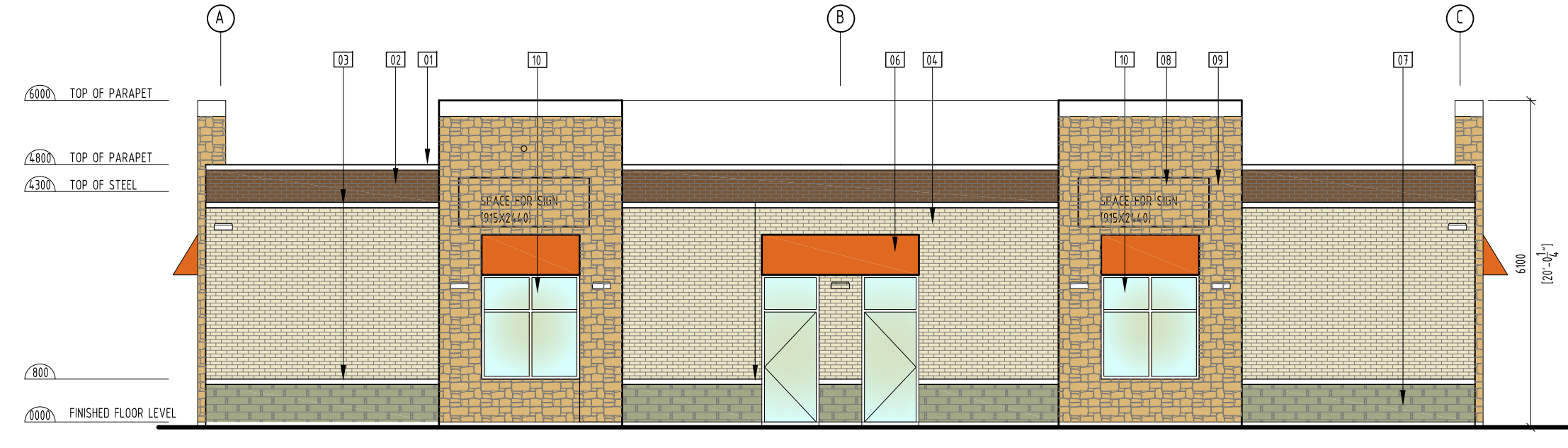


WEST ELEVATION  
SCALE: 1/80

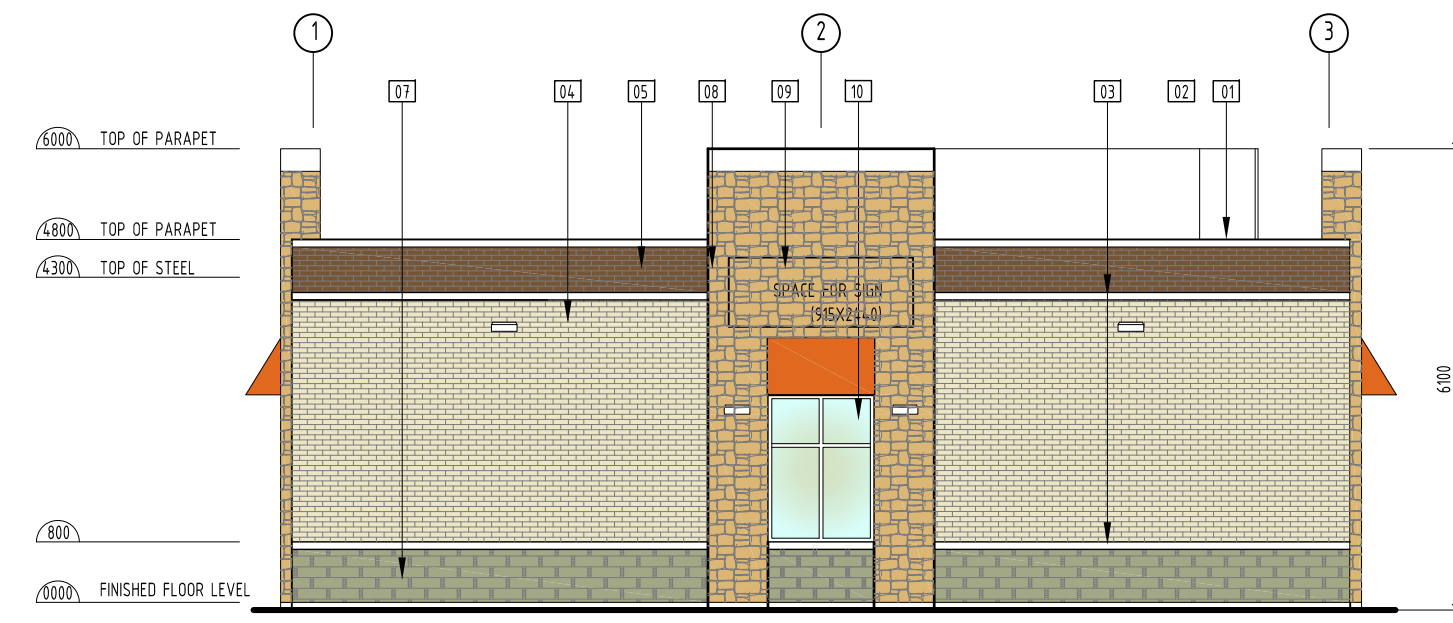
- BRICKS ARE METRIC MODULAR - 100x75x90
- 01 PRE FINISHED METAL CAP FLASHING (DUNE GRASS COLOR)
  - 02 BRICK VENEER FINISH - BRAMPTON BRICKS - TAUPE SMOOTH CONCRETE BAND
  - 03 BRICK VENEER FINISH - BRAMPTON BRICKS - EVEREST
  - 04 BRICK VENEER FINISH - BRAMPTON BRICKS - SLATE
  - 05 FABRIC FINISH - DUNE ORANGE
  - 06 STONE VENEER FINISH - BRAMPTON BRICKS - CITRUS
  - 07 STONE VENEER FINISH - BRAMPTON BRICKS - VIVACE MELAND
  - 08 ILLUMINATED ACRYLIC SIGN
  - 09 ALUMINUM GLAZING
  - 10 PAINTED HOLLOW METAL DOOR WITH FRAME - LIGHT ORANGE (SHADES OF WHEAT)
  - 11 CUSTOM METAL CANOPY (CLEAR ANODIZED)
  - 12 WALL MOUNT ELECTRICAL FIXTURE
  - 13 DENOTES CONTROL JOINTS



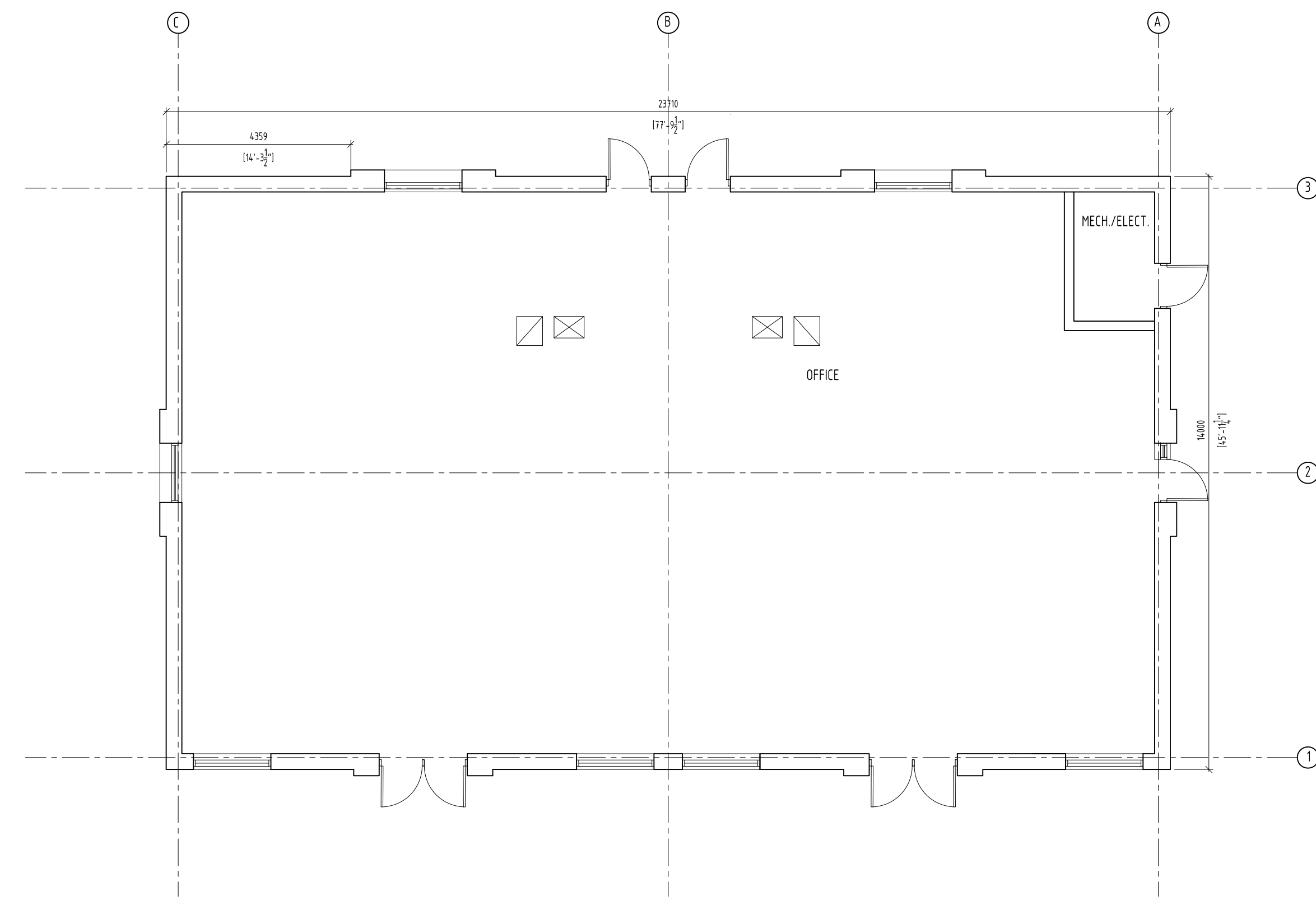
SOUTH ELEVATION  
SCALE: 1/80



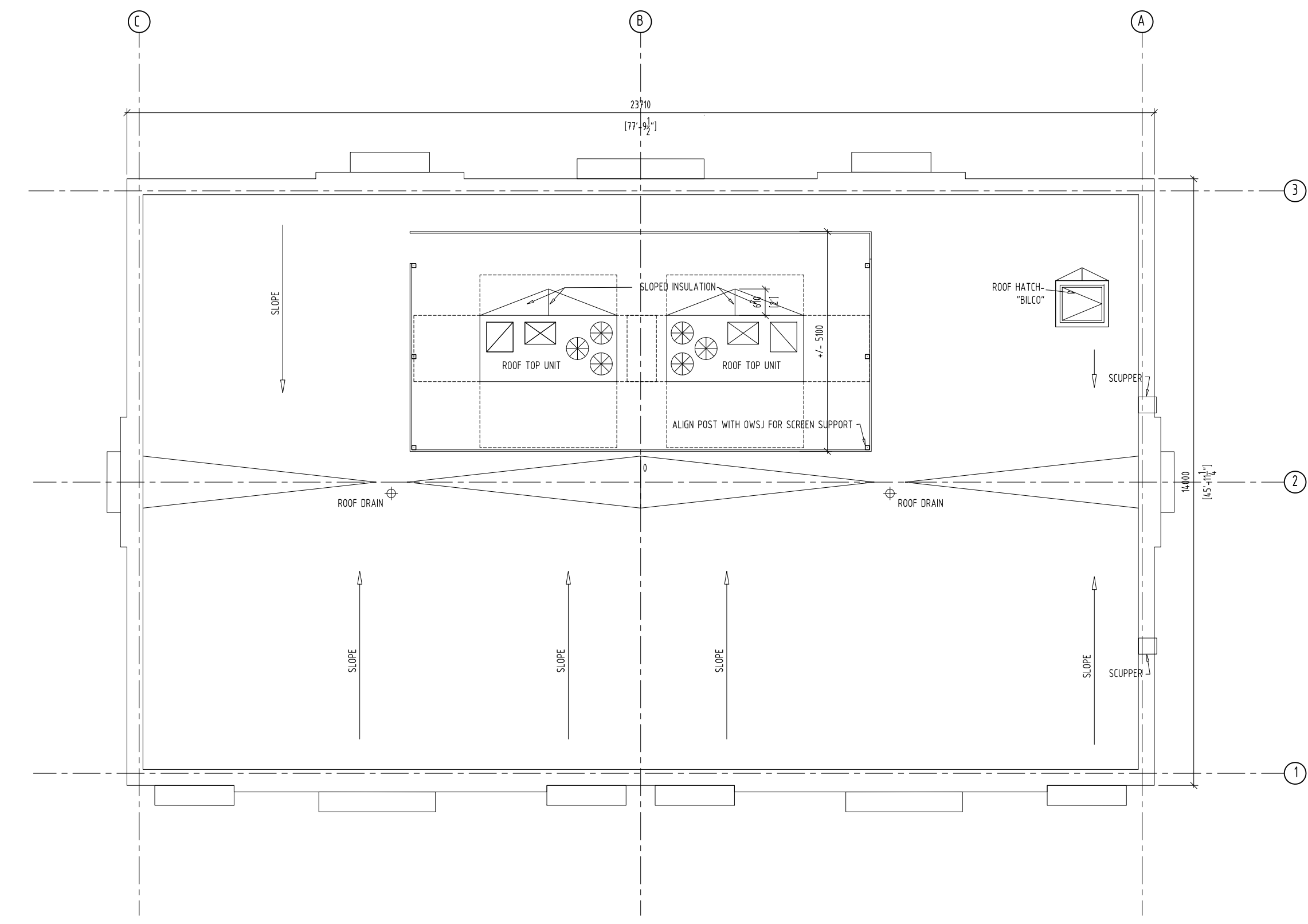
NORTH ELEVATION  
SCALE: 1/80



EAST ELEVATION  
SCALE: 1/80



FIRST FLOOR PLAN  
SCALE: 1/80



ROOF PLAN  
SCALE: 1/80

Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9			OBC Reference					
	Project Description:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 <input type="checkbox"/> 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> 1.1.2. [A]	<input type="checkbox"/> Part 9 <input type="checkbox"/> 1.1.2. [A] & 9.10.1.3				
1	Project Description:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 <input type="checkbox"/> 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> 1.1.2. [A]	<input type="checkbox"/> Part 9 <input type="checkbox"/> 1.1.2. [A] & 9.10.1.3				
2	Major Occupancy(s) GROUP A2			3.1.2.1.(1)	9.10.2				
3	Building Area (m <sup>2</sup> )	Existing 0 New 335.52m <sup>2</sup> Total 335.52m <sup>2</sup>		1.4.1.2. [A]	1.4.1.2. [A]				
4	Gross Area	Existing 0 New 335.52m <sup>2</sup> Total 335.52m <sup>2</sup>		1.4.1.2. [A]	1.4.1.2. [A]				
5	Number of Storeys	Above grade 1 Below grade 0		1.4.1.2. [A] & 3.2.1.1.	1.4.1.2[A] & 9.10.4				
6	Number of Streets/Fire Fighter Access	1		3.2.2.10 & 3.2.5.	9.10.20.				
7	Building Classification	32221		3.2.2.20-83	9.10.2.				
8	Sprinkler System Proposed	<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement in lieu of roof rating <input type="checkbox"/> not required		3.2.2.20-83	9.10.8.2.				
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.9.	N/A				
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.4.	9.10.18.				
11	Water Service/Supply is Adequate	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.5.7.	N/A				
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6.	N/A				
13	Construction Restrictions	<input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Both		3.2.2.20-83	9.10.6.				
14	Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both		3.2.2.20-83	9.10.6.				
14	Mezzanine(s) Area m <sup>2</sup>	NA.		3.2.1.1.(3)(8)	9.10.4.1.				
15	Occupant load based on	<input checked="" type="checkbox"/> m <sup>2</sup> /person <input type="checkbox"/> design of building		3.1.17.	9.9.1.3				
	Basement:	Occupancy _____ Load _____ persons							
	1 <sup>st</sup> Floor:	Occupancy RESTAURANT Load 48 (DESIGNED) persons							
	2 <sup>nd</sup> Floor:	Occupancy _____ Load _____ persons							
	3 <sup>rd</sup> Floor:	Occupancy _____ Load _____ persons							
	4 <sup>th</sup> Floor:	Occupancy _____ Load _____ persons							
	(Additional floor areas continued below)								
16	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain) _____		3.8.	9.5.2				
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2. & 3.3.1.19	9.10.1.3(4)				
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies		Listed Design No. or Description (SG-2)	3.2.2.20 -83 & 3.2.1.4.				
		Floors	3/4 Hours			NA			
		Roof	1 Hours			NA			
		Mezzanine	1 Hours			NA			
	FRR of Supporting Members	Listed Design No. or Description (SG-2)							
		Floors	NA Hour			NA			
		Roof	NA Hour			NA			
		Mezzanine	NA Hour			NA			
19	Spatial Separation - Construction of Exterior Walls			3.2.3.	9.10.14.				
	Wall	Area of EBF (m <sup>2</sup> )	L.D. (m) L/H or H/L Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Non-Cladding	Non-comb. Constr.
	North	NA							
	South	NA							
	East	NA							
	West	NA							
	( Additional wall areas continued below )								
20	Other - Descrone								

TOWN OF CALEDON  
PLANNING  
RECEIVED  
December 13th, 2022



**ANTRIX**  
ARCHITECTS INC.  
1109 BRITANNIA RD E., MISSISSAUGA  
ON L4W 3X1. PHONE 905 564 1154  
FAX 888 501 0265

REISSUED FOR SPA 22-11-22  
ISSUED FOR SPA 26-11-19  
PROJECT PROPOSED BUILDING "D"  
N-E CORNER OF HURONTARIO & KING ST  
CALEDON, ON L7C 3M1

ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE DRAWINGS. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DRAWINGS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

DRAWN BY NL  
SCALE 1:100  
PROJECT NO. 1862  
DRAWING TITLE & NO. PLANS AND ELEVATIONS A-D-01