. 1862
DRAWING TITLE & NO. A-B-01
PLANS AND ELEVATIONS