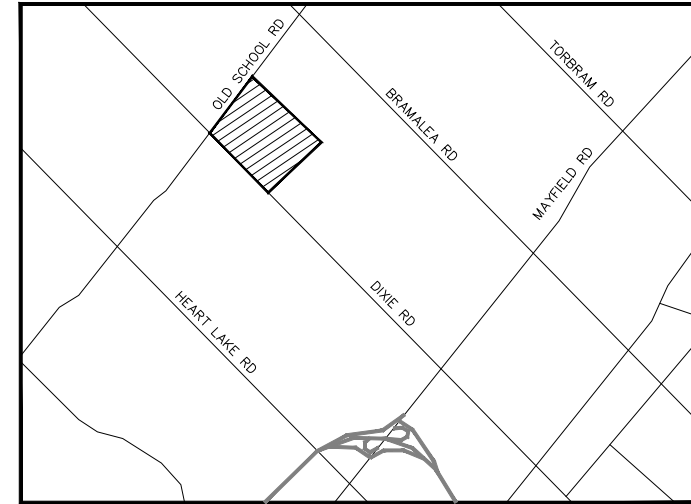




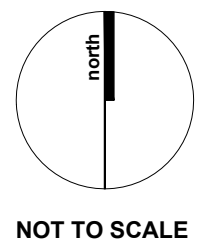


## KEY PLAN



Source: Region of Waterloo

Subject Site



NOT TO SCALE

## LEGEND

	CONCRETE WALKWAY (SEE DETAIL 1/D2)		PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D1)
	PROPOSED BENCH (SEE DETAIL 1/D3)		PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1)
	PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)		PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)
	PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D3)		SODDED AREA(SEE DETAIL 1/D1)
	PROPOSED BIKE RACK (SEE DETAIL 7/D1)		UNIT PAVING (SEE DETAIL 2/D2)
	PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)		SWM SEED MIXTURE AREA
	PROPOSED TRELLIS (SEE DETAIL 5/D3)		PMS PONG TABLE (SEE DETAIL 3/D2)
	1.5 METER CHAIN LINK FENCE (SEE DETAIL 7/D3)		TREE PROTECTION FENCE
			1.8 METER WOOD FENCE (SEE DETAIL 6/D3)

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3.	February 21, 2025	ISSUED FOR SUBMISSION	MB
2.	December 06, 2024	ISSUED FOR SUBMISSION	MB
1.	December 15, 2023	ISSUED FOR SUBMISSION	MB/RF

REVISION NO.	DATE	ISSUED / REVISION	BY
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**PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE**

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## PROJECT

**QUADREAL PROPERTY GROUP**  
12861 DIXIE ROAD  
CALEDON, ONTARIO

DATE  
NOV 2023

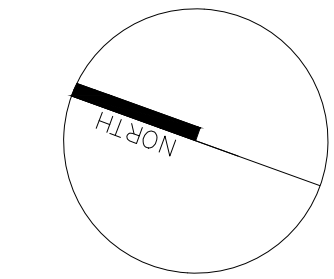
DRAWN BY  
MB

PLAN SCALE  
1:1500

FILE NO.  
181410

CHECKED BY  
GC

OTHER



## DWG NAME

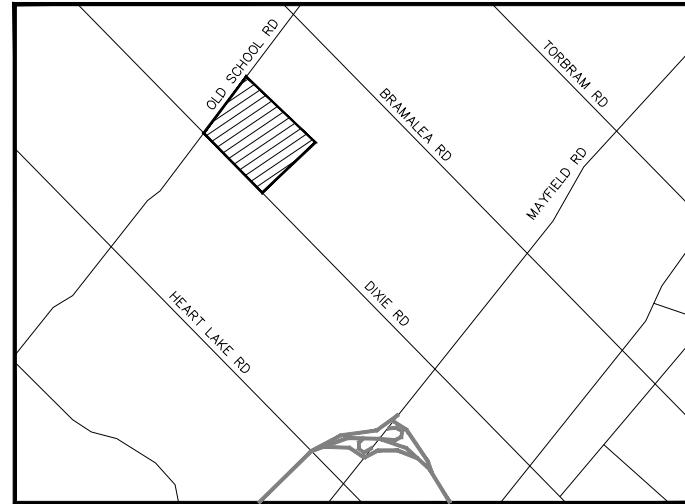
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## DWG NO.

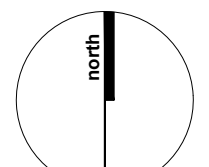
**L1**



## KEY PLAN



Subject Site



NOT TO SCALE

Source: Region of Waterloo

## LEGEND

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	PROPOSED BENCH (SEE DETAIL 1/D3)		PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1)
	PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)		PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)
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	PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)		SWM SEED MIXTURE AREA
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## PROJECT

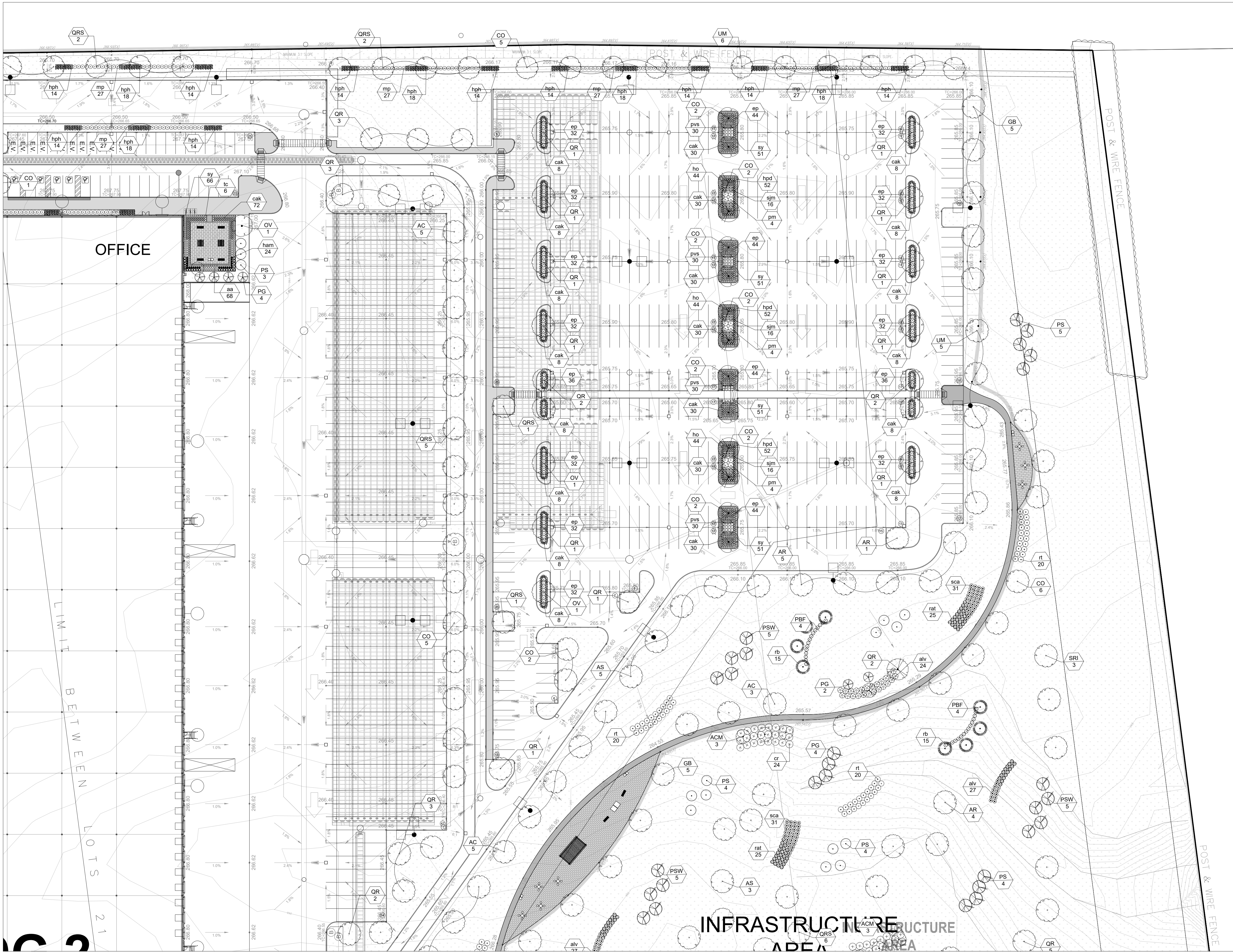
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12861 DIXIE ROAD  
CALEDON, ONTARIO

## DWG NAME

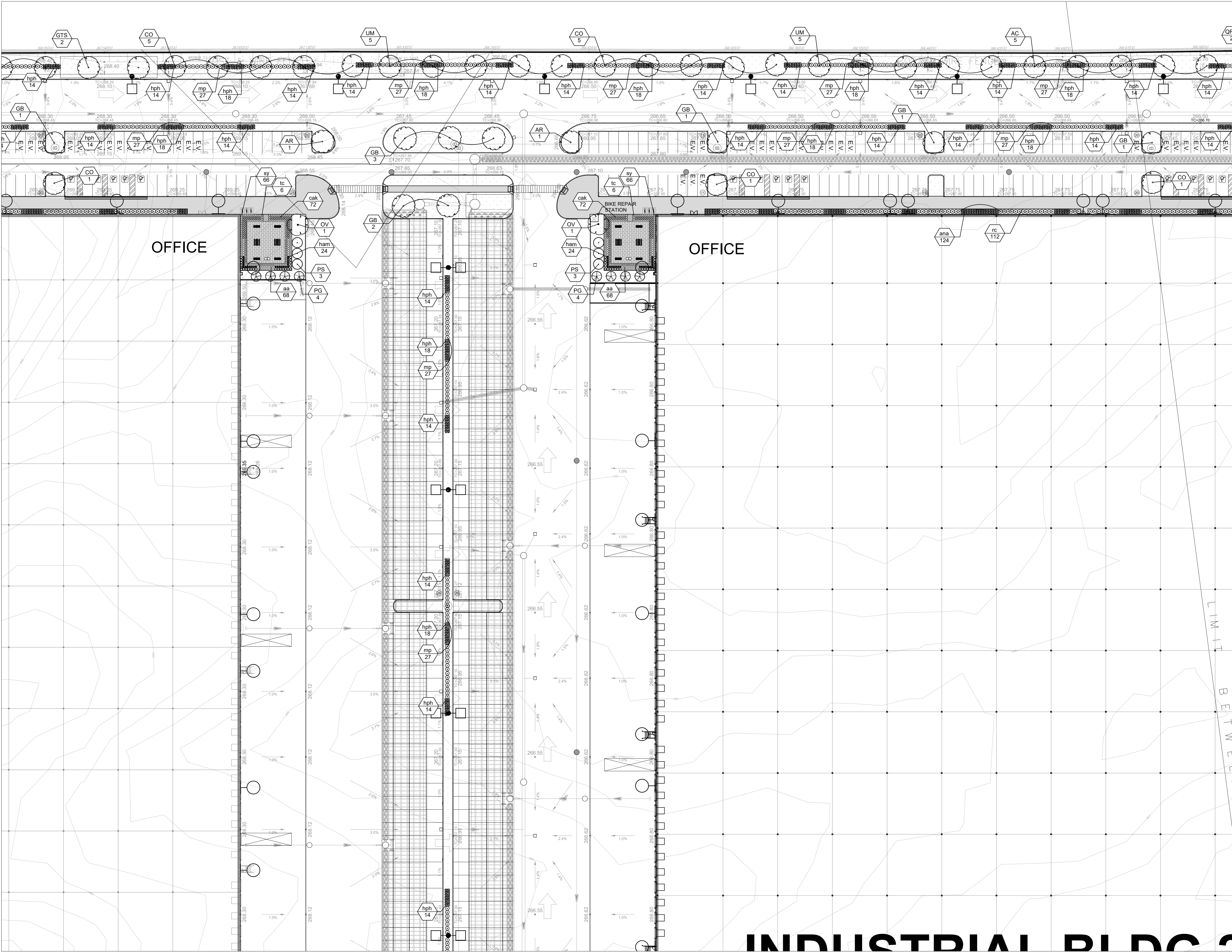
LANDSCAPE PLAN

## DWG NO.

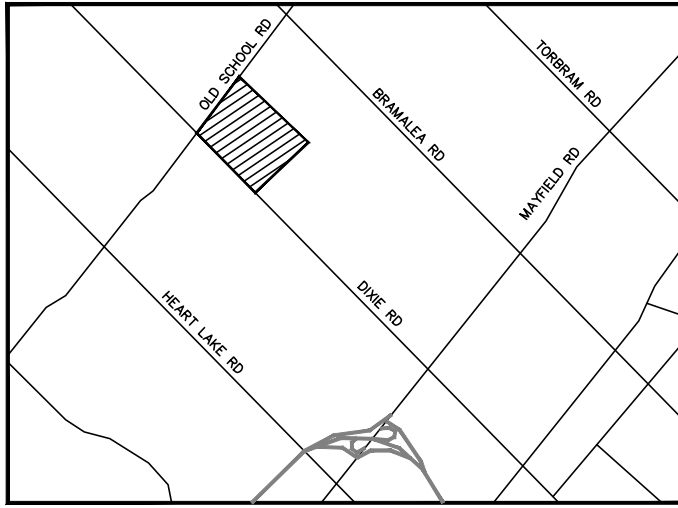
WL2



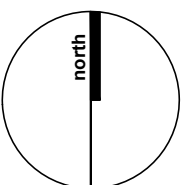




KEY PLAN



Subject Site



NOT TO SCALE

LEGEND

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	PROPOSED BENCH (SEE DETAIL 1/D3)		PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1)
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			1.8 METER WOOD FENCE (SEE DETAIL 6/D3)

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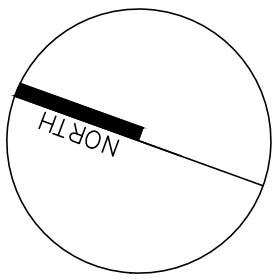


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PROJECT

QUADREAL PROPERTY GROUP  
12861 DIXIE ROAD  
CALEDON, ONTARIO



DWG NAME

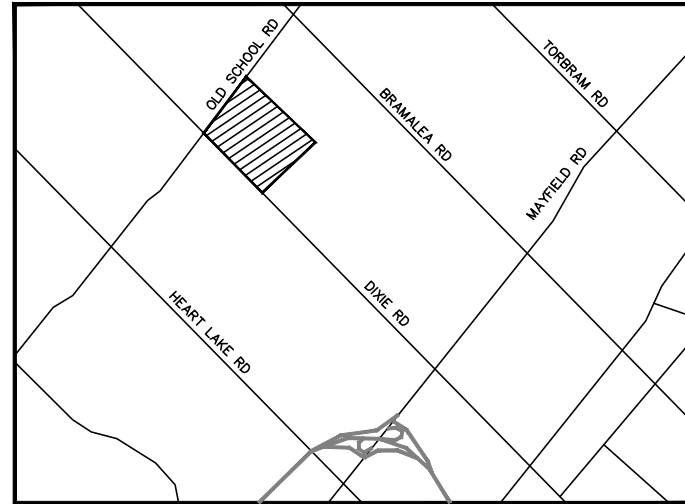
LANDSCAPE PLAN

DWG NO.

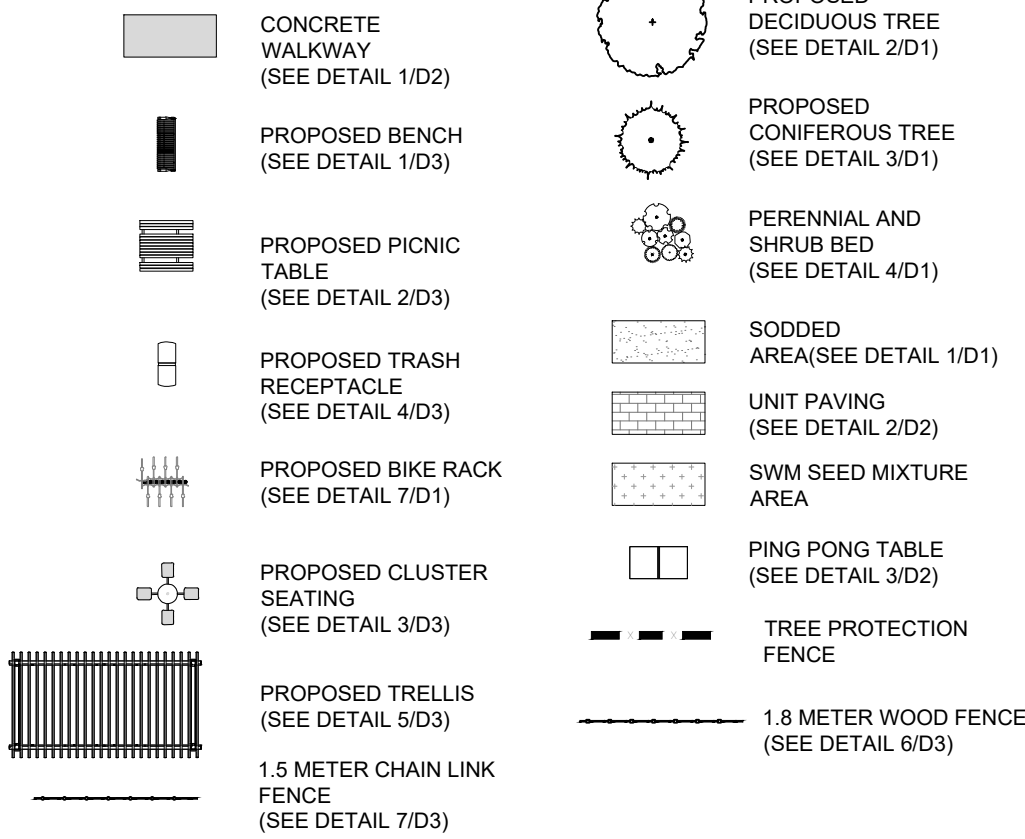
WL3



KEY PLAN



LEGEND



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PROJECT

QUADREAL PROPERTY GROUP  
12861 DIXIE ROAD  
CALEDON, ONTARIO

DWG NAME

LANDSCAPE PLAN

DATE

NOV 2023

DRAWN BY

MB

PLAN SCALE

1:500

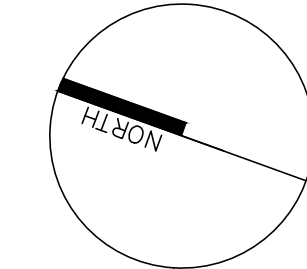
FILE NO.

181410

CHECKED BY

GC

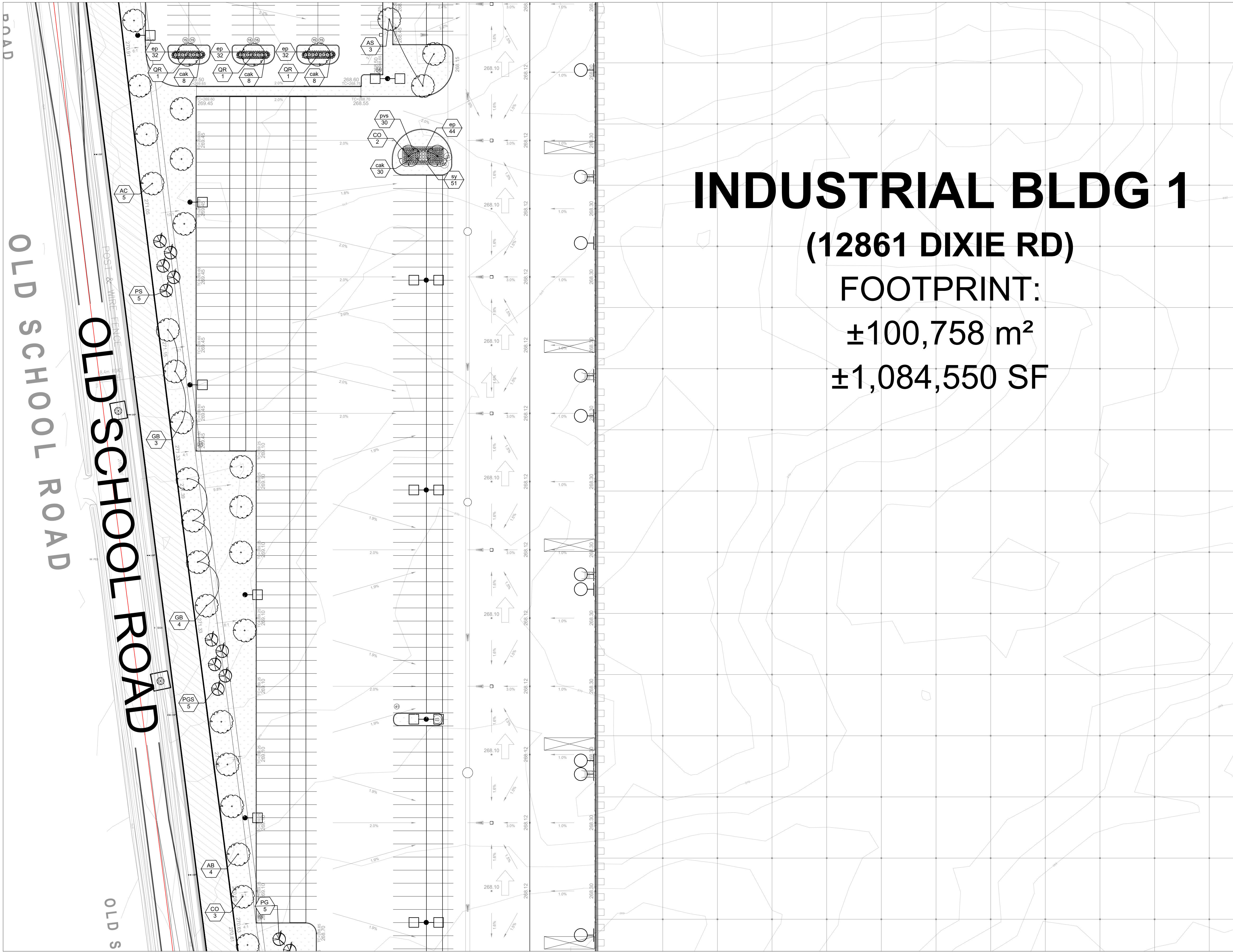
OTHER



DWG NO.

WL4





# INDUSTRIAL BLDG 1

(12861 DIXIE RD)

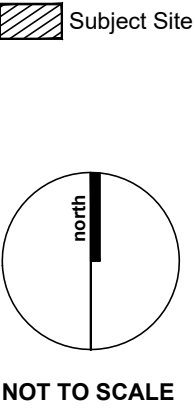
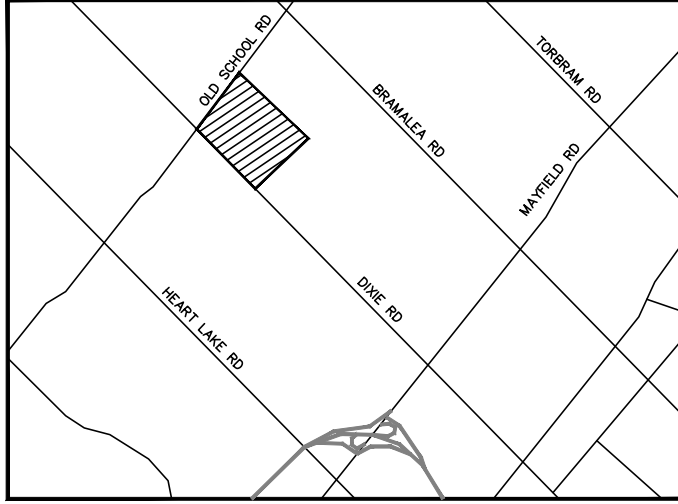
FOOTPRINT:

±100,758 m<sup>2</sup>

±1,084,550 SF

TOWN OF CALEDON  
PLANNING  
RECEIVED  
Jul 31, 2025

### KEY PLAN



### LEGEND

- |  |  |  |  |
|--|--|--|--|
|  | CONCRETE WALKWAY (SEE DETAIL 1/D2)           |  | PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D1)  |
|  | PROPOSED BENCH (SEE DETAIL 1/D3)             |  | PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1) |
|  | PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)      |  | PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)  |
|  | PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D3)  |  | SODDED AREA (SEE DETAIL 1/D1)              |
|  | PROPOSED BIKE RACK (SEE DETAIL 7/D1)         |  | UNIT PAVING (SEE DETAIL 2/D2)              |
|  | PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)   |  | SWM SEED MIXTURE AREA                      |
|  | PROPOSED TRELLIS (SEE DETAIL 5/D3)           |  | PING PONG TABLE (SEE DETAIL 3/D2)          |
|  | 1.5 METER CHAIN LINK FENCE (SEE DETAIL 7/D3) |  | TREE PROTECTION FENCE                      |
|  |  |  | 1.8 METER WOOD FENCE (SEE DETAIL 6/D3)     |

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1.	December 15, 2023	ISSUED FOR SUBMISSION	MB/RF

REVISION NO.	DATE	ISSUED / REVISION	BY
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ARCHITECTURE

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#### PROJECT

QUADREAL PROPERTY GROUP  
12861 DIXIE ROAD  
CALEDON, ONTARIO

DATE  
NOV 2023

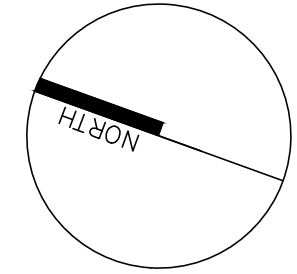
DRAWN BY  
MB

PLAN SCALE  
1:500

FILE NO.  
181410

CHECKED BY  
GC

OTHER



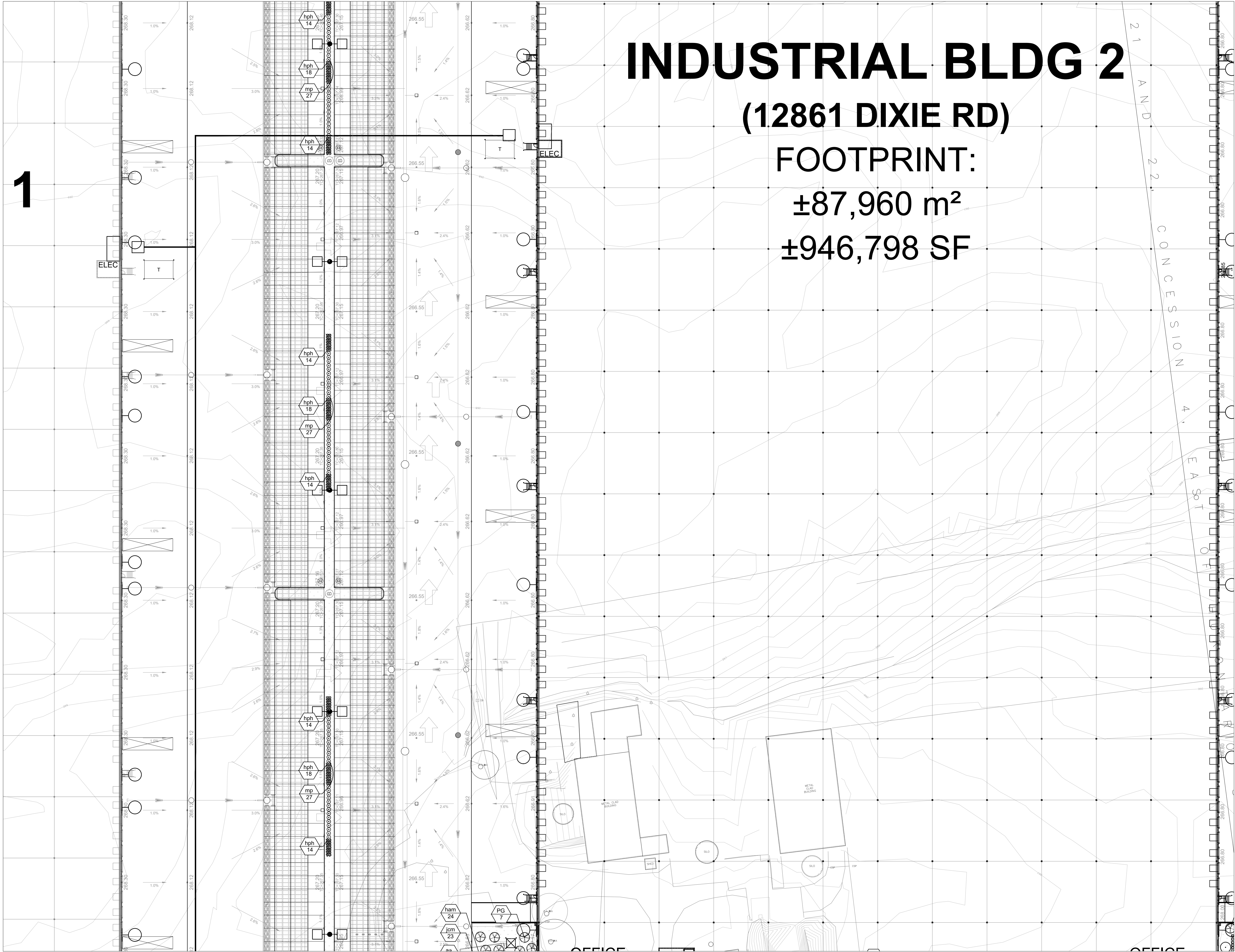
#### DWG NAME

LANDSCAPE PLAN

#### DWG NO.

WL5





# INDUSTRIAL BLDG 2

(12861 DIXIE RD)

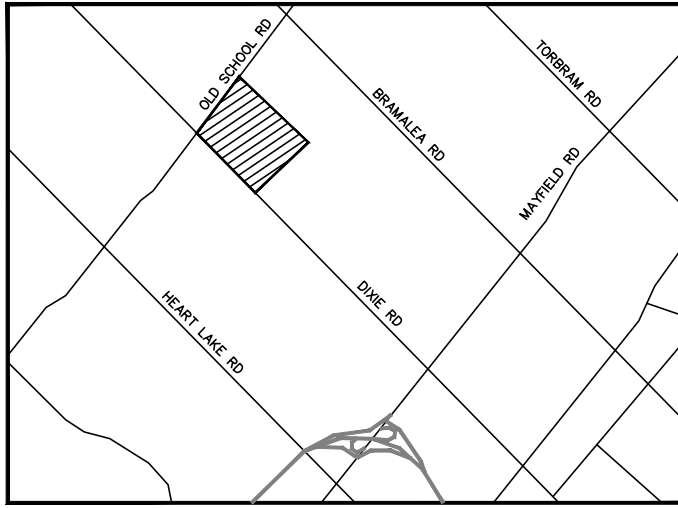
FOOTPRINT:

±87,960 m²

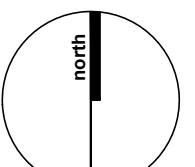
±946,798 SF

TOWN OF CALEDON  
PLANNING  
RECEIVED  
Jul 31, 2025

## KEY PLAN



Subject Site



NOT TO SCALE

## LEGEND

- CONCRETE WALKWAY (SEE DETAIL 1/D2)
- PROPOSED BENCH (SEE DETAIL 1/D3)
- PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)
- PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D3)
- PROPOSED BIKE RACK (SEE DETAIL 7/D1)
- PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)
- PROPOSED TRELLIS (SEE DETAIL 5/D3)
- 1.5 METER CHAIN LINK FENCE (SEE DETAIL 7/D3)
- PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D1)
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- SODDED AREA (SEE DETAIL 1/D1)
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## PROJECT

QUADREAL PROPERTY GROUP  
12861 DIXIE ROAD  
CALEDON, ONTARIO

## DWG NAME

LANDSCAPE PLAN

## DATE

NOV 2023

## DRAWN BY

MB

## PLAN SCALE

1:500

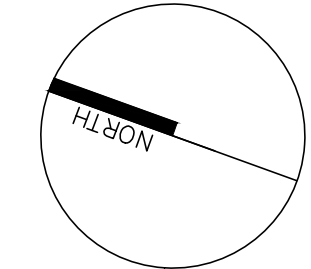
## FILE NO.

181410

## CHECKED BY

GC

## OTHER



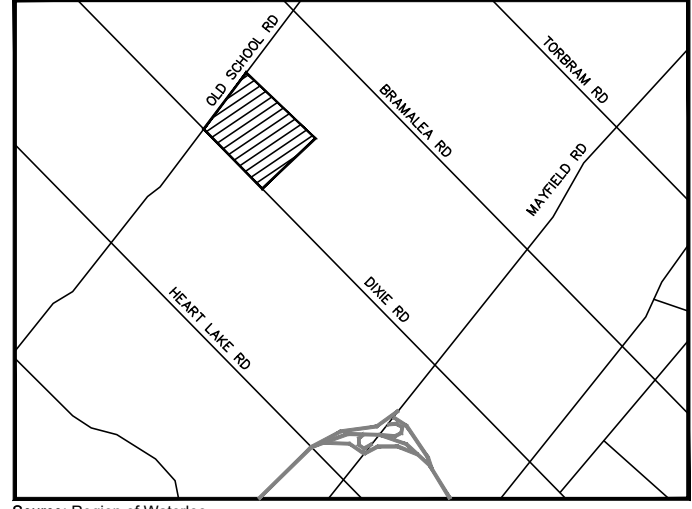
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WL6

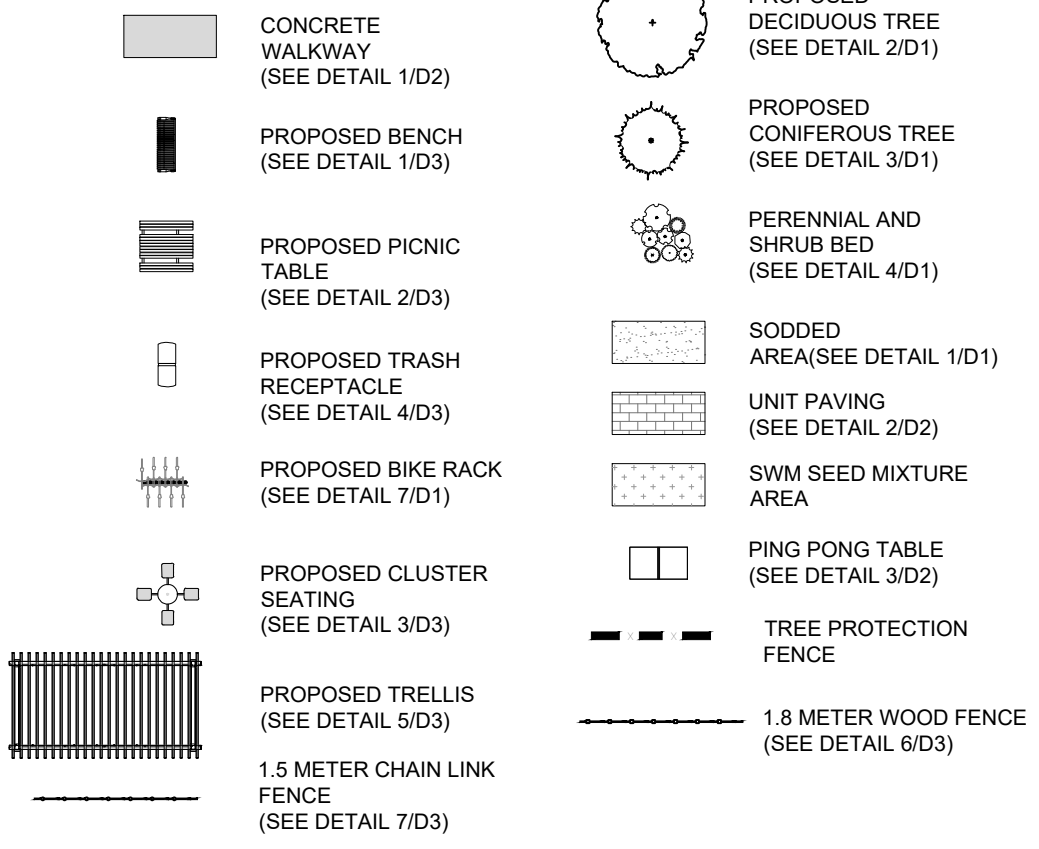




KEY PLAN



LEGEND



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URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE**

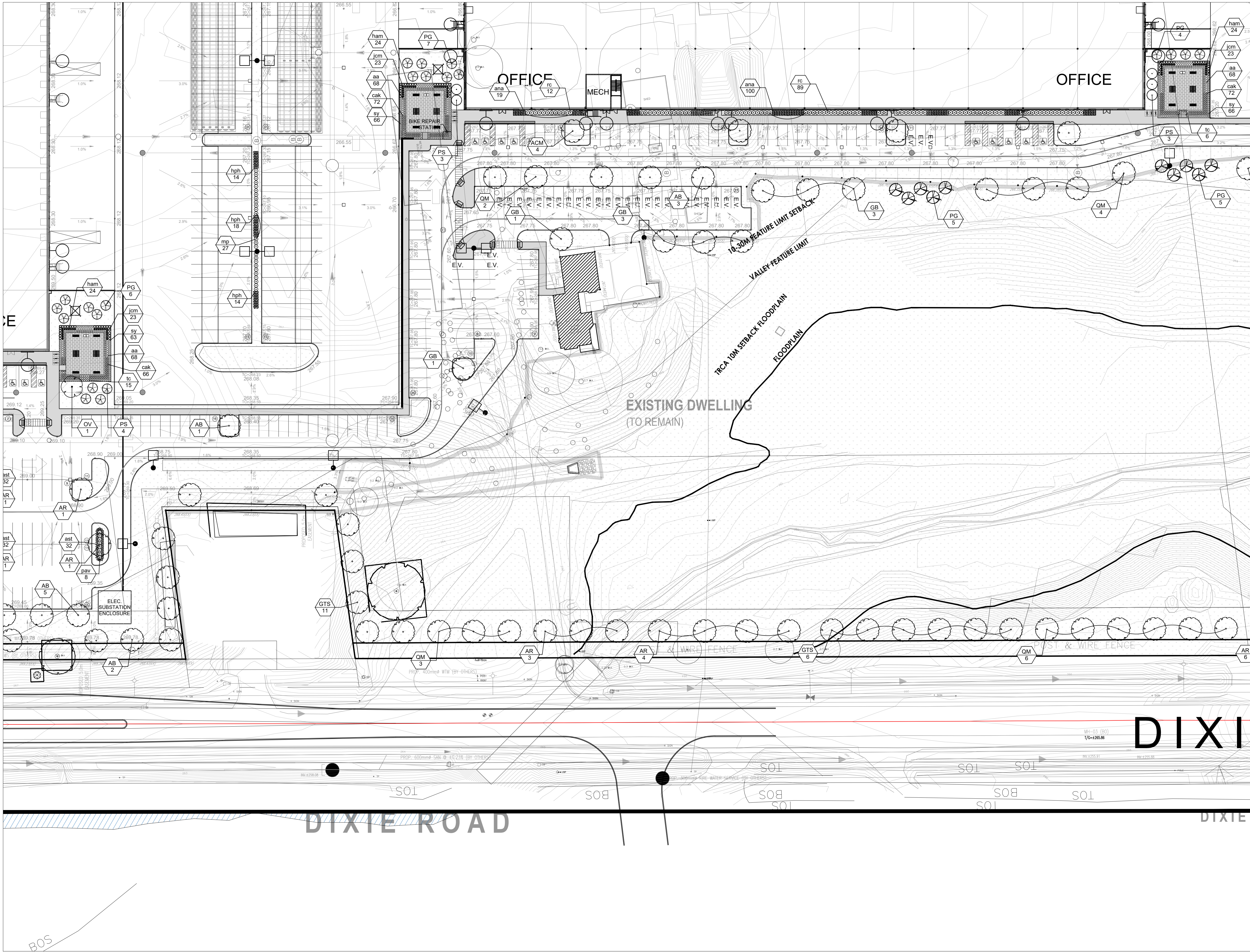
230-7050 WESTON ROAD WOODBRIDGE, ON, L4L 8G7 | P: 905 761 5588 F: 905 761 5589 | WWW.MHBCPLAN.COM

<b>STAMP</b>  <b>ISSUED FOR SPA ONLY NOT FOR CONSTRUCTION</b> <small>All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked 'Issued for Construction' and the professional seal is signed and dated by the landscape architect.</small>	<b>DATE</b> NOV 2023
	<b>DRAWN BY</b> MB
	<b>PLAN SCALE</b> 1:500
	<b>FILE NO.</b> 181410
	<b>CHECKED BY</b> GC
<b>PROJECT</b> <b>QUADREAL PROPERTY GROUP</b> 12861 DIXIE ROAD CALEDON, ONTARIO	
<b>DWG NAME</b> <b>LANDSCAPE PLAN</b>	<b>DWG NO.</b> <b>WL7</b>

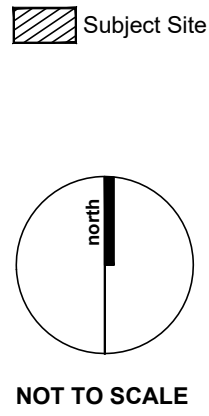
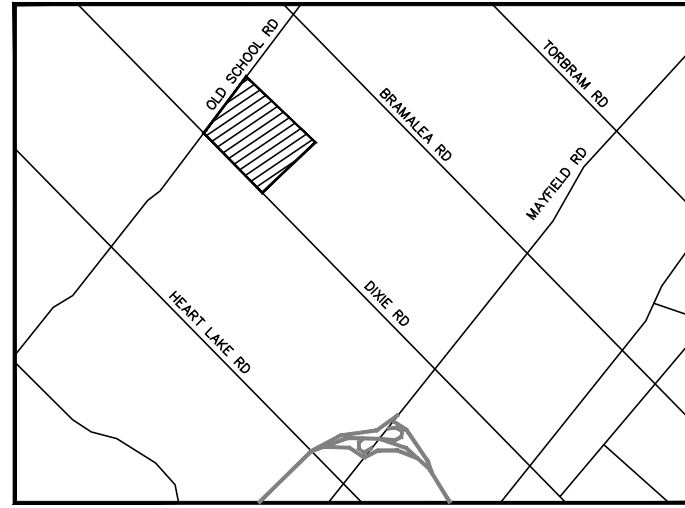








KEY PLAN



LEGEND

- |  |   |  |   |
|--|---|--|---|
|  | CONCRETE WALKWAY (SEE DETAIL 1/D/2)           |  | PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D/1)  |
|  | PROPOSED BENCH (SEE DETAIL 1/D/3)             |  | PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D/1) |
|  | PROPOSED PICNIC TABLE (SEE DETAIL 2/D/3)      |  | PERENNIAL AND SHRUB BED (SEE DETAIL 4/D/1)  |
|  | PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D/3)  |  | SODDED AREA(SEE DETAIL 1/D/1)               |
|  | PROPOSED BIKE RACK (SEE DETAIL 7/D/1)         |  | UNIT PAVING (SEE DETAIL 2/D/2)              |
|  | PROPOSED CLUSTER SEATING (SEE DETAIL 3/D/3)   |  | SWM SEED MIXTURE AREA                       |
|  | PROPOSED TRELLIS (SEE DETAIL 5/D/3)           |  | PING PONG TABLE (SEE DETAIL 3/D/2)          |
|  | 1.5 METER CHAIN LINK FENCE (SEE DETAIL 7/D/3) |  | TREE PROTECTION FENCE                       |
|  |   |  | 1.8 METER WOOD FENCE (SEE DETAIL 6/D/3)     |

GENERAL NOTES

- Do not scale the drawings. All dimensions are in millimeters unless noted otherwise.
- This drawing is to be read in conjunction with the overall master plan and engineering drawings prepared by the project engineer and site plans prepared by the project architect.
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- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
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- Plant quantities indicated on the plan supercede the quantities from the plant list (report any discrepancies to the landscape architect).
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of construction at no extra cost.
- This drawing is Copyright MHBC 2025.

4.	July 25, 2025	ISSUED FOR SUBMISSION	MB
3.	February 21, 2025	ISSUED FOR SUBMISSION	MB
2.	December 06, 2024	ISSUED FOR SUBMISSION	MB
1.	December 15, 2023	ISSUED FOR SUBMISSION	MB/RF

REVISION NO.	DATE	ISSUED / REVISION	BY
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PROJECT

QUADREAL PROPERTY GROUP  
12861 DIXIE ROAD  
CALEDON, ONTARIO

DATE  
NOV 2023

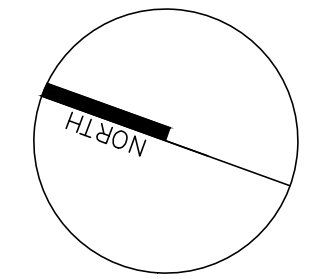
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OTHER



DWG NAME

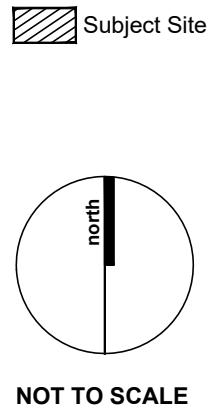
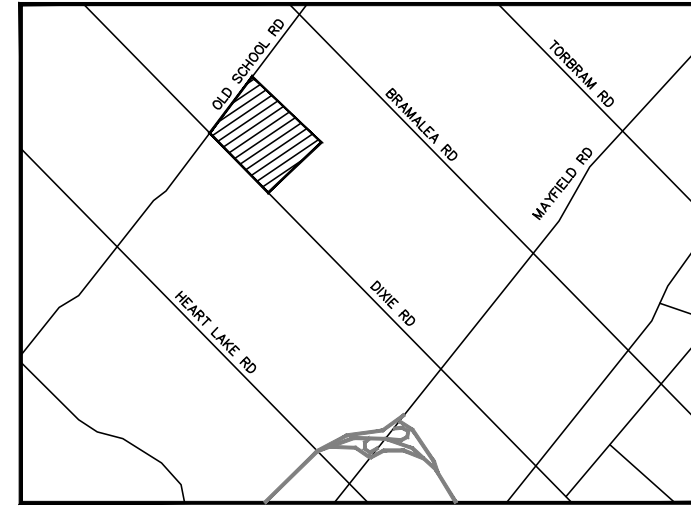
LANDSCAPE PLAN

DWG NO.

WL9



# KEY PLAN



## LEGEND

	CONCRETE WALKWAY (SEE DETAIL 1/D2)		PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D1)
	PROPOSED BENCH (SEE DETAIL 1/D3)		PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1)
	PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)		PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)
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	PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)		SWM SEED MIXTURE AREA
	PROPOSED TRELLIS (SEE DETAIL 5/D3)		PING PONG TABLE (SEE DETAIL 3/D3)
	1.5 METER CHAIN LINK FENCE (SEE DETAIL 7/D3)		TREE PROTECTION FENCE
			1.8 METER WOOD FENCE (SEE DETAIL 6/D3)

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REVISION NO.	DATE	ISSUED / REVISION	BY
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### PROJECT

QUADREAL PROPERTY GROUP  
12861 DIXIE ROAD  
CALEDON, ONTARIO

### DWG NAME

LANDSCAPE PLAN

DATE  
NOV 2023

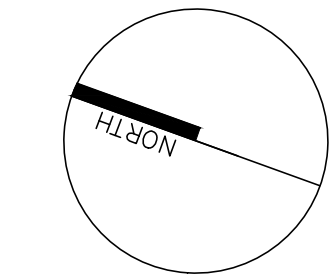
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1:500

FILE NO.  
181410

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GC

OTHER



### DWG NO.

WL10



## Standard Notes and Details

Page 17

Standard Notes to Industrial and Commercial Landscape Drawings may be modified to fit the drawing space. No changes are to be made to the text that in any way lessen the requirements.

### Landscape Notes

The following notes are to appear on the Landscape Drawings:

#### General

- These specifications are to be read in conjunction with the general conditions of the contract as prepared by and available at the office of MHBC Planning Urban Design & Landscape Architecture, Landscape Architect - Greg Costa
- Prior to commencing work, the contractor shall:
  - Familiarize themselves with the plans, details and specifications of this project;
  - Visit the site to ascertain and take account of existing conditions and any deviations from the plans in work by other; and,
  - Finalize all design alternatives in consultation with the Landscape Architect.
- Prior to excavating the contractor shall verify the location of all underground utilities. In the event of a conflict between a proposed tree location and an underground service, the exact location of the tree shall be determined on site by the Landscape Architect. The contractor shall, at his/her own expense, repair any damage to existing utilities, structures, facilities, etc. done in the performance of their work.

#### Soil Landscaping Plant Materials

- All plants shall be installed true to specified names, sizes, grades, etc. and shall conform to the standards of the Canadian Nursery Landscapes Association.
- All plants shall be nursery grown in a hardiness zone appropriate to site conditions, as published by Agriculture Canada, entitled 'Map of Plant Hardiness Zones in Canada'.
- In the event of a discrepancy in plant quantity between the landscape plan and the plant list, the landscape plan shall govern.
- The contractor shall make plants available for inspection by the Landscape Architect prior to shipping to the site. This does not limit the right of the Landscape Architect and/or Town's representative to later reject plant material that is of poor quality, damaged during shipping or installation, performing poorly while the guarantee period is still in effect, or otherwise does not conform to the specifications.
- Plant substitutions must be approved in writing by the owner, the Landscape Architect and the Town prior to delivery of the material on-site. The Landscape Architect may, upon completion of the work and notwithstanding prior approval at source, reject plant material not conforming to the specifications.
- The contractor shall use standard industry methods for planting trees. Trees shall be turned to give the best appearance. They shall also be guyed and staked immediately after planting and as detailed on the drawings.

#### Bed Preparation

- Prior to backfilling, scarify the sides and bottom of the excavated tree pits and shrub beds.
- Where heavy clay soil conditions prevail, backfill to the specified depths with:



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## Standard Notes and Details

Page 18

- 2 parts "Triple Mix" delivered to the site well-mixed with 1 part local topsoil (topsoil that was removed from the site and stockpiled; if unavailable, a topsoil with clay content must be imported)
- Tree pits must be constructed with saucers and mulch as detailed.
- Maintenance**
- Maintenance of all landscape installations throughout to include:
  - Proper irrigation to ensure optimum growth and development of installed plant material.
  - Cultivation, weeding and fertilization of the tree pits and planting beds.
  - Insect and disease control using 'Integrated Pest Management' practices.
  - Pruning and maintenance to further promote visibility and vitality of its intended use, as directed by the Landscape Architect or the Town.

#### Guarantee

- All plant materials shall be guaranteed for a minimum of 1 year from date of written Landscape Certification for Commencement of Plant Warranty as granted by the Town, and until final certification is granted by the Town. Plants which do not survive satisfactorily during the guarantee period shall be replaced at no extra cost to the owner. Plant material which is replaced due to unsatisfactory performance shall, in turn, be guaranteed for another minimum of 1 year, or until final certification is granted by the Town.
- Similarly, all other landscape work performed under this contract shall be fully guaranteed for the above specified period.
- All work shall be inspected at the end of the warranty period, at which time a final certificate will be issued by the Landscape Architect and submitted to the Town for their inspection, and approval of final certification, permitting release of site work securities.
- At the end of the guarantee period, the contractor shall remove all tree stakes, rodent guards and bark wrap and all extra mulch where necessary.

#### Acceptance

- Work will be accepted by the owner or their representative upon completion and at the end of the specified maintenance period, provided that all plant material is alive and in healthy growing conditions.
- Written preliminary and final certification must be submitted to the Town by the Landscape Architect. The Certifications shall be signed and stamped with the seal of the OALA.
- Preliminary Certification of the project shall serve as the start of the guarantee period.
- Final acceptance of the landscape works for this project is granted by the Town of Caledon upon conducting a satisfactory final site inspection
- Continued Responsibility of the Owner**  
The owner has a responsibility to maintain the approved landscape in a well cared for manner that promotes plant vitality and healthy appearance. Any declining or dead plants are to be replaced within the season to sustain a kept landscape. The owner is reminded that future site plan applications for this site will be reviewed with regard to the conformity of the existing landscaping to the approved Landscape Plan registered with the Town of Caledon.



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## GENERAL NOTES - LANDSCAPING

**NOTE 1**  
DEPICTED ON THIS PLAN ARE THE SPECIES AND THE APPROXIMATE LOCATION OF STREET TREE. ONCE DRIVEWAYS, UTILITIES AND LIGHT STANDARDS HAVE BEEN INSTALLED, THE EXACT LOCATION OF STREET TREES WILL BE DETERMINED ON SITE BY THE LANDSCAPE CONSULTANT AND APPROVED BY THE MUNICIPALITY PRIOR TO PLANTING.

**NOTE 2**  
MINIMUM CLEARANCES FOR STREET TREES (WHEN TREES ARE PLANTED 1.5M FROM THE CURB):  
2M FROM WATER HYDRANTS  
2M FROM DRIVEWAYS  
2M FROM NEIGHBOURHOOD MAILBOXES  
3M FROM HYDRO TRANSFORMERS  
3M FROM STREETLIGHTS  
15M MINIMUM FROM STREET LINE (STREET INTERSECTION AS MEASURED FROM BACK OF CURB) AND BEHIND THE DAYLIGHT TRIANGLE AS PER THE GEOMETRIC DESIGN STANDARDS FOR ONTARIO HIGHWAYS  
18M FROM FACE OF ALL WARNING AND REGULATORY SIGNS

**NOTE 3**  
THE TREE PITS AND PLANTING BEDS FOR ALL TREES AND SHRUBS LOCATED WITHIN 1 METRE OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.

TOWN OF CALEDON				APRD.	C.C.	DATE	APRIL 2000
GENERAL LANDSCAPING NOTES	2	TEXT REVISION, STD103 NOW 700			JAN 18	DRAWN	BJM
	1	STANDARD No. 130 NOW 103			JUNE 08	SCALE	NTS
	NO.	REVISION	APRD	DATE	STANDARD No. 700		

## GENERAL LANDSCAPE NOTES

## STANDARD LANDSCAPE NOTES

## SITE PLANT LIST

Key	qty.	Botanical Name	Common Name	Cal.	Ht./Sp.	Cond.	Notes
DECIDUOUS TREES							
AB	65	Acer nigrum	Black Maple	70 mm		W.B.	Planting in pot/shadow tolerant
AC	44	Acer saccharum	Sugar Maple	70 mm		W.B.	Planting in pot/shadow tolerant
ACM	42	Acer saccharum	Sugar Maple	50 mm		W.B.	Planting in pot/shadow tolerant
AR	60	Acer rubrum	Red Maple	70 mm		W.B.	Planting in pot/shadow tolerant
AS	37	Acer saccharinum	Silver Maple	70 mm		W.B.	Planting in pot/shadow tolerant
CO	12	Celtis occidentalis	Common Hackberry	70 mm		W.B.	Planting in pot/shadow tolerant
GB	11	Ginkgo biloba	Maidenhair Tree	70 mm		W.B.	Planting in pot/shadow tolerant
GTS	96	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	70 mm		W.B.	Planting in pot/shadow tolerant
PBF	118	Populus balsamifera	Balsam Poplar	70 mm		W.B.	Planting in pot/shadow tolerant
QM	64	Quercus macrocarpa	Bur Oak	70 mm		W.B.	Planting in pot/shadow tolerant
QR	115	Quercus rubra	Red Oak	70 mm		W.B.	Planting in pot/shadow tolerant
CONIFEROUS TREES							
PC	237	Picea pungens	Colorado Spruce	250cm		W.B.	Planting in pot/shadow tolerant
PG	119	Picea glauca	White Spruce	250cm		W.B.	Planting in pot/shadow tolerant
PS	139	Pinus strobus	White Pine	250cm		W.B.	Planting in pot/shadow tolerant
DECIDUOUS SHRUBS							
alv	480	Amelanchier laevis	Allegheny Serviceberry			3 gal. pot	Planting in pot/shadow tolerant
or	336	Cornus racemosa	Grey Dogwood			3 gal. pot	Planting in pot/shadow tolerant
pct	84	Prunus x cistena	Purple Leaf Sand Cherry			3 gal. pot	Planting in pot/shadow tolerant
rat	390	Rhus aromatica	Fragrant Sumac			3 gal. pot	Planting in pot/shadow tolerant
rb	435	Rosa blanda	Smooth Rose			3 gal. pot	Planting in pot/shadow tolerant
rc	743	Rosa carolina	Pasture Rose			3 gal. pot	Planting in pot/shadow tolerant
rt	620	Rhus typhina	Staghorn Sumac			3 gal. pot	Planting in pot/shadow tolerant
sca	477	Sambucus canadensis	American Elderberry			3 gal. pot	Planting in pot/shadow tolerant
sjm	96	Spiraea japonica 'Macrophylla'	Big Leaf Japanese Spirea			3 gal. pot	Planting in pot/shadow tolerant
EVERGREEN SHRUBS							
bgm	72	Buxus x 'Green Mound'	Green Mound Boxwood			3 gal. pot	Planting in pot/shadow tolerant
efe	72	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Wintercreeper			3 gal. pot	Planting in pot/shadow tolerant
jcm	132	Juniperus chinensis 'Mint Julep'	Mint Julep Juniper			3 gal. pot	Planting in pot/shadow tolerant
pm	24	Pinus mugo 'Aurea Fastigiata'	Mugo Pine			3 gal. pot	Planting in pot/shadow tolerant
tc	18	Taxus canadensis	Canada Yew			3 gal. pot	Planting in pot/shadow tolerant
GRASSES							
cak	648	Calamagrostis x acutiflora	Feather Reed Grass			1 gal. pot	Planting in pot/shadow tolerant
pvs	210	Panicum virgatum	Switchgrass			1 gal. pot	Planting in pot/shadow tolerant
PERENNIALS							
aa	72	Astilbe x arendsii 'Cattleya'	Cattleya Astilbe			1 gal. pot	Planting in pot/shadow tolerant
ana	1134	Aster novae-angliae	New England Aster			1 gal. pot	Planting in pot/shadow tolerant
ep	308	Echinacea purpurea	Coneflower			1 gal. pot	Planting in pot/shadow tolerant
ham	90	Hosta x 'August Moon'	August Moon Hosta			1 gal. pot	Planting in pot/shadow tolerant
ho	264	Heuchera x 'Guacamole'	Guacamole Coral Bells			1 gal. pot	Planting in pot/shadow tolerant
hpd	312	Heemerocallis x 'Purple de Oro'	Purple de Oro Daylily			1 gal. pot	Planting in pot/shadow tolerant
ms	102	Matteuccia struthiopteris	Ostrich Fern			1 gal. pot	Planting in pot/shadow tolerant
sy	489	Salvia yangii	Russian Sage			1 gal. pot	Planting in pot/shadow tolerant

## PLANT SCHEDULE SWMP PLANTING AREA

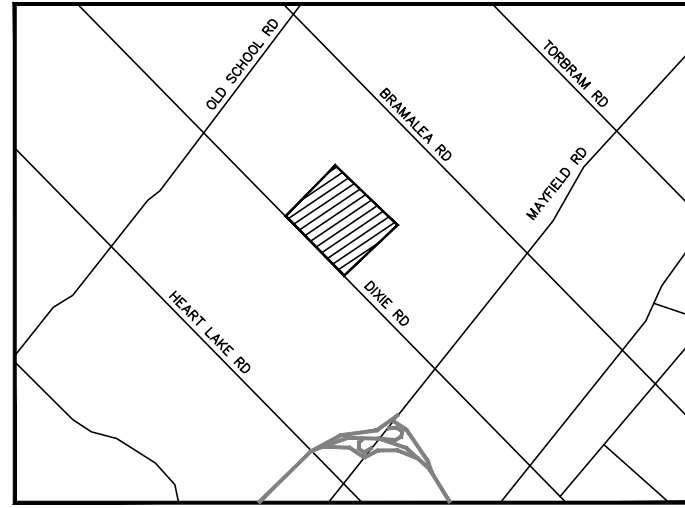
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	NATIVE	DRGHT TOL.
DECIDUOUS TREES							
ASW	28	ACER SACCHARINUM	SILVER MAPLE	---	WHIP	X	
BAW	5	BETULA ALLEGHAMENSIS	YELLOW BIRCH	---	WHIP	X	
PBW	25	POPULUS BALSAMIFERA	BALSAM POPLAR	---	WHIP	X	
PTW	25	POPULUS TREMULOIDES	QUAKING ASPEN	---	WHIP	X	
PEW	25	PRUNUS SEROTINA	BLACK CHERRY	---	WHIP	X	
QBW	20	QUERCUS BICOLOR	SWAMP WHITE OAK	---	WHIP	X	
SB	20	SALIX NIGRA	BLACK WILLOW	---	WHIP	X	
TAW	23	TILIA AMERICANA	AMERICAN LINDEN	---	WHIP	X	
171	SUBTOTAL:						

DECIDUOUS SHRUBS							
anu	175	ALNUS RUGOSA	SPECKLED ALDER	80CM HT.	POT	X	
cra	240	CORNUS RACEMOSA	GRAY DOGWOOD	80CM HT.	POT	X	
cs	210	CORNUS SERICEA	RED TWIG DOGWOOD	80CM HT.	POT	X	
rop	181	ROSA PALUSTRIS	SWAMP ROSE	80CM HT.	POT	X	
ro	178	RUBUS ODORATUS	FLOWERING RASPBERRY	80CM HT.	POT	X	
sax	178	SALIX CANDIDA	SAGELEAF WILLOW	80CM HT.	POT	X	
sd	151	SALIX DISCOLOR	PUSSY WILLOW	80CM HT.	POT	X	
sca	232	SAMBUCUS CANADENSIS	AMERICAN ELDERBERRY	80CM HT.	POT	X	
sa	263	SPIRAEA ALBA	WHITE MEADOWSWEET	80CM HT.	POT	X	
sab	237	SYMPHORICARPOS ALBUS	COMMON WHITE SNOWBERRY	80CM HT.	POT	X	X
ve	188	VIBURNUM EDULE	HIGHBUSH CRANBERRY	80CM HT.	POT	X	
vi	206	VIBURNUM LENTAGO	NANNYBERRY	80CM HT.	POT	X	
2.439	SUBTOTAL:						

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	NATIVE	DRGHT TOL.
SHRUB AREAS							
apa	651	ALISMA PLANTAGO-AQUATICA	MUD PLANTAIN	PL50	PLUG	X	
sag	744	SAGITTARIA LATIFOLIA	BROADLEAF ARROWHEAD	PL50	PLUG	X	
sav	575	SCIRPUS ATROVIRENS	DARK GREEN BULRUSH	PL50	PLUG	X	
sva	467	SCIRPUS VALIDUS	GREAT BULRUSH	PL50	PLUG	X	
typ	623	TYPHA LATIFOLIA	BROADLEAF CATTAIL	PL50	PLUG	X	
3.060	SUBTOTAL:						

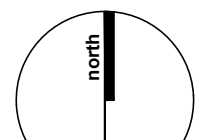
TOWN OF CALEDON  
PLANNING  
RECEIVED  
JUL 31, 2025

## KEY PLAN



Source: Region of Waterloo

Subject Site



NOT TO SCALE

## LEGEND

CONCRETE WALKWAY (36% OF THE ENTIRE LIGHT DUTY PAVEMENT) TO MEET CALEDON GREEN STANDARDS. INITIAL SOLAR REFLECTANCE OF 0.35 or SRI of 29 (SEE DETAIL 1/D2)	PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D1)
PROPOSED BENCH (SEE DETAIL 1/D3)	PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1)
PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)	PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)
PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D3)	SODDED AREA (SEE DETAIL 1/D1)
PROPOSED BIKE RACK (SEE DETAIL 7/D1)	UNIT PAVING (SEE DETAIL 2/D2)
PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)	TERRASEEDING AREA (SEE DETAIL 5/D2)
PROPOSED TRELLIS (SEE DETAIL 5/D3)	PING PONG TABLE (SEE DETAIL 4/D2)
1.5 METER CHAIN LINK FENCE (SEE DETAIL 6/D3)	TREE PROTECTION FENCE

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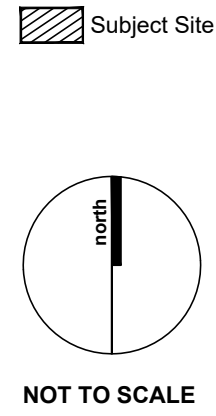
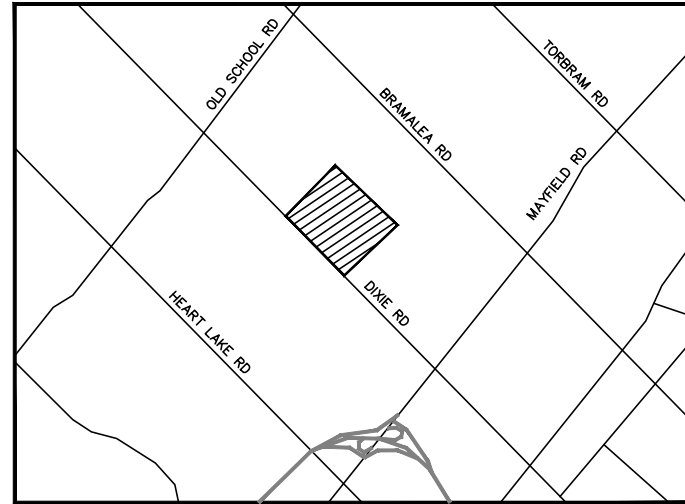
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& LANDSCAPE  
ARCHITECTURE

230-7050 WESTON ROAD WOODBRIDGE, ON, L4L 8G7 | P: 905 761 5588 F: 905 761 5589 | WWW.MHBCPLAN.COM

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<p>ISSUED FOR SPA ONLY NOT FOR CONSTRUCTION</p> <p>All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked 'Issued for Construction' and the professional seal is signed and dated by the landscape architect.</p>	DRAWN BY	MB
	PLAN SCALE	1:1500
	FILE NO.	18141M
CHECKED BY	GC	
OTHER		
PROJECT	<p>QUADREAL PROPERTY GROUP 12489 DIXIE ROAD CALEDON, ONTARIO</p>	
DWG NAME	LANDSCAPE NOTES	
DWG NO.	L0	



KEY PLAN



Source: Region of Waterloo

LEGEND

- |  |  |  |  |
|--|--|--|--|
|  | CONCRETE WALKWAY (36% OF THE ENTIRE LIGHT DUTY PAVEMENT) TO MEET CALEDON GREEN STANDARDS. INITIAL SOLAR REFLECTANCE OF 0.33 or SRI of 29 (SEE DETAIL 1/D2) |  | PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D1)  |
|  | PROPOSED BENCH (SEE DETAIL 1/D3)   |  | PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1) |
|  | PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)  |  | PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)  |
|  | PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D3)  |  | SODDED AREA(SEE DETAIL 1/D1)               |
|  | PROPOSED BIKE RACK (SEE DETAIL 7/D1)   |  | UNIT PAVING (SEE DETAIL 2/D2)              |
|  | PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)   |  | TERRASEEDING AREA(SEE DETAIL 5/D2)         |
|  | PROPOSED TRELLIS (SEE DETAIL 5/D3)   |  | PING PONG TABLE (SEE DETAIL 4/D2)          |
|  | 1.5 METER CHAIN LINK FENCE (SEE DETAIL 6/D3)   |  | TREE PROTECTION FENCE                      |

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2.	July 25, 2025	ISSUED FOR SUBMISSION	MB
1.	February 20, 2025	ISSUED FOR SUBMISSION	MB/RF

REVISION NO.	DATE	ISSUED / REVISION	BY
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PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

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PROJECT

QUADREAL PROPERTY GROUP  
12489 DIXIE ROAD  
CALEDON, ONTARIO

DATE  
FEB 2025

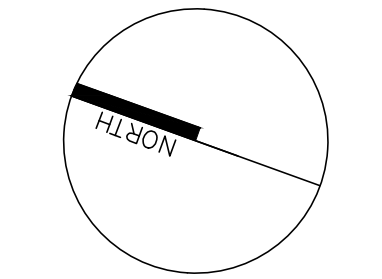
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MB

PLAN SCALE  
1:1500

FILE NO.  
18141M

CHECKED BY  
GC

OTHER



DWG NAME

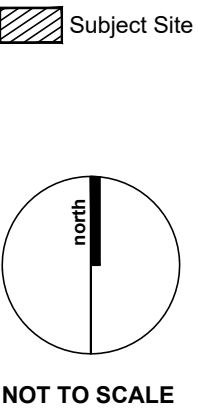
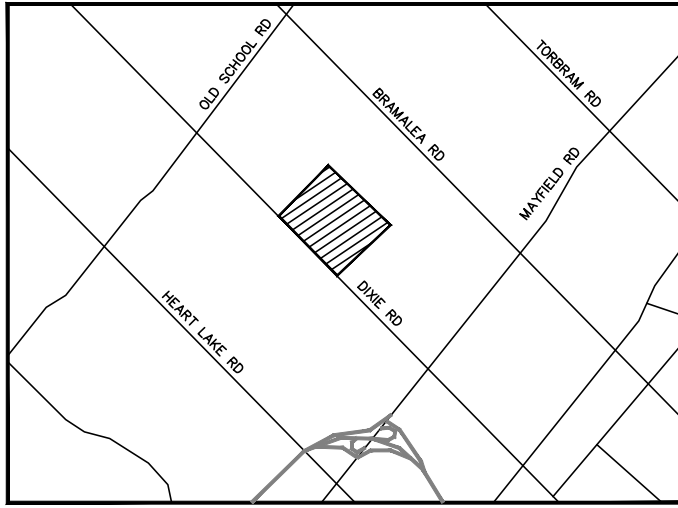
LANDSCAPE PLAN

DWG NO.

L1



KEY PLAN



Source: Region of Waterloo

LEGEND

- |  |  |  |  |
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PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

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PROJECT

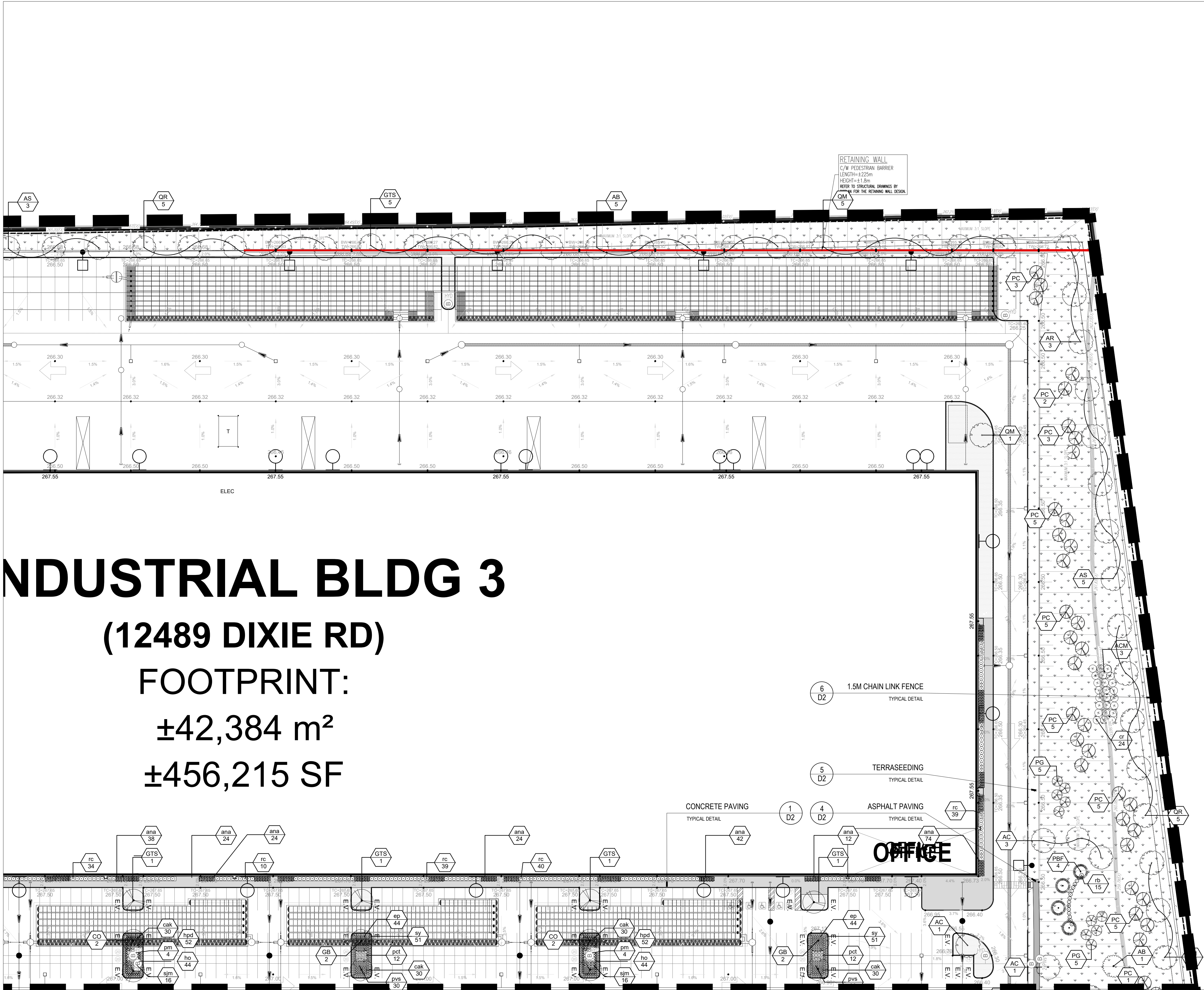
QUADREAL PROPERTY GROUP  
12489 DIXIE ROAD  
CALEDON, ONTARIO

DWG NAME

LANDSCAPE PLAN

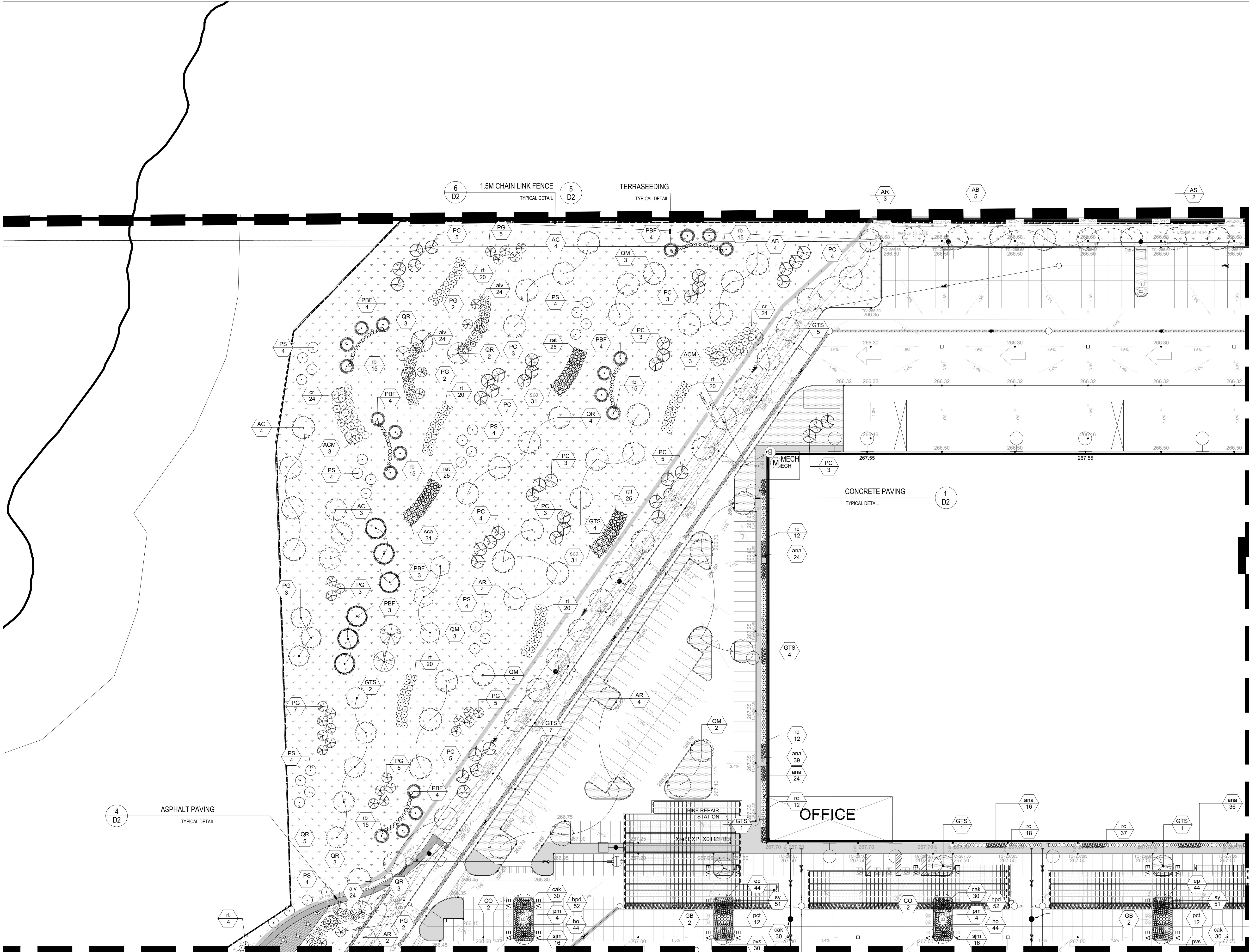
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EL2

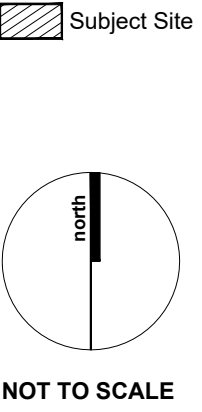
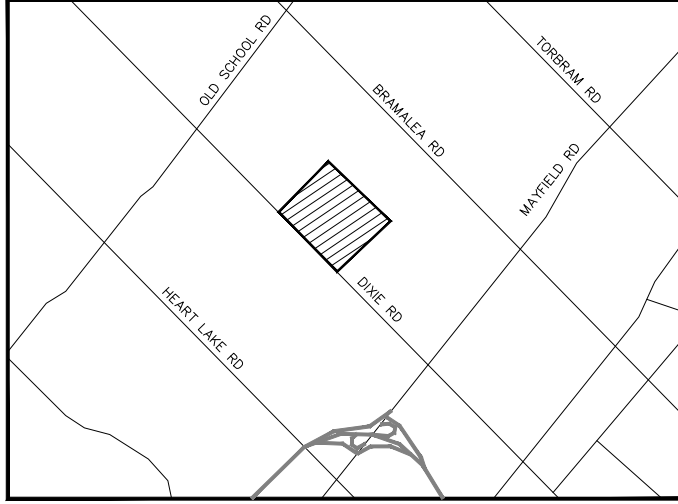


INDUSTRIAL BLDG 3  
(12489 DIXIE RD)  
FOOTPRINT:  
±42,384 m<sup>2</sup>  
±456,215 SF





KEY PLAN



LEGEND

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- PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)
- PROPOSED TRELLIS (SEE DETAIL 5/D3)
- 1.5 METER CHAIN LINK FENCE (SEE DETAIL 6/D3)
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- TERRASEEDING AREA (SEE DETAIL 5/D2)
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URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE**

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	8141M	PLAN SCALE	1:500
	18141M	FILE NO.	
	GC	CHECKED BY	
		OTHER	
PROJECT	QUADREAL PROPERTY GROUP 12489 DIXIE ROAD CALEDON, ONTARIO		
DWG NAME	LANDSCAPE PLAN	DWG NO.	EL3

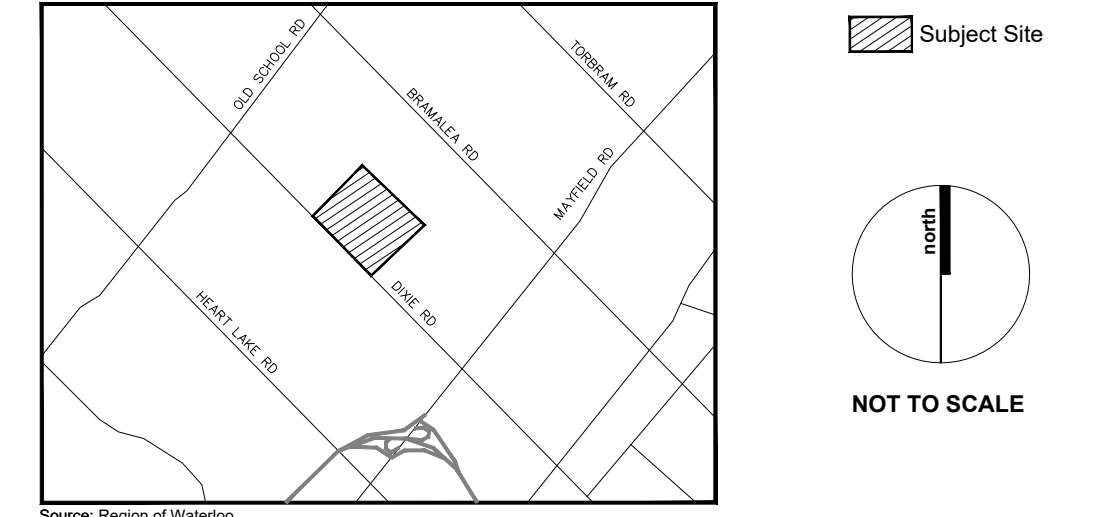


# NATURAL HERITAGE AREA















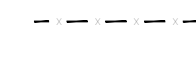

# INFRASTRUCTURE AREA

TOWN OF CALEDON  
PLANNING  
RECEIVED  
Jul 31, 2025

## KEY PLAN



## LEGEND

- # LEGEND
- |   |   |   |  |
|---|---|---|--|
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|  | PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/03)   |  | SODDED AREA(SEE DETAIL 1/01)               |
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<b>REVISION NO.</b>	<b>DATE</b>	<b>ISSUED / REVISION</b>	<b>BY</b>



PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

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PROJECT
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QUADREAL PROPERTY GROUP  
12489 DIXIE ROAD  
CALEDON, ONTARIO

DWG NAME
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LANDSCAPE PLAN

DATE FEB 2025

DRAWN BY MB

PLAN SCALE 1:500

FILE NO.	18141M
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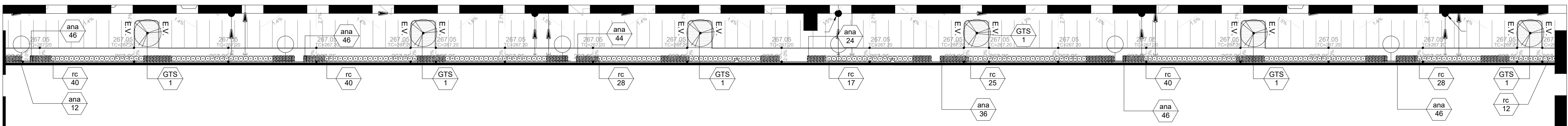
HECKED BY

OTHER

WG NO.

#### EL4





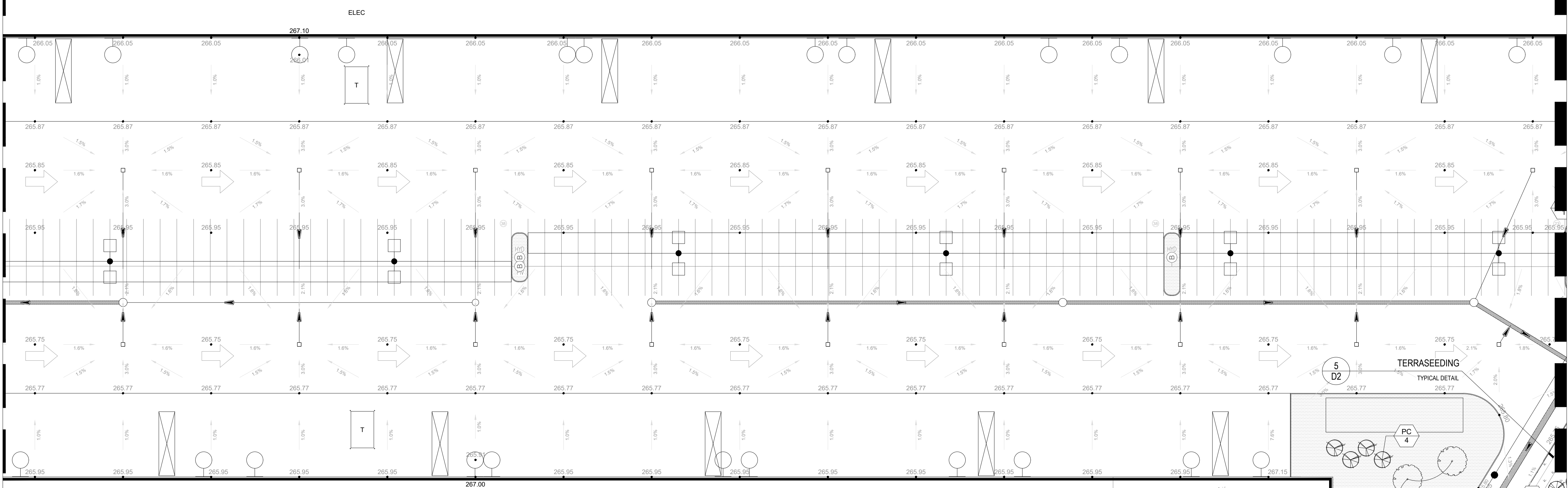
# INDUSTRIAL BLDG 2

(12489 DIXIE RD)

FOOTPRINT:

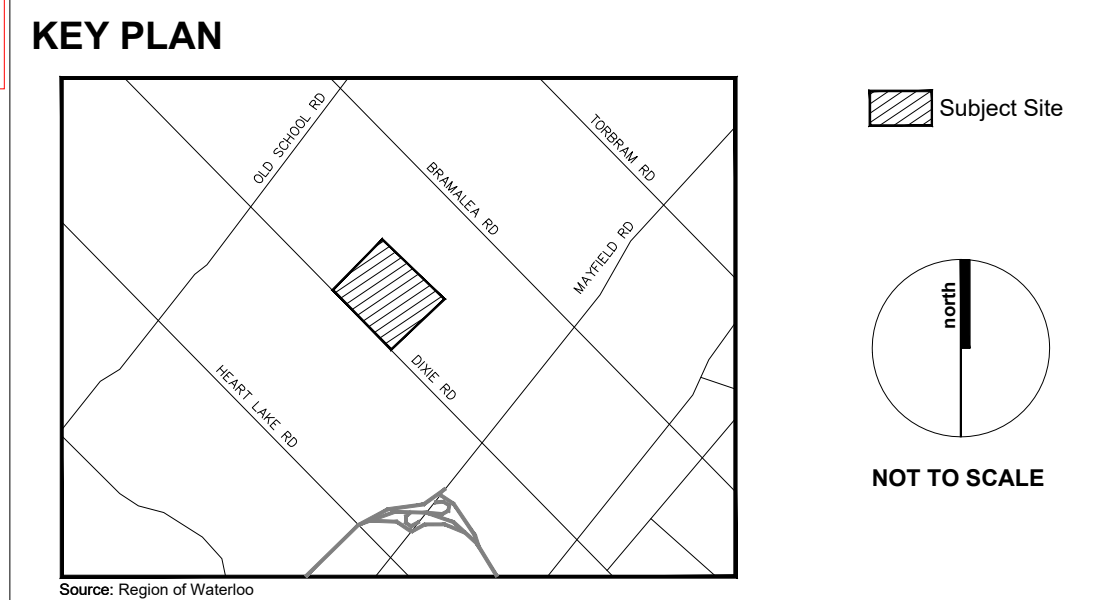
±49,269 m<sup>2</sup>

±530,331 SF



# INDUSTRIAL BLDG 1

(12489 DIXIE RD)



LEGEND	
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	TREE PROTECTION FENCE

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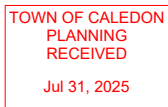
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**PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE**

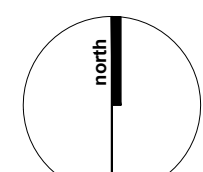
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	FILE NO.	18141M
	CHECKED BY	GC
PROJECT	OTHER	
QUADREAL PROPERTY GROUP 12489 DIXIE ROAD CALEDON, ONTARIO		
DWG NAME	DWG NO.	EL5
LANDSCAPE PLAN		

















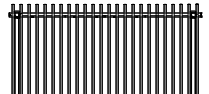




A map showing the proposed site location. The site is marked with a hatched rectangle. Surrounding roads include DO 2000'S RD, SHANALEA RD, DORRAN RD, MAYFIELD RD, and SEARL LAKE RD. A lake is shown at the bottom of the map.

 Subject Site

**NOT TO SCALE**

# LEGEND

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2.	July 25, 2025	ISSUED FOR SUBMISSION	MB
1.	February 20, 2025	ISSUED FOR SUBMISSION	MB/R
<b>REVISION NO.</b>	<b>DATE</b>	<b>ISSUED / REVISION</b>	<b>BY</b>



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URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

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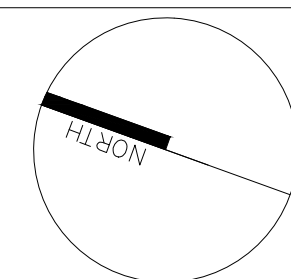
PROJECT

QUADREAL PROPERTY GROUP  
12489 DIXIE ROAD  
CALEDON, ONTARIO

DWG NAME

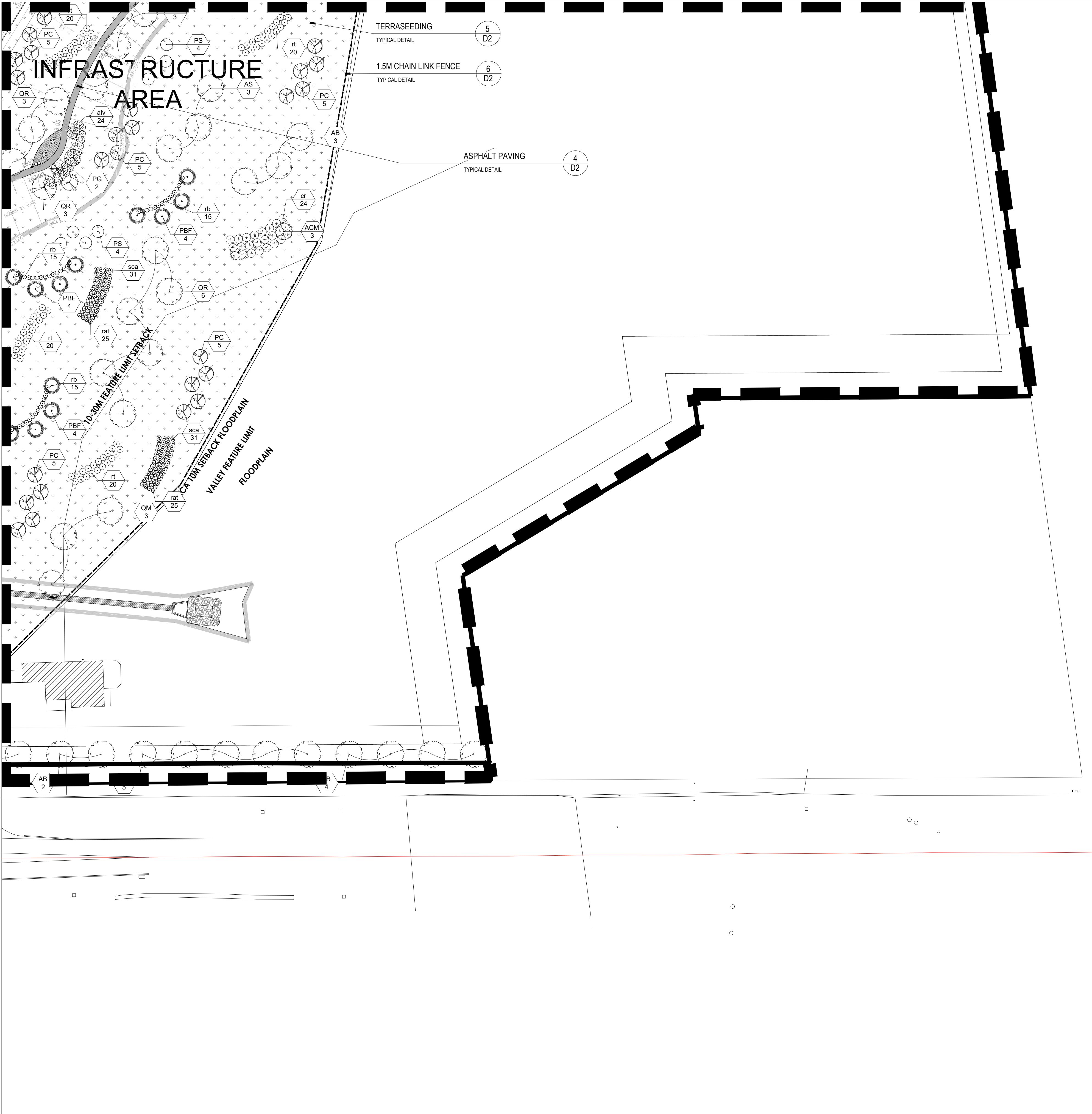
**LANDSCAPE PLAN**

DATE	FEB 2025
DRAWN BY	MB
PLAN SCALE	1:500
FILE NO.	18141M
CHECKED BY	GC
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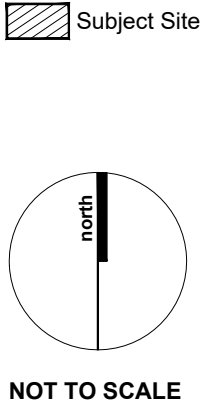
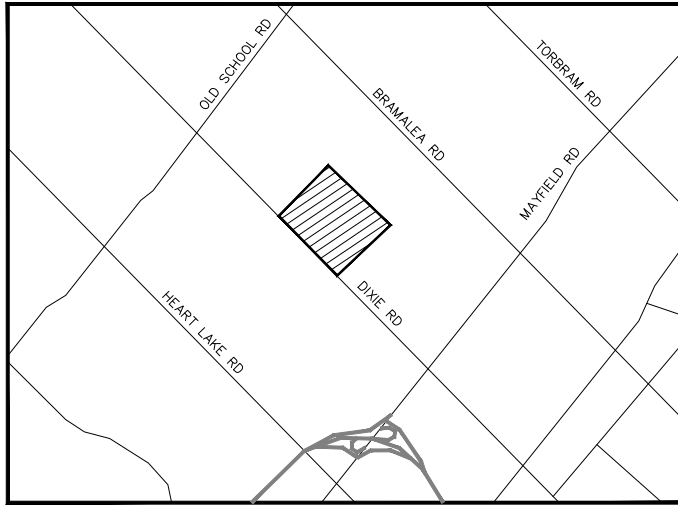
DWG NO.	EL6
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TOWN OF CALEDON  
PLANNING  
RECEIVED  
Jul 31, 2025

KEY PLAN



LEGEND

- CONCRETE WALKWAY (36% OF THE ENTIRE LIGHT DUTY PAVEMENT) TO MEET CALEDON GREEN STANDARDS. INITIAL SOLAR REFLECTANCE OF 0.33 or SRI of 29 (SEE DETAIL 1/D2)
- PROPOSED BENCH (SEE DETAIL 1/D3)
- PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)
- PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D3)
- PROPOSED BIKE RACK (SEE DETAIL 7/D1)
- PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)
- PROPOSED TRELLIS (SEE DETAIL 5/D3)
- 1.5 METER CHAIN LINK FENCE (SEE DETAIL 6/D3)
- PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D1)
- PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1)
- PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)
- SODDED AREA (SEE DETAIL 1/D1)
- UNIT PAVING (SEE DETAIL 2/D2)
- TERRACE SEEDING AREA (SEE DETAIL 5/D2)
- PING PONG TABLE (SEE DETAIL 4/D2)
- TREE PROTECTION FENCE

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REVISION NO.	DATE	ISSUED / REVISION	BY

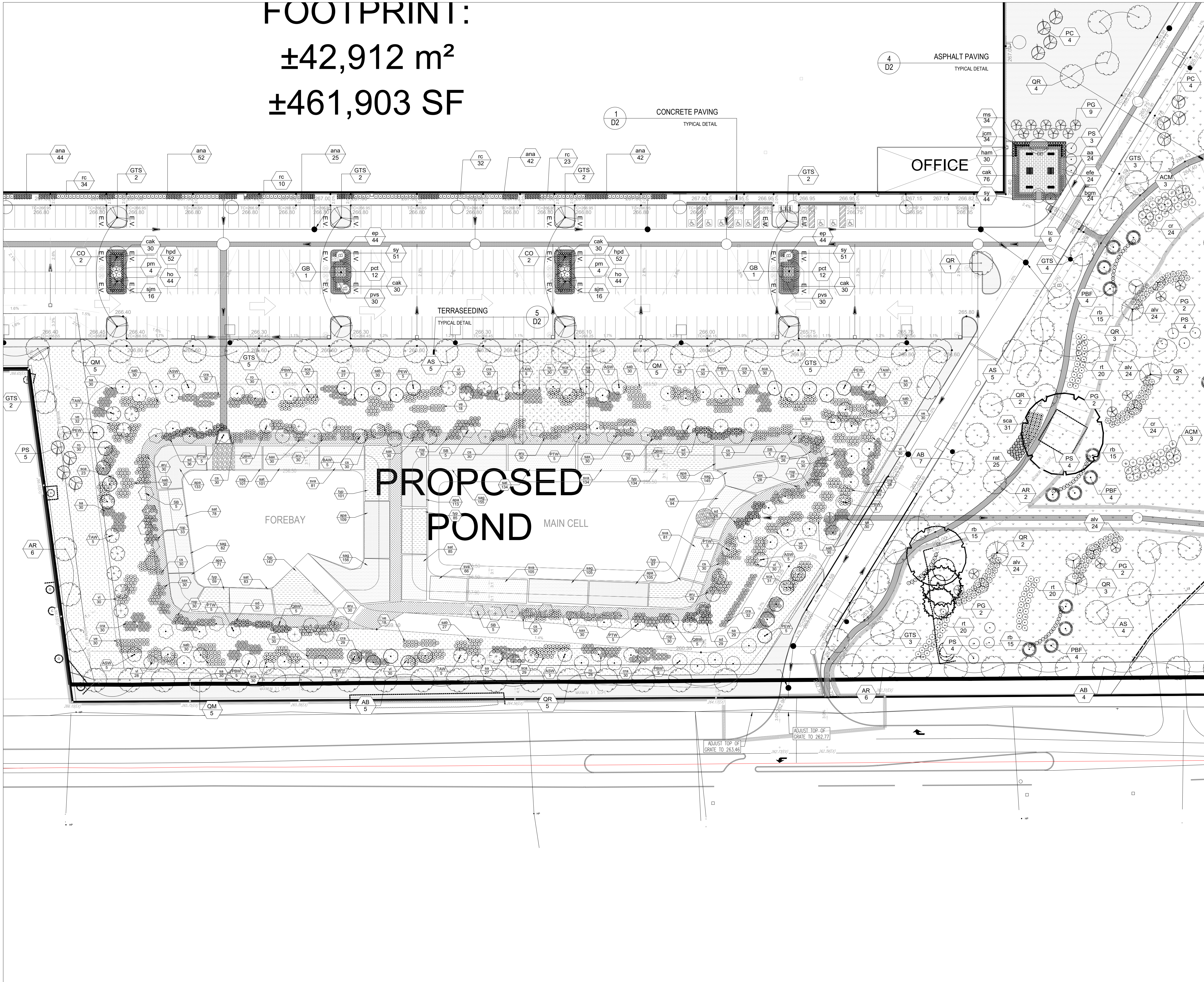


PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

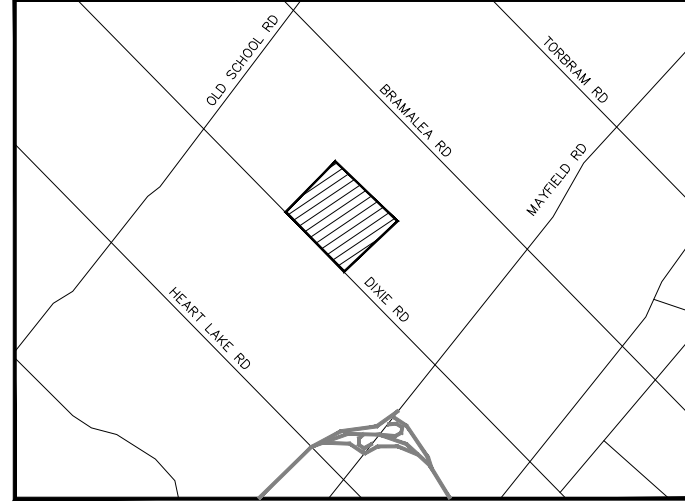
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<div>STAMP</div> <div></div> <div>ISSUED FOR SPA ONLY NOT FOR CONSTRUCTION</div> <div><small>All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked 'Issued for Construction' and the professional seal is signed and dated by the landscape architect.</small></div> <div>PROJECT</div> <div>QUADREAL PROPERTY GROUP 12489 DIXIE ROAD CALEDON, ONTARIO</div> <div>DWG NAME</div> <div>LANDSCAPE PLAN</div>	DATE	FEB 2025
	DRAWN BY	MB
	PLAN SCALE	1:500
	FILE NO.	18141M
	CHECKED BY	GC
	OTHER	
	<div>PROJECT</div> <div>QUADREAL PROPERTY GROUP 12489 DIXIE ROAD CALEDON, ONTARIO</div> <div>DWG NAME</div> <div>LANDSCAPE PLAN</div>	
	DWG NO.	EL7





KEY PLAN



Source: Region of Waterloo

LEGEND

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- PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)
- SODDED AREA (SEE DETAIL 1/D1)
- UNIT PAVING (SEE DETAIL 2/D2)
- TERRASEEDING AREA (SEE DETAIL 5/D2)
- PING PONG TABLE (SEE DETAIL 4/D2)
- TREE PROTECTION FENCE
- PROPOSED BENCH (SEE DETAIL 1/D3)
- PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)
- PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D3)
- PROPOSED BIKE RACK (SEE DETAIL 7/D1)
- PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)
- PROPOSED TRELLIS (SEE DETAIL 5/D3)
- 1.5 METER CHAIN LINK FENCE (SEE DETAIL 6/D3)

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PROJECT

QUADREAL PROPERTY GROUP  
12489 DIXIE ROAD  
CALEDON, ONTARIO

DWG NAME

LANDSCAPE PLAN

DATE  
FEB 2025

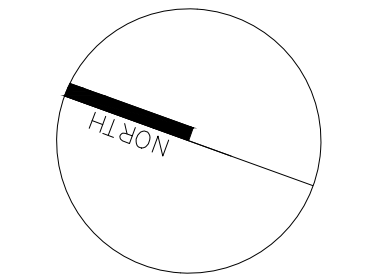
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1:500

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18141M

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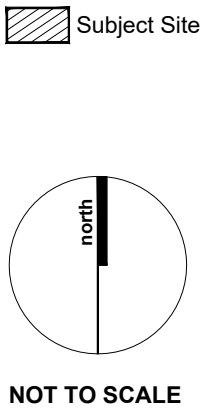
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











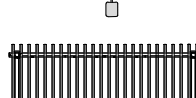



EL8





**NOT TO SCALE**

## LEGEND

- |   |  |   |  |
|---|--|---|--|
|  | MEET CALEDON GREEN STANDARDS. INITIAL SOLAR REFLECTANCE OF 0.33 or SRI of 29 (SEE DETAIL 1/02) |  | PROPOSED DECIDUOUS TREE (SEE DETAIL 2/D1)  |
|  | PROPOSED BENCH (SEE DETAIL 1/03)   |  | PROPOSED CONIFEROUS TREE (SEE DETAIL 3/D1) |
|  | PROPOSED PICNIC TABLE (SEE DETAIL 2/D3)  |  | PERENNIAL AND SHRUB BED (SEE DETAIL 4/D1)  |
|  | PROPOSED TRASH RECEPTACLE (SEE DETAIL 4/D3)  |  | SODDED AREA(SEE DETAIL 1/01)               |
|  | PROPOSED BIKE RACK (SEE DETAIL 7/D1)   |  | UNIT PAVING (SEE DETAIL 2/D2)              |
|  | PROPOSED CLUSTER SEATING (SEE DETAIL 3/D3)   |  | TERRASEEDING AREA(SEE DETAIL 5/D2)         |
|  | PROPOSED TRELLIS FENCE (SEE DETAIL 5/D3)   |  | PING PONG TABLE (SEE DETAIL 4/D2)          |
|  | 1.5 METER CHAIN LINK FENCE (SEE DETAIL 6/D3)   |  | TREE PROTECTION FENCE                      |

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<b>REVISION NO.</b>	<b>DATE</b>	<b>ISSUED / REVISION</b>	<b>BY</b>



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PROJECT

QUADREAL PROPERTY GROUP  
12489 DIXIE ROAD  
CALEDON, ONTARIO

DWG NAME

## LANDSCAPE PLAN

DATE FEB 2025

DRAWN BY MB

PLAN SCALE 1:500

FILE NO. 18141M

CHECKED BY GC

OTHER

NORTH

( )

DWG NO.

**EL9**



LANDSCAPE SPECIFICATIONS:

All sod shall conform to the standards of the Nursery Sod Growers Association of Ontario. All sodded areas shall be prepared with a minimum of 100mm of topsoil and sodded with #1 bluegrass - fescue nursery sod. On slopes, lay the turf pieces horizontally across the slope, starting at the bottom. For areas with a 2:1 slope or greater stake sod to hold in place with 1/2" x 12" pegs at two-foot spacings.

Unless soil tests suggest otherwise, fertilizer shall be applied as follows:  
Sodded areas: 11-8-4 (11% nitrogen, 8% phosphorous, 4% potash) at 4.5 kg/m2.  
Planting beds: 7-7-7 (7% nitrogen, 7% phosphorous, 7% potash) at 0.12 kg/m3, and bone meal at 0.58 kg/m3 of planting soil mixture as outlined below.

All planting beds are to be continuous, and excavated to a minimum depth of 600mm unless noted otherwise. Planting beds are to be filled with a soil mixture composed of 50-60% sand, 20-40% silt, 6-10% clay, and 2-5% organic material, with a pH of 7.5 or less. Sandy loam soil must be topped with a minimum 150mm of minimum 2 year old woodchip mulch. Apply mulch in two lifts. Dig-in the first lift with the sandy loam soil.

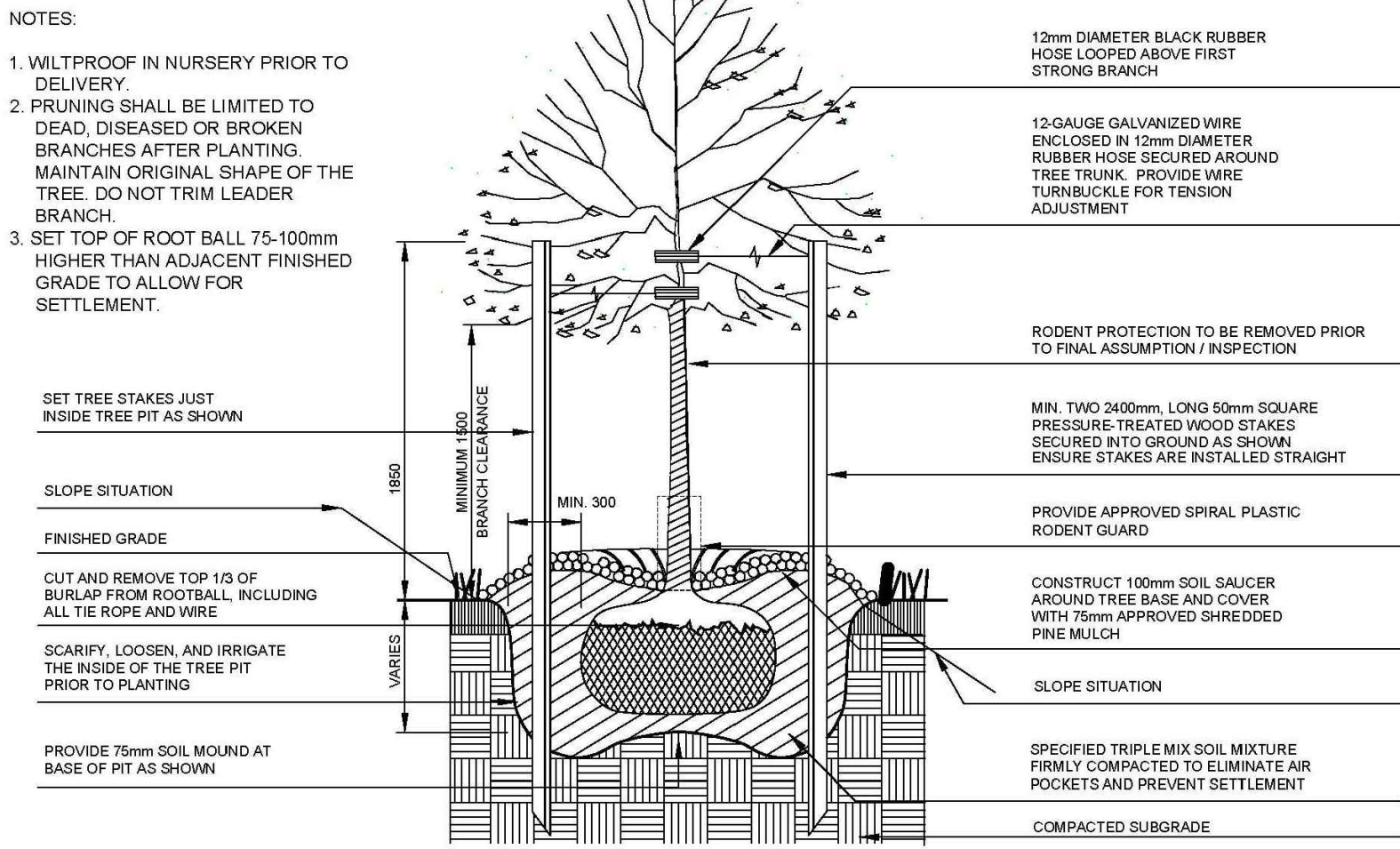
All plant material shall conform to the standards of the Canadian Nursery Trades Association. All plant material is to be clay grown stock. Install all plant material as shown on the planting plan and details. Use only viable nursery stock grown in strict accordance with proper horticultural practices which is free from damage, pests, and disease.

All beds are to be covered with a 75mm depth of clean, shredded pine bark mulch by Gro-Bark or approved equal unless noted otherwise. Guying and staking of trees shall conform to the planting details. Wrap all deciduous trees as per the specifications of the Ontario Landscape Contractors Association.

The contractor will observe proper maintenance procedures for all newly constructed landscape work as per Section 1E (Maintenance Work) of Landscape Ontario's specifications. Unless otherwise noted, this will apply during the construction period only. The contractor shall maintain all planting and sodding until final acceptance is granted by the Landscape Architect.

The contractor will be responsible for the protection of all plant material from damages resulting from winter conditions as well as rodents during the warranty period. Apply "Skoot" rodent deterrent formula (or approved equal) to all coniferous trees and all shrubs in late October as per manufacturer's directions.

The contractor shall provide a full one year guarantee (or two years if required by the municipality or owner) on all landscape works, beginning on the date that final acceptance is granted by the Landscape Architect.

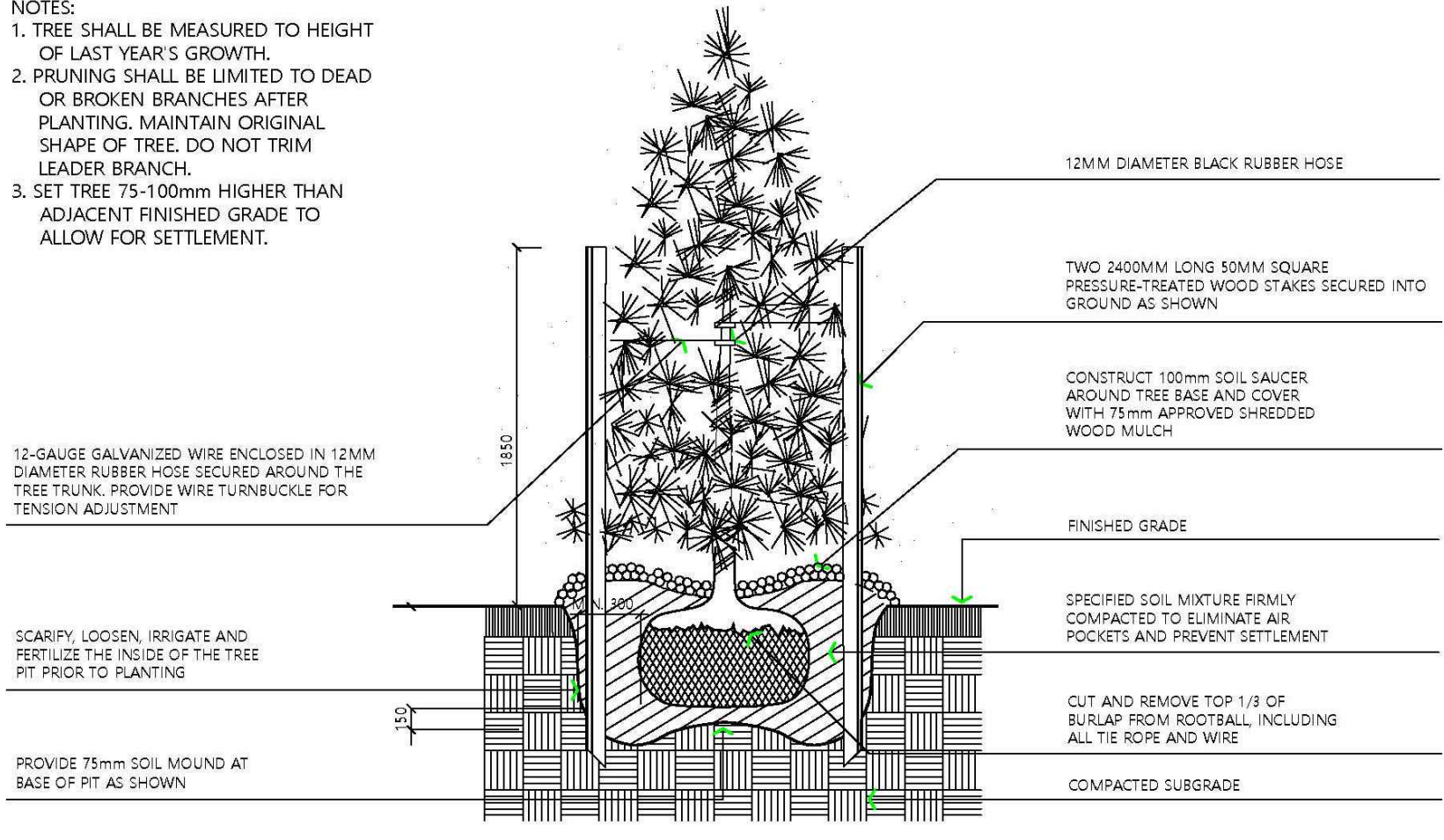


TOWN OF CALEDON					
2	STANDARD No. 700 NOW 800	JAN 18	APRD: B.B.	DATE: JUNE 08	SCALE: NTS
1	STANDARD No. 1100 NOW 700	JUNE 08	DRAWN: abal		
NO.	REVISION	APRD	DATE	STANDARD No. 800	

DECIDUOUS TREE PLANTING

2 DECIDUOUS TREE PLANTING - ON GRADE

NTS  
DETAIL-FILE



TOWN OF CALEDON					
2	STANDARD No. 701 NOW 801	APR 19	APRD: C.C.	DATE: JUNE 08	SCALE: NTS
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NO.	REVISION	APRD	DATE	STANDARD No. 801	

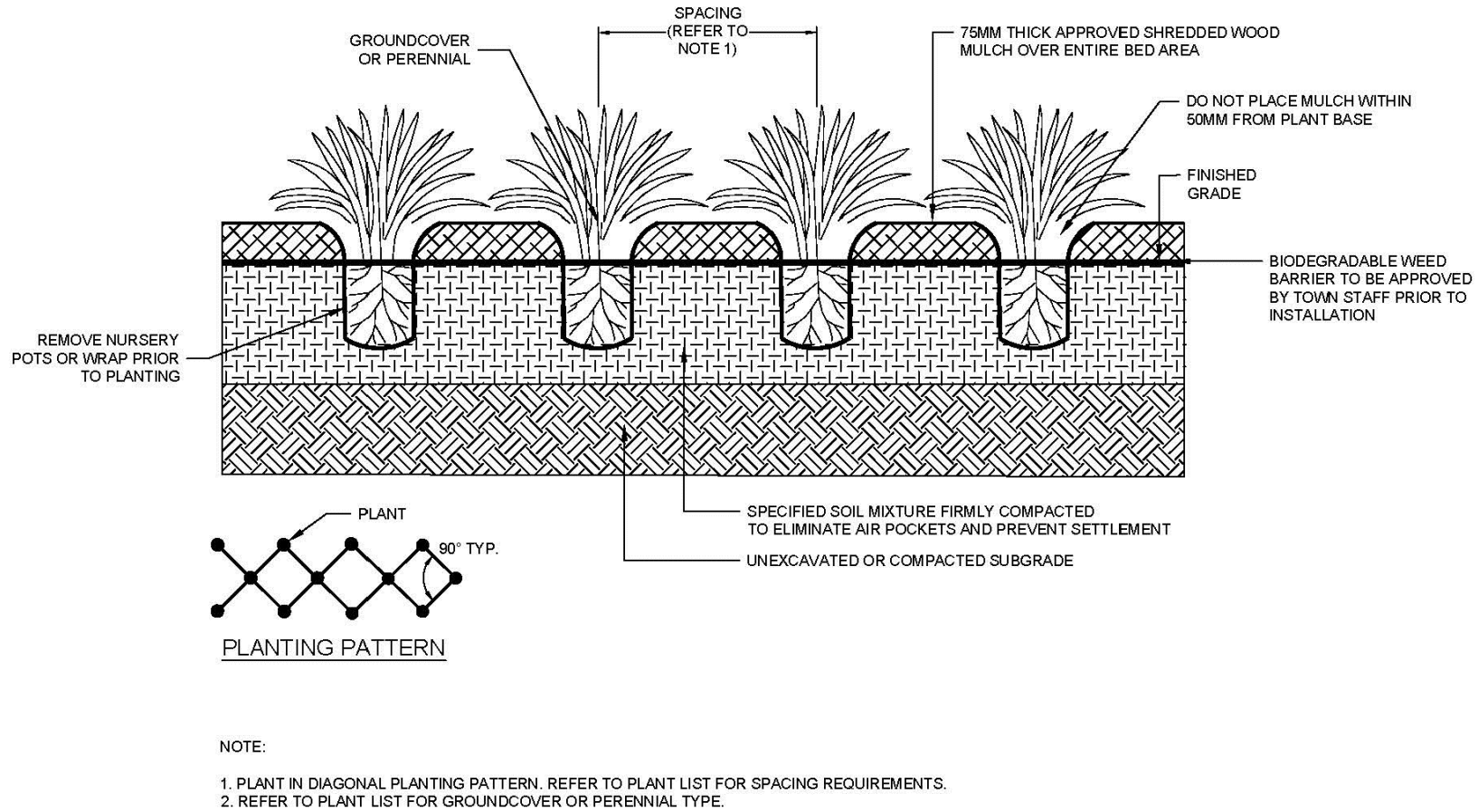
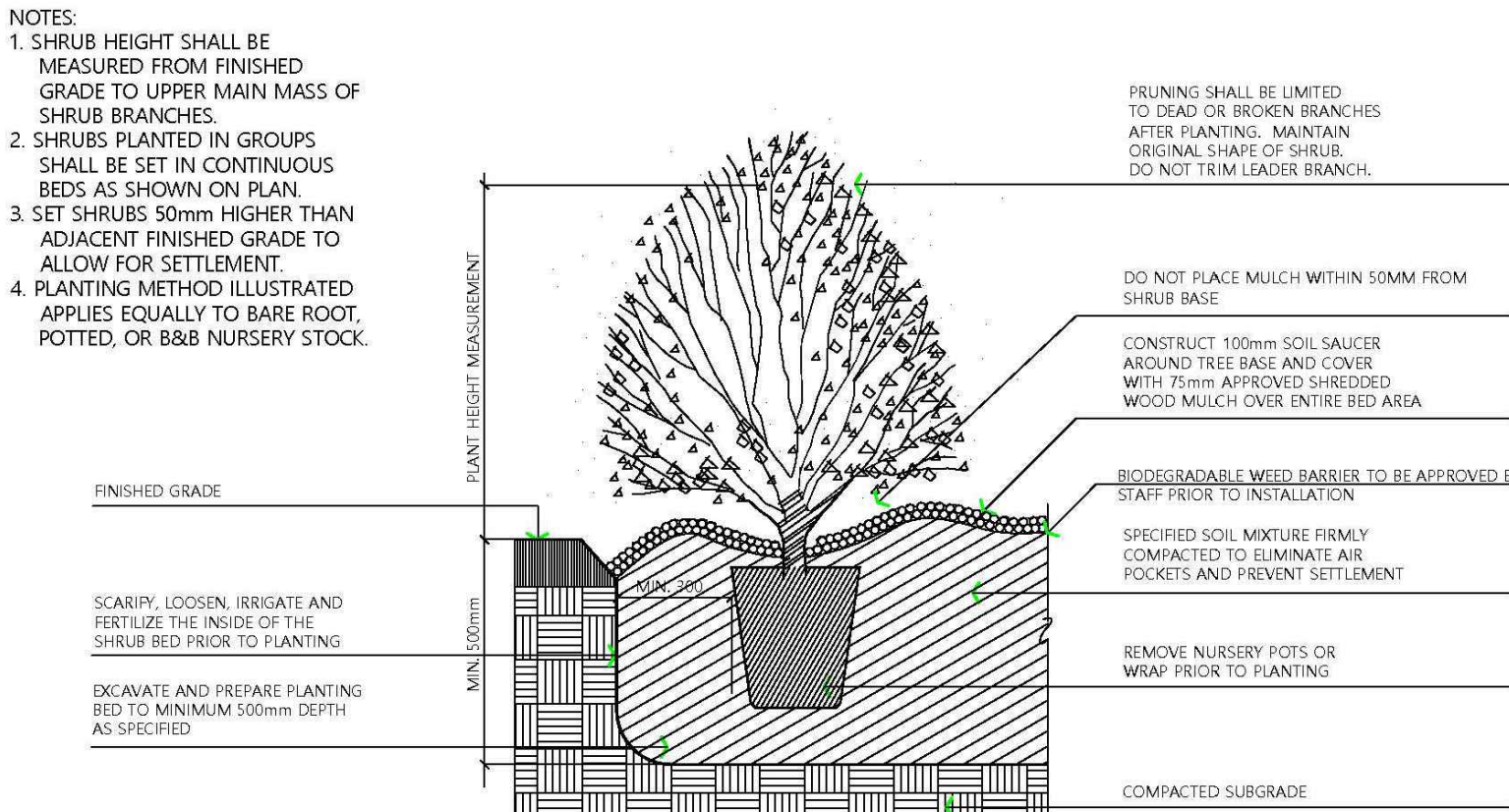
CONIFEROUS TREE PLANTING

3 CONIFEROUS TREE PLANTING - ON GRADE

NTS  
DETAIL-FILE

1 LANDSCAPE SPECIFICATIONS

NTS  
P-WD-ABE-04



TOWN OF CALEDON					
3	STANDARD No. 702 NOW 802	APR 19	APRD: B.B.	DATE: AUGUST 17	SCALE: N.T.S.
2	STANDARD No. 1110 NOW 702	JUNE 08	DRAWN: B.M.		
1	WEED BARRIER ADDED	MARCH 08			
NO.	REVISION	APRD	DATE	STANDARD No. 803	

GROUNDCOVER AND PERENNIAL PLANTING DETAIL

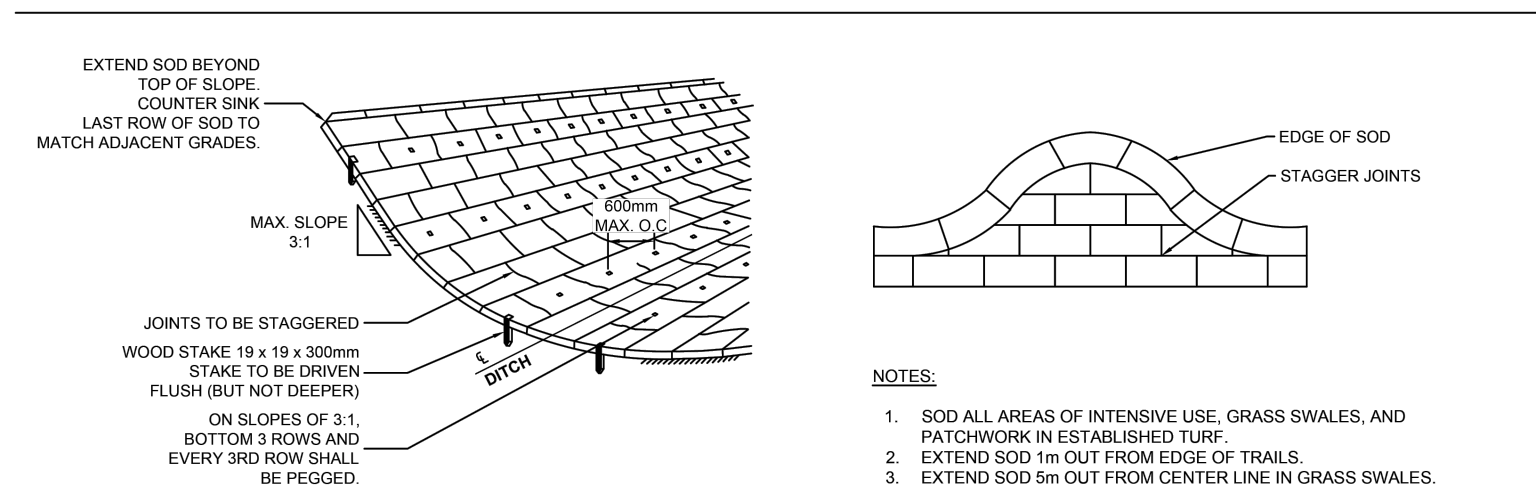
5 PERENNIAL PLANTING – ON GRADE

NTS  
DETAIL-FILE

SPECIFICATIONS

Sod

Minimum soil depth of 300mm of clean topsoil.  
Kentucky Bluegrass, Certified No. 1 grade turf grass nursery sod, as per the Ontario Sod Growers Association of Ontario.



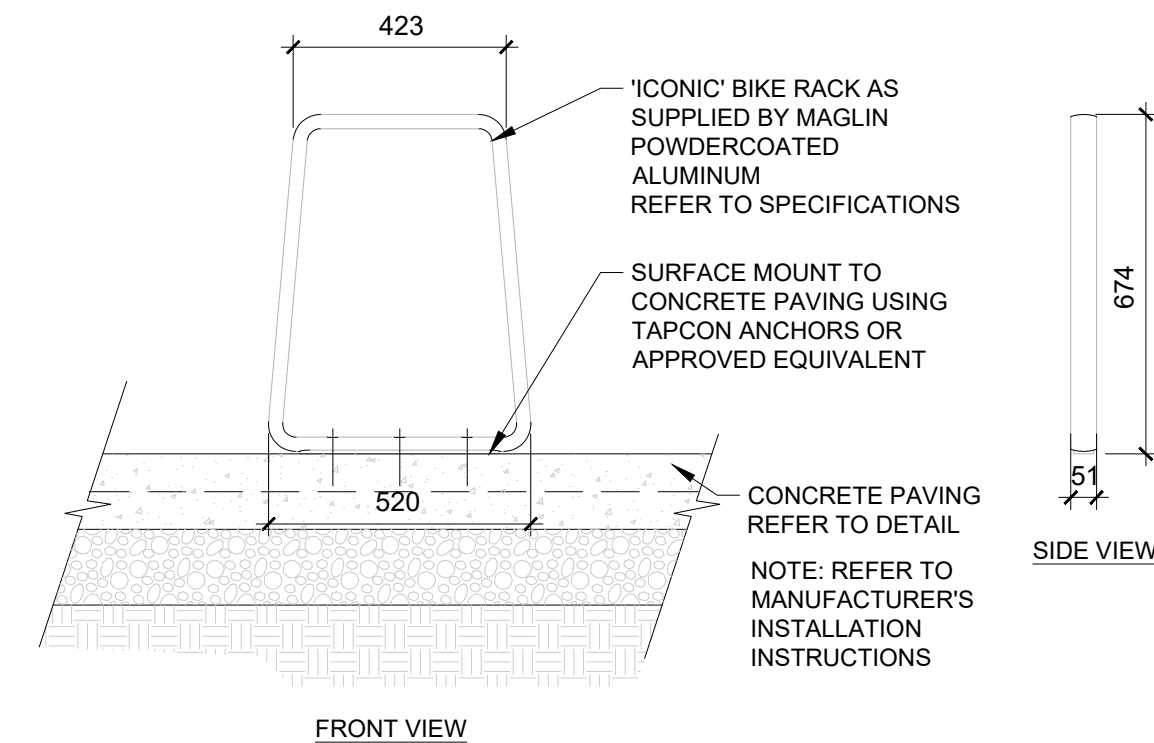
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1	WEED BARRIER ADDED	MARCH 08			
NO.	REVISION	APRD	DATE	STANDARD No. 709	

SOD INSTALLATION DETAIL

6 SOD

4 SHRUB PLANTING(ON GRADE)

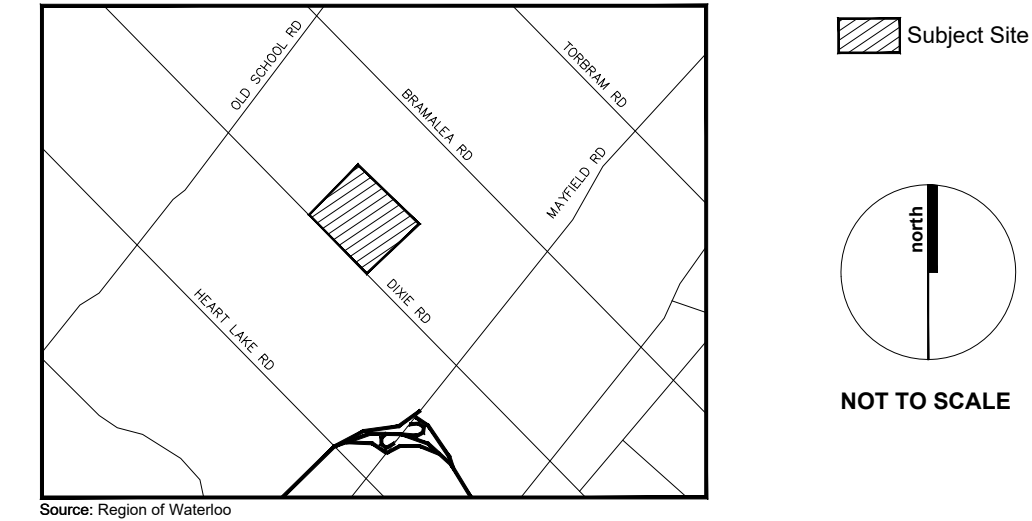
NTS  
DETAIL-FILE



7 BICYCLE RACK

1:15  
P-WD-ABE-14

KEY PLAN



LEGEND

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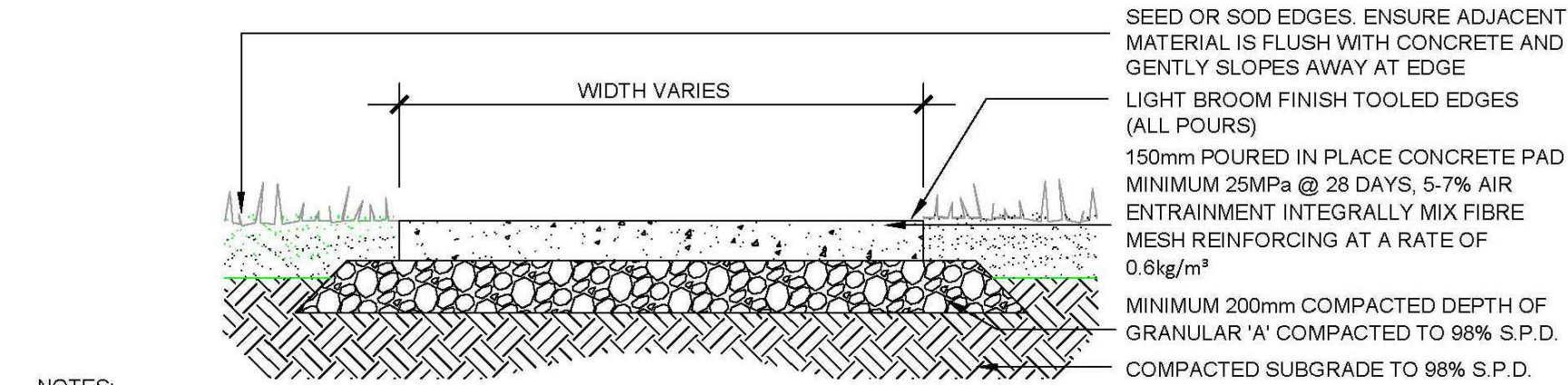
REVISION NO.	DATE	ISSUED / REVISION	BY
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STAMP		DATE	FEB 2025
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		PLAN SCALE	AS NOTED
		FILE NO.	18141M
		CHECKED BY	GC
		OTHER	
PROJECT	QUADREAL PROPERTY GROUP 12489 DIXIE ROAD CALEDON, ONTARIO		
DWG NAME	LANDSCAPE DETAILS		
DWG NO.	D1		





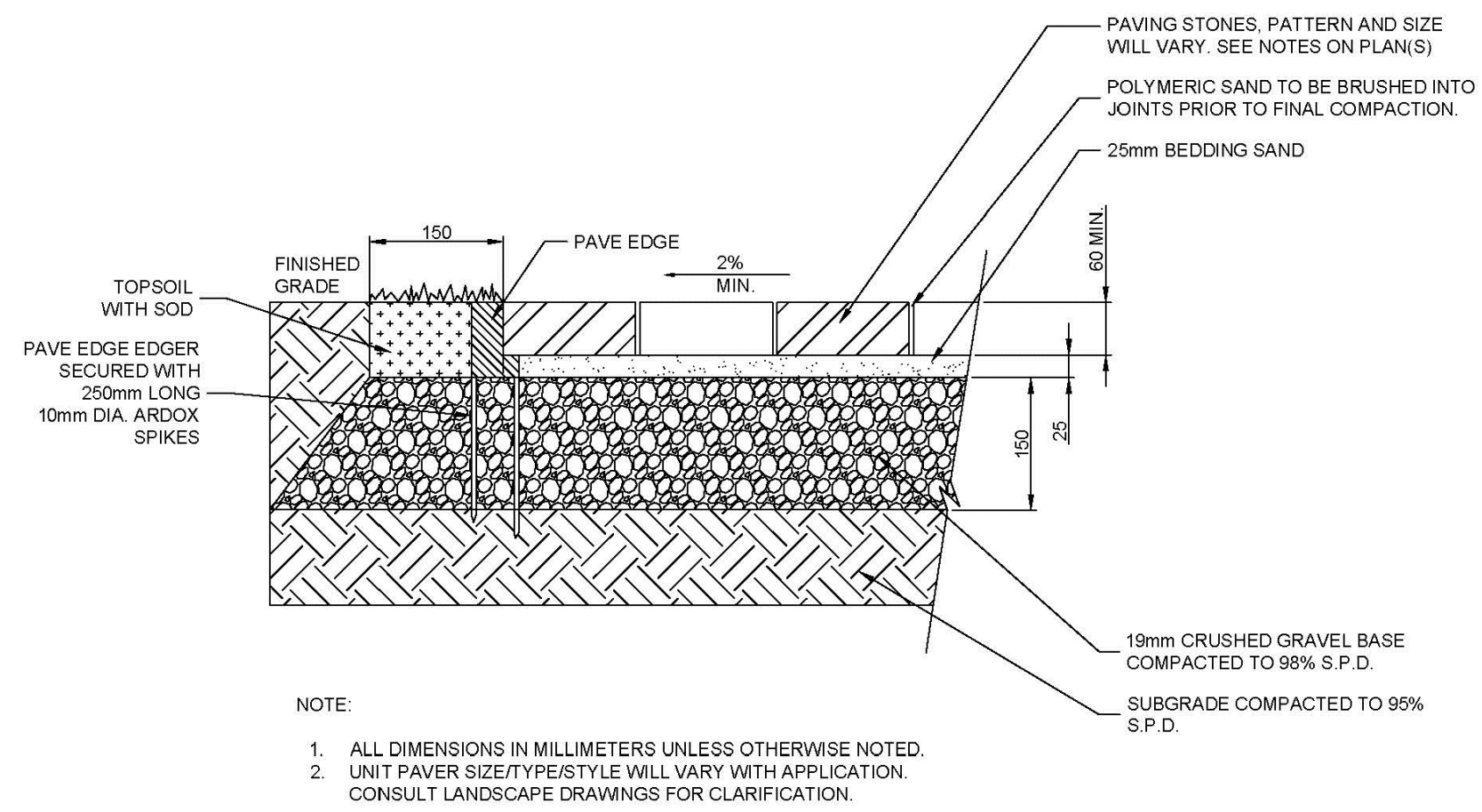
- NOTES:
- EXCAVATE TO MINIMUM DEPTHS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNSUITABLE SUBGRADE MATERIAL SUCH AS TOPSOIL. REMOVE ALL EXCAVATED MATERIAL AND DISPOSE OF OFF SITE.
  - SLOPE SUBGRADE PARALLEL TO FINISHED GRADE (MIN. 2% SLOPE AWAY FROM EXISTING BUILDINGS).
  - ALL CONCRETE WORK TO TOWN STANDARDS OR BETTER.
  - EXPANSION JOINTS EVERY 6.0m MAX AND CONTROL JOINTS EVERY 1.5m MAX WITH SAW CUTS TO A DEPTH OF 45mm.
  - 10mm NON EXTRUDING BITUMINOUS FIBRE TO BE USED BETWEEN POURS. FILL 150mm DEEP.
  - SPRAY WITH WHITE PIGMENT CURING COMPOUND WITHIN 3hrs.
  - PROTECT WET CONCRETE UNTIL HARD ENOUGH TO WITHSTAND MARKING. CORRECT ANY DAMAGED AREAS WITH REMOVAL AND REPLACEMENT OF CONCRETE AT CONTRACTOR'S EXPENSE.
  - IN ALL AREAS WHERE NEW SOD IS TO BE LAYED, ENSURE SOD IS FLUSH WITH CONCRETE SURFACE. SOD MUST NOT BLOCK SURFACE DRAINAGE.
  - WIDTH OF PATH OR SIZE OF CONCRETE PAD AS PER PLAN OR CONFIRMED ON SITE.
  - ADJACENT GRADES ARE TO SLOPE AWAY FROM THE TRAIL.

TOWN OF CALEDON				APRD	APR'D	DATE	AUGUST 17
POURED IN PLACE CONCRETE				DRAWN	BY	SCALE	NTS
1.	RECREATED			APR 19			
NO.	REVISION	APRD	DATE	STANDARD No. 902			

## 1 TYPICAL CONCRETE PAVING – ON GRADE

NTS

DETAIL-FILE



TOWN OF CALEDON								APPRO. B.B.	DATE AUGUST 17
LANDSCAPE UNIT PAVERS - LIGHT DUTY								DRAWN: B.M.	SCALE: N.T.S.
	NO.	REVISION			APPRO.	DATE	STANDARD No. 903		

## 2 UNIT PAVER SECTION

NTS

DETAIL-FILE



ED'S CONCRETE PRODUCTS LTD  
Stratford | Head Office  
1266 Erie Street, Stratford, Ontario Canada N4Z 0A1

### PING PONG TABLE



### SPECIFICATIONS

This regulation size table comes as a 2 pc set: base and top. The net is stainless steel with a bolted connection. Ball and paddle holder is also available.

	W	L	H	Weight (lbs)	PDF
Ping Pong	60	108	29	3210	<a href="#">Download PDF</a>

[REQUEST A QUOTE](#)

### OPTIONS

Measurements | Standard sizes shown in inches, width x length x height.

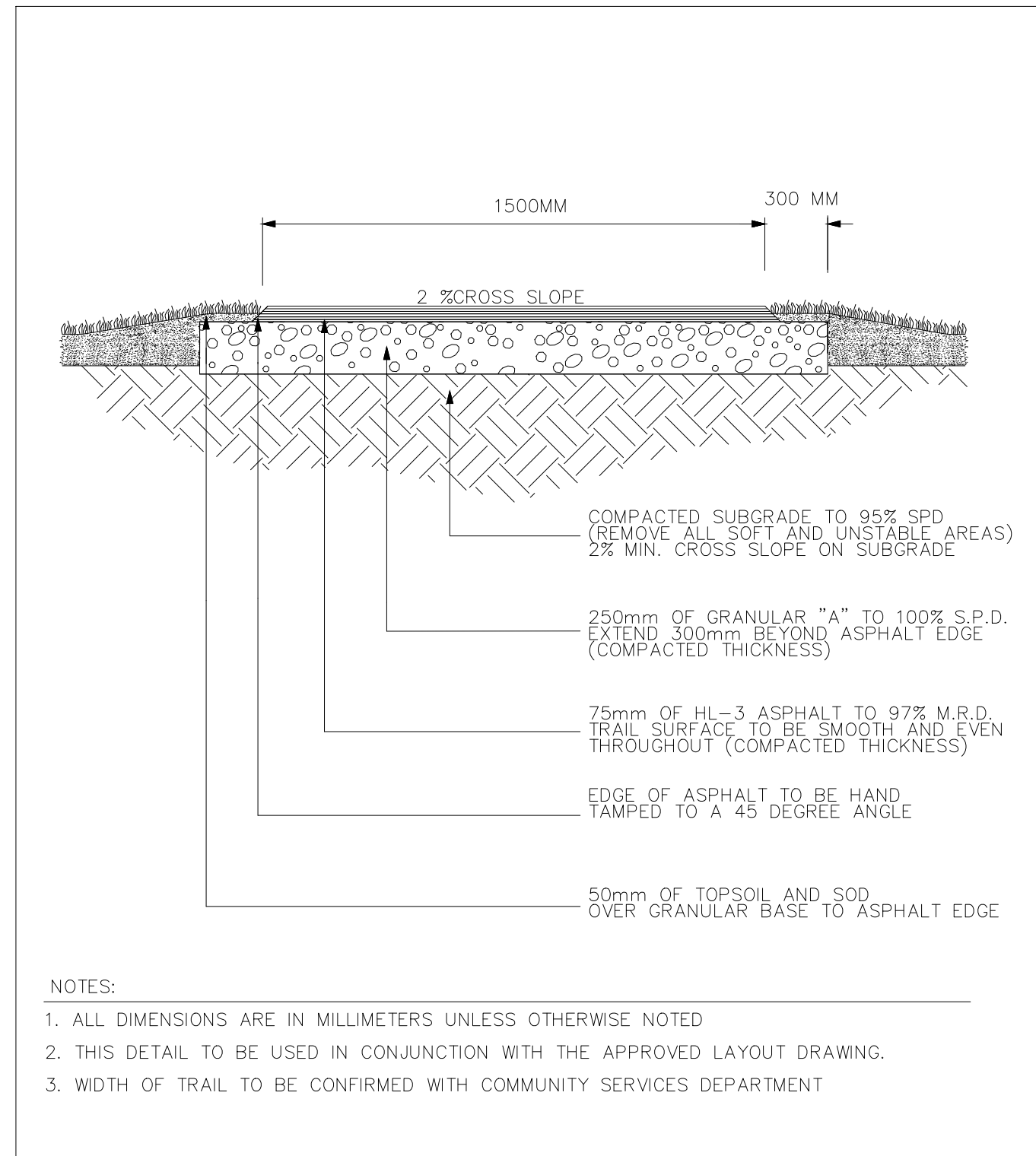
Colour & Finish | Standard grey smooth precast unless premium colour or alternate finish are specified when ordering.

Engraving | Logo artwork and game surfaces can be stencil-etched on tables as a value-added service.

WE KNOW CONCRETE  
With over 40 years of experience under our belt, we fabricate concrete products using the best of both traditional and today's leading-edge

## 3 PING PONG TABLE

NTS



- NOTES:
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED
  - THIS DETAIL TO BE USED IN CONJUNCTION WITH THE APPROVED LAYOUT DRAWING.
  - WIDTH OF TRAIL TO BE CONFIRMED WITH COMMUNITY SERVICES DEPARTMENT

## 4 PEDESTRIAN ASPHALT PAVING

NTS

STORMWATER POND MIXTURE (OSC #8190)		TABLELAND PRAIRIE GRASS NATIVE SEED MIXTURE (OSC #8155)	
APPLICATION RATE 25 KG/HA		APPLICATION RATE 25 KG/HA	
BOTANNICAL NAME	COMMON NAME	BOTANNICAL NAME	COMMON NAME
FOX SEDGE	CAREX VULPINOIDEA	BIG BLUESTEM	ANDROPOGON GERARDII
VIRGINIA WILD RYE	ELYMUS VIRGINICUS	ELYMUS CANADENSIS	ELYMUS CANADENSIS
BIG LEAF MOUNTAIN MINT	PYCAMTHEMUM MUTICUM	INDIANGRASS	SORGHASTRUM NUTANS
SWITCHGRASS	PANICUM VIRGATUM	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM
CANADA BLUEJOINT	CALAMAGROSTIS CANADENSIS	PRAIRIE CORDGRASS	SPARTINA PECTINATA
BLACK EYED SUSAN	RUDBECKIA HIRTA	SWITCHGRASS	PANICUM VIRGATUM
NEW ENGLAND ASTER	ASTER NOVAE-ANGLIAE		
CANADA GOLDENROD	SOLIDAGO CANADENSIS		

SEEDING SPECIFICATIONS

PNEUMATICALLY APPLIED SUBSTRATE (TERRASEEDING OR APPROVED EQUAL) TO BE APPLIED AT A RATE OF 30KG/HA AT A DEPTH OF 50MM.

THE CONTRACTOR SHALL NOT CARRY OUT THE WORK UNDER ADVERSE WEATHER CONDITIONS SUCH AS HIGH WIND, FROZEN GROUND OR GROUND COVERED WITH SNOW, ICE OR STANDING WATER.

A SOIL TEST SHOULD BE PERFORMED BY A COMPETENT CONTRACTOR TO VERIFY MIXTURE AND PERCENTAGES REQUIRED.

PREPARATION:  
GRADE SUB-GRADE, ELIMINATE UNEVEN AREAS AND LOW SPOTS, ENSURE POSITIVE DRAINAGE. REMOVE DEBRIS, ROOTS, BRANCHES, STONES IN EXCESS OF 50MM DIAMETER AND OTHER DELETERIOUS MATERIALS. REMOVE SUBSOIL THAT HAS BEEN CONTAMINATED WITH OIL, GASOLINE OR CALCIUM CHLORIDE, DISPOSE OF REMOVED MATERIAL AS DIRECTED BY LANDSCAPE ARCHITECT.

GRADE SUB-GRADE FOR SEEDING TO A UNIFORM SURFACE AND REMOVE VEGETATION WHICH MAY INTERFERE WITH SEEDING OPERATIONS. LOOSEN SOIL TO DEPTH OF 25MM MINIMUM AND REMOVE STONES AND FOREIGN MATERIAL WHICH PROTRUDE MORE THAN 75MM ABOVE THE SURFACE.

CONTRACTOR TO SUPPLY AND INSTALL 100MM (4") LAYER OF TOPSOIL OVER THE AREA TO BE SEEDDED PRIOR TO SEEDING. SEEDING SHALL OCCUR IMMEDIATELY FOLLOWING INSTALLATION OF TOPSOIL. IF A DELAY OCCURS, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL WEEDS PRIOR TO SEEDING, SHOULD THEY FAIL TO EXECUTE SEEDING IN A TIMELY MANNER.

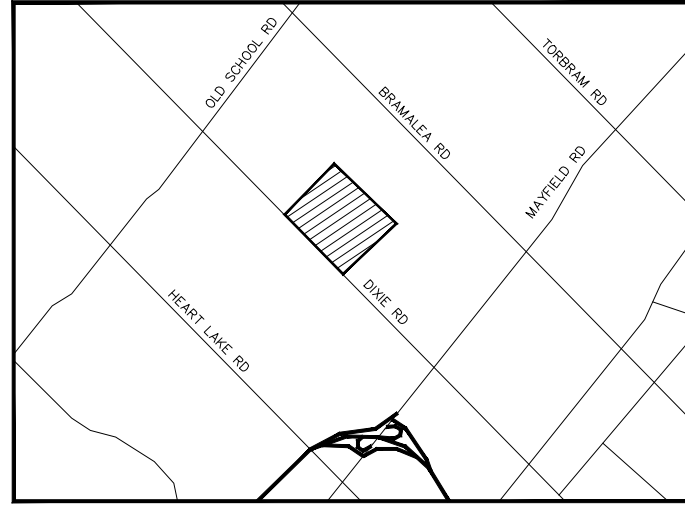
MAINTENANCE:  
SEEDDED AREAS TO BE MAINTAINED BY CONTRACTOR ENSURING ADEQUATE WATER, FERTILIZER, ANNUAL MOWINGS (2-3 YEAR ONE, AND 1-2 YEAR TWO), MAINTENANCE AND REPAIR UNTIL SEEDDED AREAS ARE PROPERLY ESTABLISHED. AREAS SEEDDED IN FALL WILL BE ACCEPTED IN FOLLOWING SPRING, ONE MONTH AFTER START OF GROWING SEASON PROVIDED ACCEPTANCE CONDITIONS ARE FULFILLED.

- NOTES:
- ALL SEED MIXTURES TO BE SUPPLIED BY ONTARIO SEED COMPANY LTD. (519) 886-0557 (OR APPROVED EQUAL).
  - MIX IS DESIGNED TO BE APPLIED AS PER MANUFACTURERS SPECIFICATIONS.
  - SEED ANNUAL BARLEY AS A NURSE CROP AND TO ENHANCE EROSION CONTROL AT 25 kg per hectare.
  - PREPARE ALL DISTURBED AREAS TO BE SEEDDED WITH MIN 100MM OF SOIL/COMPOST MIXTURE.

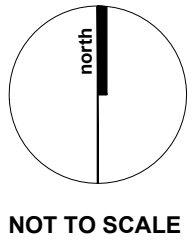
## 5 TERRASEEDING

NTS

### KEY PLAN



Subject Site



NOT TO SCALE

### LEGEND

### GENERAL NOTES

- Do not scale the drawings. All dimensions are in millimeters unless noted otherwise.
- This drawing is to be read in conjunction with the overall master plan and engineering drawings prepared by the project engineer and site plans prepared by the project architect.
- The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any work.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
- This drawing is to be used for development approval only. For layout of all work refer to construction drawings.
- Plant quantities indicated on the plan supercede the quantities from the plant list (report any discrepancies to the landscape architect).
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of construction at no extra cost.
- This drawing is Copyright MHBC 2025.


2.	July 25, 2025	ISSUED FOR SUBMISSION	MB
1.	February 20, 2025	ISSUED FOR SUBMISSION	MB/RF

REVISION NO.	DATE	ISSUED / REVISION	BY
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**PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE**

230-7050 WESTON ROAD, WOODBRIDGE, ON, L4L 8G7 | P: 905.761.5388 F: 905.761.5389 | WWW.MHBCPLAN.COM

STAMP	DATE	FEB 2025
 <p>ISSUED FOR SPA ONLY NOT FOR CONSTRUCTION</p> <p><small>All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked 'Issued for Construction' and the professional seal is signed and dated by the landscape architect.</small></p>	DRAWN BY	MB
	PLAN SCALE	AS NOTED
	FILE NO.	18141M
	CHECKED BY	GC
	OTHER	

**PROJECT**

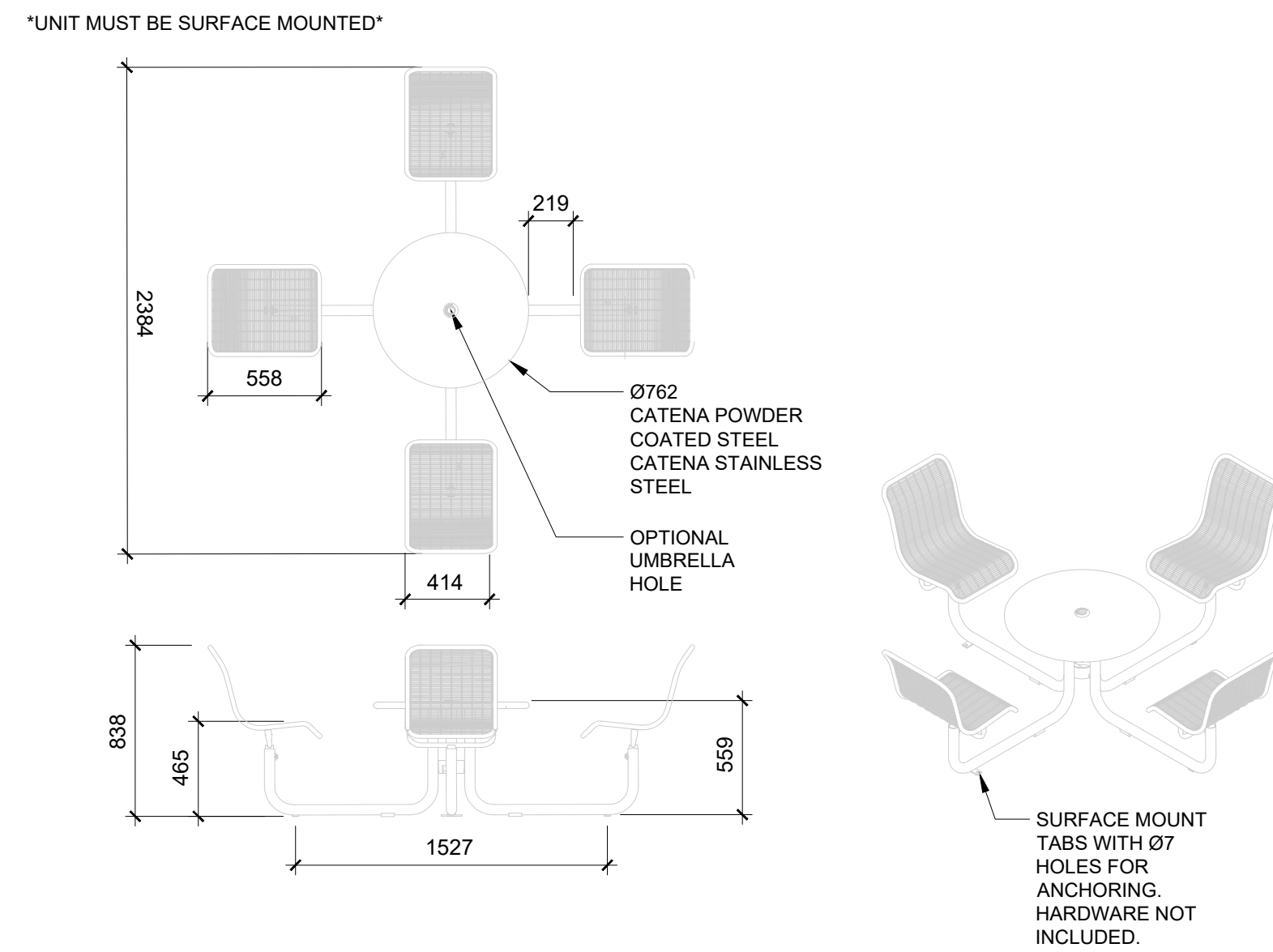
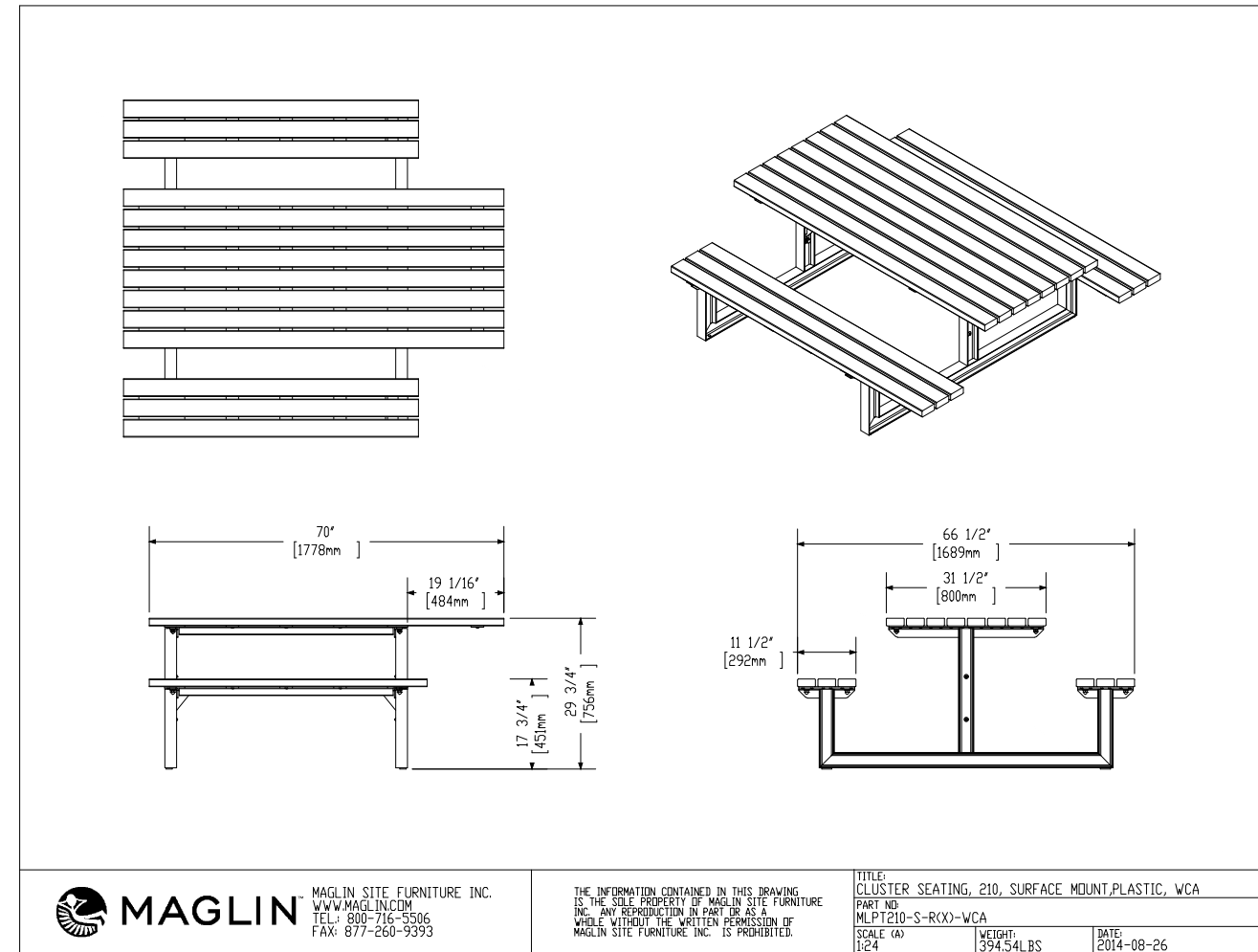
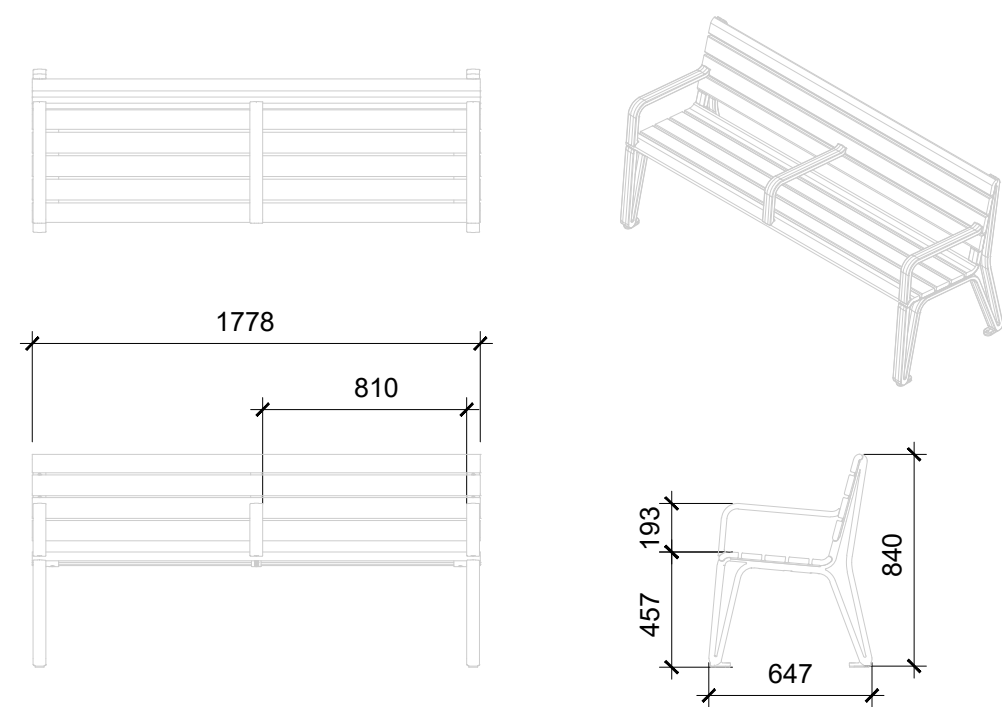
**QUADREAL PROPERTY GROUP**  
12489 DIXIE ROAD  
CALEDON, ONTARIO



DWG NAME	DWG NO.
<b>LANDSCAPE DETAILS</b>	<b>D2</b>



CLUSTER SEATING, 210, SURFACE  
MOUNT, WOOD, WCA



## P-WD-ABE-02

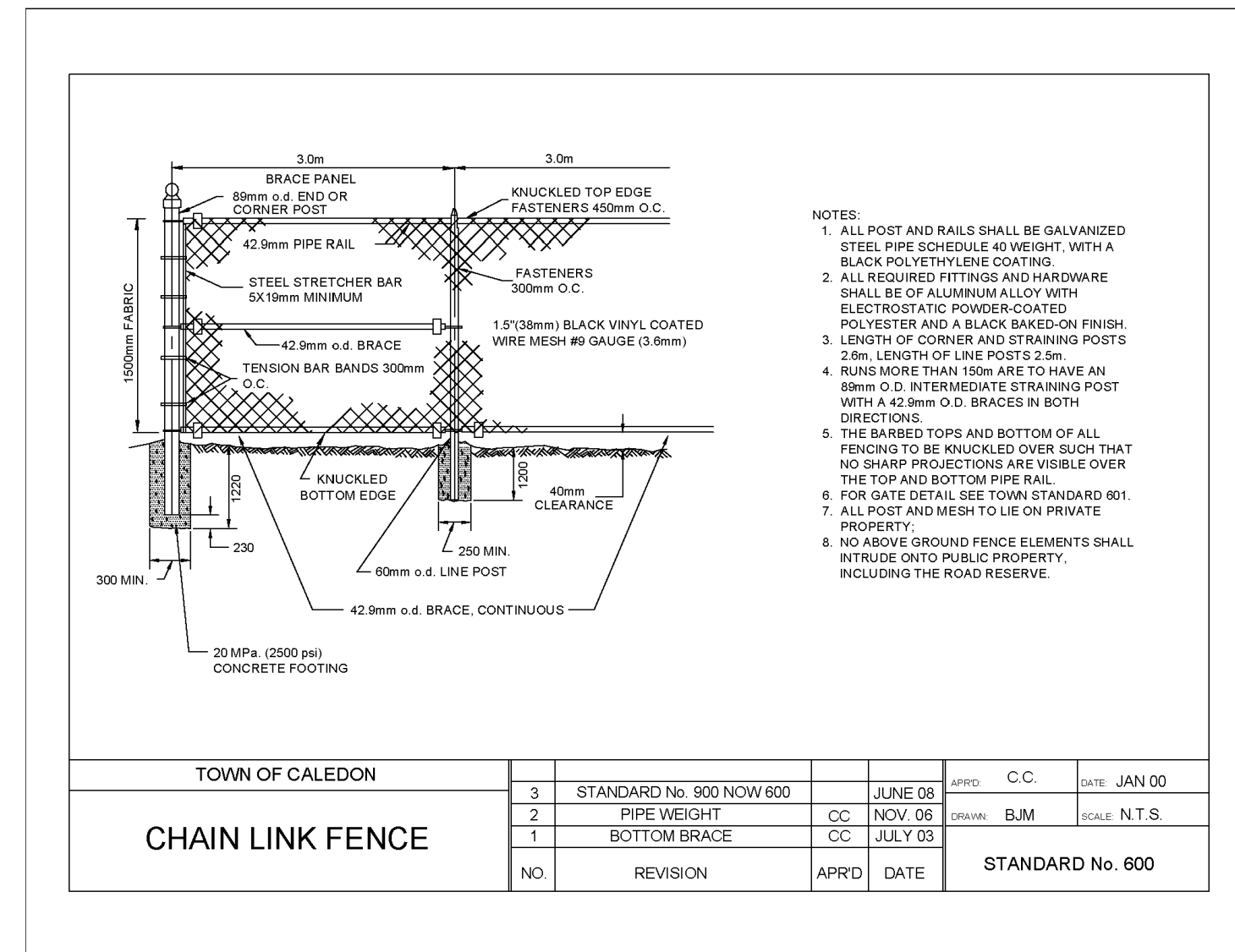
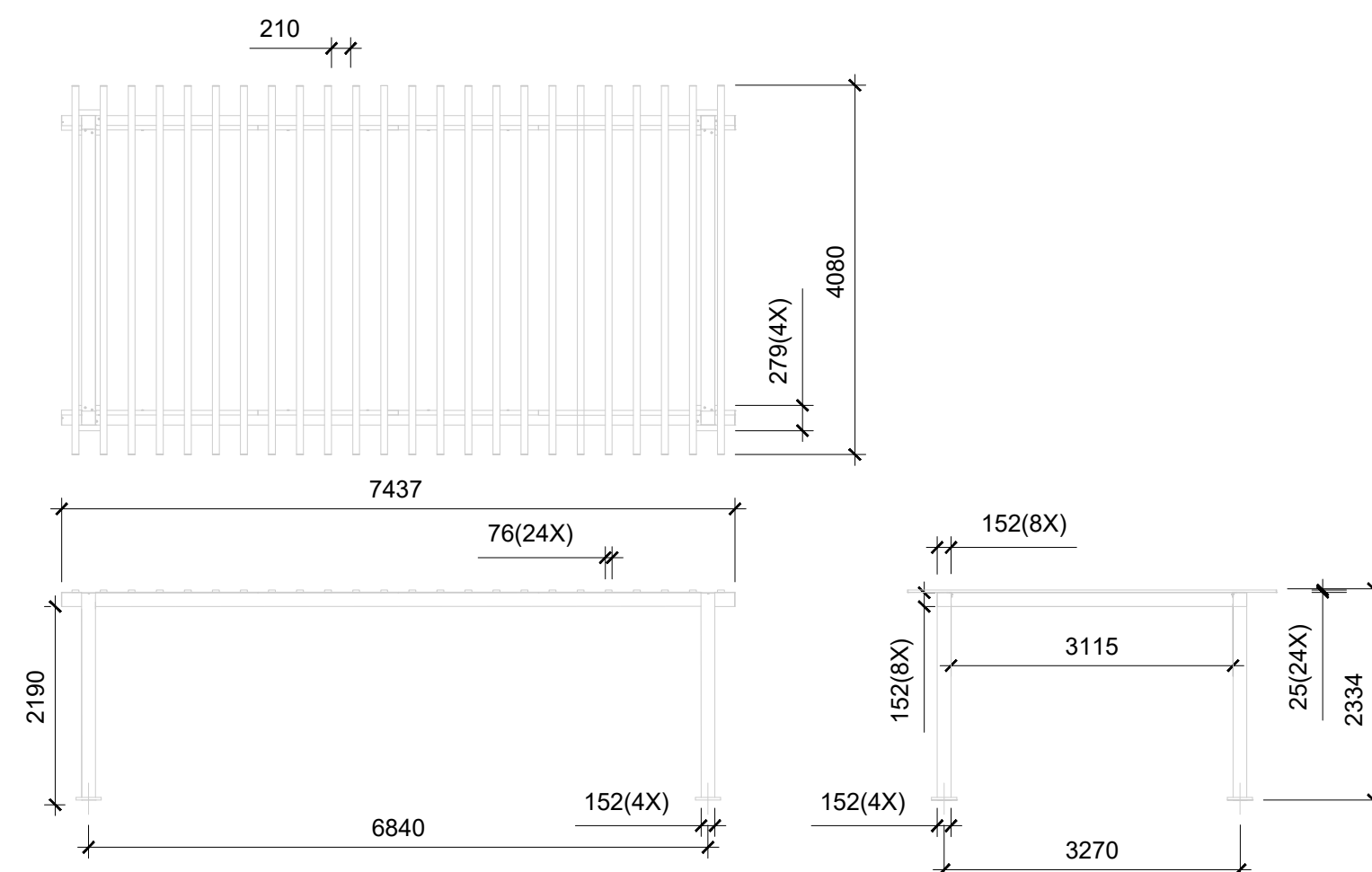
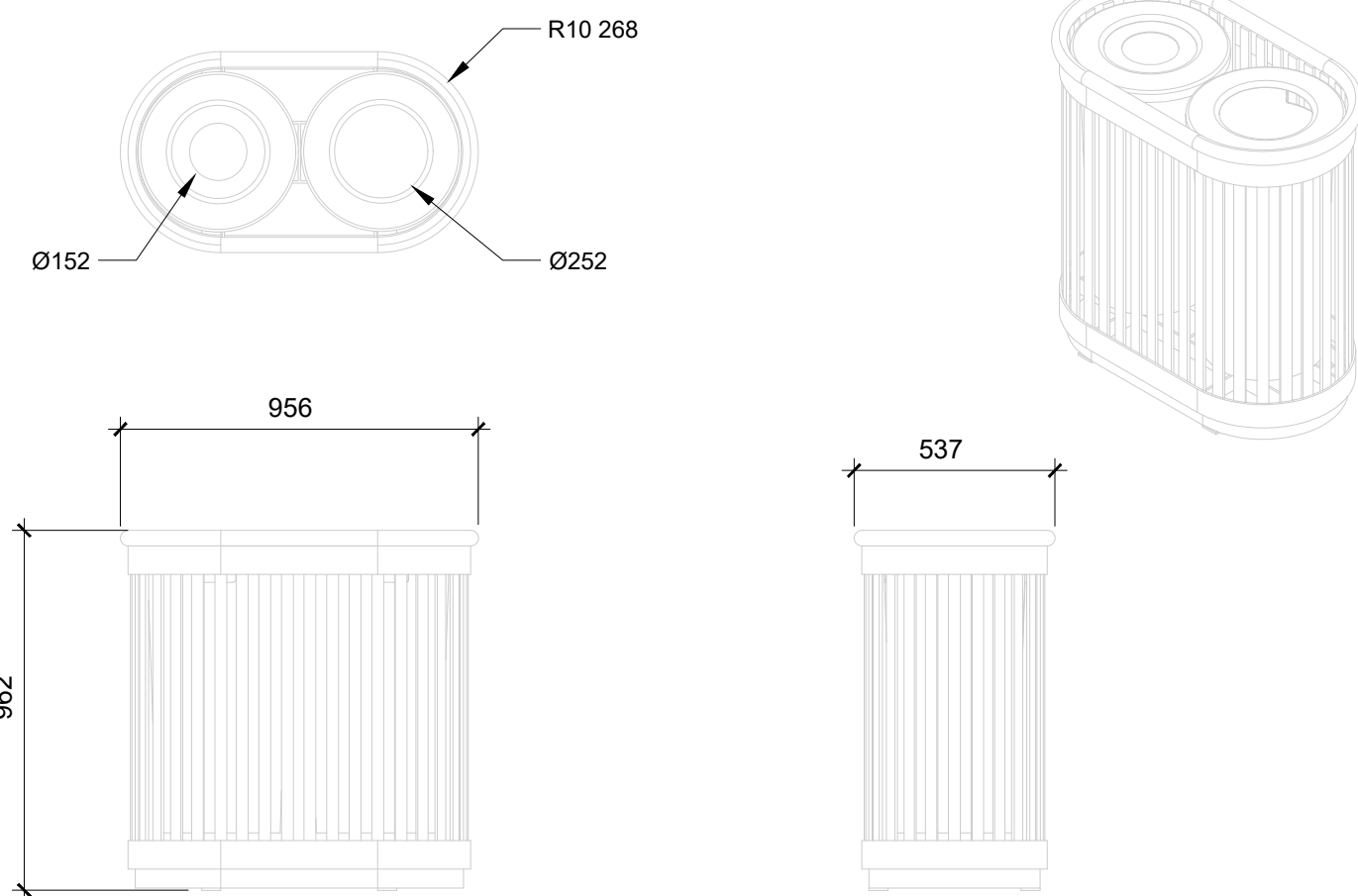
## 2



(3)



MODEL #:  
MRR-0250-00001



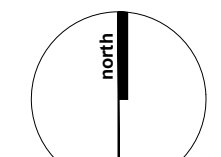
## 4



## 5



(6)

 Subject Site



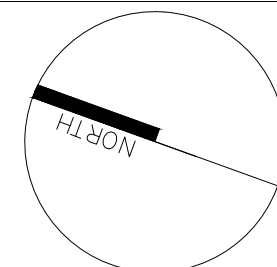
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1.	February 20, 2025	ISSUED FOR SUBMISSION	MB/R

 <h1 style="text-align: center;">PLANNING URBAN DESIGN &amp; LANDSCAPE ARCHITECTURE</h1> <p style="text-align: center;">230-7050 WESTON ROAD WOODBINE, ON. L4L 8G7   P: 905.761.5588 F: 905.761.5589   <a href="http://WWW.MHBCPLAN.COM">WWW.MHBCPLAN.COM</a></p>	
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