

**Industrial Development**

**12304 Heart Lake Road**

**Caledon, ON L7C 2J2**

prepared for

**Town of Caledon**

**6311 Old Church Road**

**Caledon ON L7C 1J6**

prepared by



**IBI GROUP**  
200 East Wing—360 James Street North  
Hamilton ON L8L 1H5 Canada  
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## Introduction

IBI Group was retained by Brocollini Construction (Ontario) Inc. to conduct a Tree Inventory, and to prepare a Tree Protection Plan and Arborist Report, in support of the application for the property at 12304 Heart Lake Road in Caledon, Ontario. The report will provide:

- A tree species inventory
- A visual assessment of trees for health and condition
- Recommendations for tree removals or preservation based on construction activity, in relation to tree health/risk status and/or species concerns

## Existing Site Conditions

The subject site (Appendix A) is approximately 91 ac (37 ha) in size and is located on the west side of Heart Lake Road, just north of Highway 410. North of the subject site are agricultural and rural lands, as well as some lands within the Provincial Greenbelt Plan Area. East of the subject site are designated employment lands affected by the GTA West corridor. South of the subject site is Highway 410 and west of the subject site is a low-rise residential community (Mayfield West Phase 1).

There are no existing structures on the subject site. Most of the existing trees are located on the periphery of the site. Site photos are shown in Appendix B.

## Methodology

Tree resources were assessed and are reported using the following attributes:

<b>Tree No.</b>	identifier assigned to the tree corresponding to those indicated in the Tree Protection Plan TPP-1 (Appendix D).
<b>Botanical Name</b>	formal scientific name.
<b>Common name</b>	locally known English name.
<b>DBH</b>	diameter at breast height, in centimetres, measured at 1.4m above the adjacent ground.
<b>Condition</b>	condition of the specimen based on the visual assessment of the tree health reported as:  Good (G) - dead branches less than 10%; signs of good compartmentalization on any wounds; no structural defects  Fair (F) -10-30% dead branches; size or occurrence of wounds present some concerns; minor structural defects  Poor (P) - more than 30% dead branches; weak compartmentalization; early leaf drop; presence of insects or disease; major structural defects  Dead (D) - tree shows no signs of life

<b>Comments</b>	observations on tree structure, condition, location and highlighting any attributes that may require specific attention (e.g. invasive species, pest infestation, etc.)
<b>Impacts of Development</b>	<p>determination of whether or not the specimen is impacted by the proposed construction:</p> <p>None – no construction impact within the dripline</p> <p>Limited – construction activity occurs at or within the dripline (less than 30%) and requires precautionary measures.</p> <p>Impacted – construction activity occurs within a significant portion of the dripline or requires the removal of the specimen.</p>
<b>Recommendation</b>	determination to retain/preserve or remove the specimen.

The tree survey was conducted on October 28, 2021. Trees with a DBH of 10cm or more within the site of disturbance within the subject property, any trees within 6m of the area of disturbance, and all specimen found in the right-of-way (ROW) (regardless of DBH) were included in the inventory. Trees were located triangulated using Google Map aerials. This information is summarized in Existing Tree Identification Table included in the Tree Protection Plan TPP-1 (Appendix D).

## Tree Species

A total of twelve (12) trees were observed, a combination of five (5) individual trees and the balance contained in two (2) tree groups. Tree species included:

Silver Maple	( <i>Acer saccharinum</i> )
White Spruce	( <i>Picea glauca</i> )
Common Buckthorn	( <i>Rhamnus cathartica</i> )
Willow	( <i>Salix spp.</i> )
Sassafras	( <i>Sassafras albidum</i> )

## Proposed Development

This project is a proposal to redevelop the subject site to contain a warehousing, logistics, and distribution centre. The proposed building footprint is currently just over 48,600 square metres and includes a warehouse and office space. Surface parking, landscape area, and amenity spaces are also proposed. The Overall Site Plan is shown in Appendix C.

## Findings

The development requires the removal of four (4) trees on site, to facilitate the re-grading of the site. Particular care will have to be taken when grading close to the Minimum Tree Protection Zone (MPTZ) as shown in Appendix D. Trees that are impacted largely as a result of the layout of the buildings, including roadways and parking, and the grading activities associated with construction.

## Management and Quality Assurance

### Pre-Construction Phase

1. TPZ Fencing: Tree Protection measures shall be installed prior to any site work per Town of Caledon standards and specifications (Appendix E)
2. TPZ Signage: Tree Protection Zone (TPZ) barriers shall be clearly marked with signs stating that the area within is a TPZ and that no one is allowed to enter or disturb this area without authorization from the project Arborist.
3. Trunk Protection: Where there is potential mechanical damage to the tree trunk or buttress, the exposed area should be protected by thick wood planks on a closed cell foam pad (or other protective material), bound in place by straps or wires.
4. Root Pruning: Standard arboricultural practices shall be employed where root pruning is necessary to maintain the tree health and structural stability. Hand excavation or other approved methods shall be used where necessary to minimize root damage.
5. Grade Changes: Every effort shall be made to maintain the existing grades within the tree dripline of trees to remain, at minimum.
6. Soil Decompaction: Newly exposed soil shall be manually decompacted to prepare the soil to receive new topsoil and plant material.
7. Irrigation: Areas within the TPZ shall be watered and maintained to an acceptable level throughout the course of construction.
8. Pruning: Removal of dead, diseased and dying branches before construction is recommended to reduce risk of failure within the subject site during construction.

### Construction Phase

- Site Monitoring: Site monitoring is recommended to be completed at least three (3) times during construction to detect any decline in plant health and to institute mitigative measures. These inspections should be no more than six (6) months apart.

### Post-Construction Phase:

1. TPZ Fencing Removal: All tree protection measures may be removed once all work on the subject site is complete or in order to facilitate proposed landscape plantings. All plant material, existing and new must be maintained until the final inspection.



2. Plant Health Mitigation: If required, treatments should be prescribed where evidence suggests that it may be beneficial.
3. Plant Replacement: Existing trees shall be maintained in an acceptable condition for two (2) years after the completion of construction. Any tree that declines beyond acceptable depreciation, and fails to recover following treatment, shall be replaced with the same or alternate local species appropriate to the site.
4. Landscape Inspection: Upon completion of construction an inspection shall be completed to verify that plant health of preserved trees has been maintained. This can be held in conjunction with the inspections of the landscape works.

#### Additional Recommendations

1. Tree preservation methods must conform to Town Standards (Appendix E) for tree preservation and as indicated in the Tree Protection Plan, TPP-1 (Appendix D).
2. Tree protection barriers shall be erected prior to construction and shall remain in place, in good condition, for the duration of the project.
3. Tree roots typically spread well beyond the dripline of trees, up to 3.5 times the dripline radius, and are located predominantly in the top 30cm of soil. As this area is not protected, activity should be kept to a minimum to prevent root damage and soil compaction. Where root systems of trees are exposed or damaged by construction work, the Town must be advised first before the roots are trimmed neatly and the area back-filled with topsoil.
4. Tree protection barriers shall be erected a minimum 1m outside of the dripline of trees proposed to be preserved. Barriers shall be erected prior to construction and shall remain in place, in good condition, for the duration of the project. Because tree locations and driplines have been estimated, field verification will be required to determine whether or not construction impact will occur within the Tree Protection Zone (TPZ) as shown in Appendix D.
5. Any pruning required for branches and roots that may extend past the TPZ or critical root zone must be carried out by a qualified Arborist or other tree professional, only as necessary – to prevent damage from construction activity or to prune broken limbs or roots. All pruning of tree roots and branches must be in accordance with good arboricultural standards.
6. Opportunities for compensation and canopy expansion exist within the designated landscape setbacks at the north and south of the site;

Regards,



Zara Brown, OALA, CSLA, RLA, PMP  
ISA© Certified Arborist # ON-2252A, Landscape Architect  
[Zara.Brown@IBIGroup.com](mailto:Zara.Brown@IBIGroup.com)

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## APPENDIX A – EXISTING SITE





## APPENDIX B – EXISTING SITE PHOTOS





**1.0** Group 1 and 2 along the south property line



**2.0** View of the north of the site looking west



**3.0** View looking north from Tree #1003



**4.0** View at the south looking east

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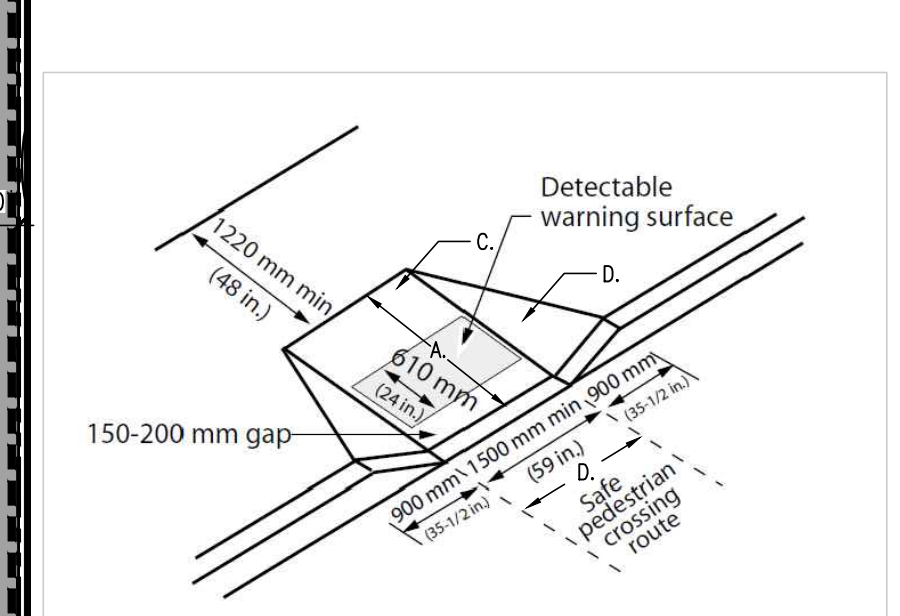
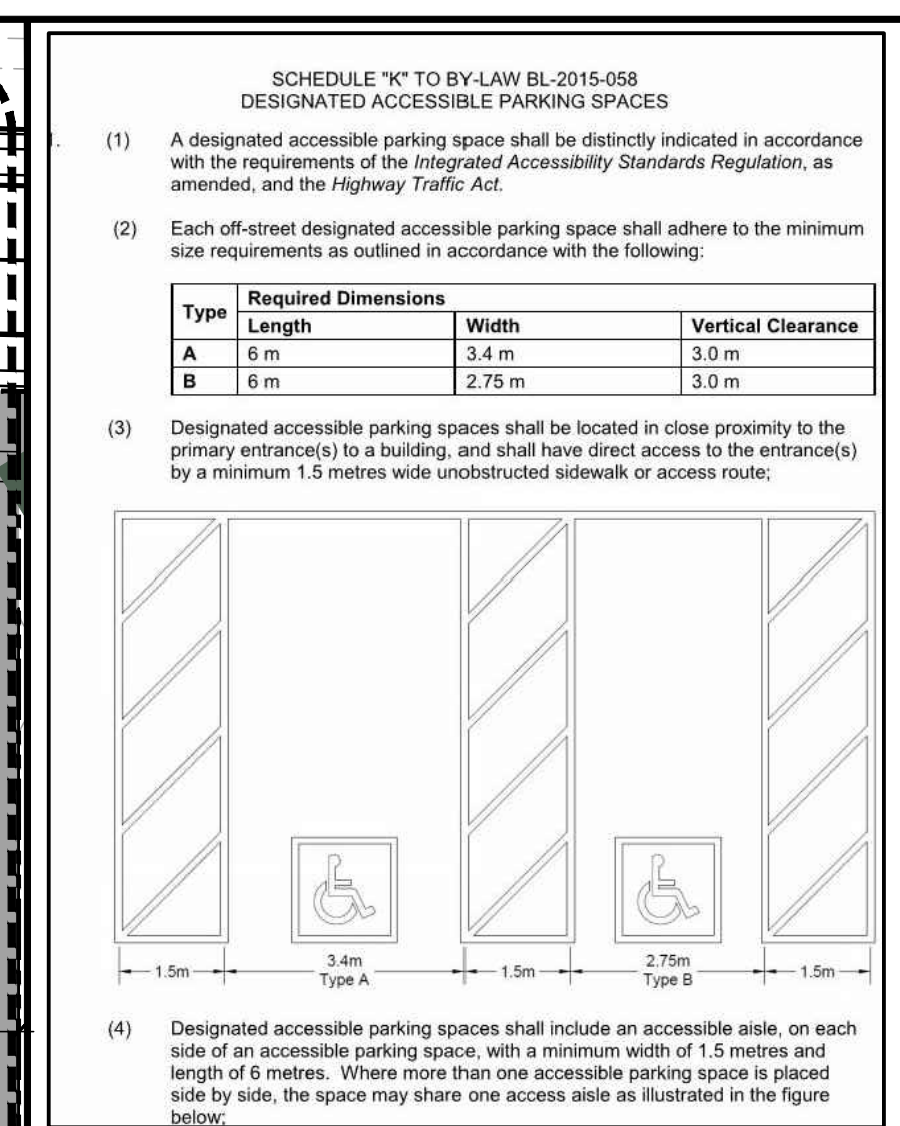
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November 12, 2021

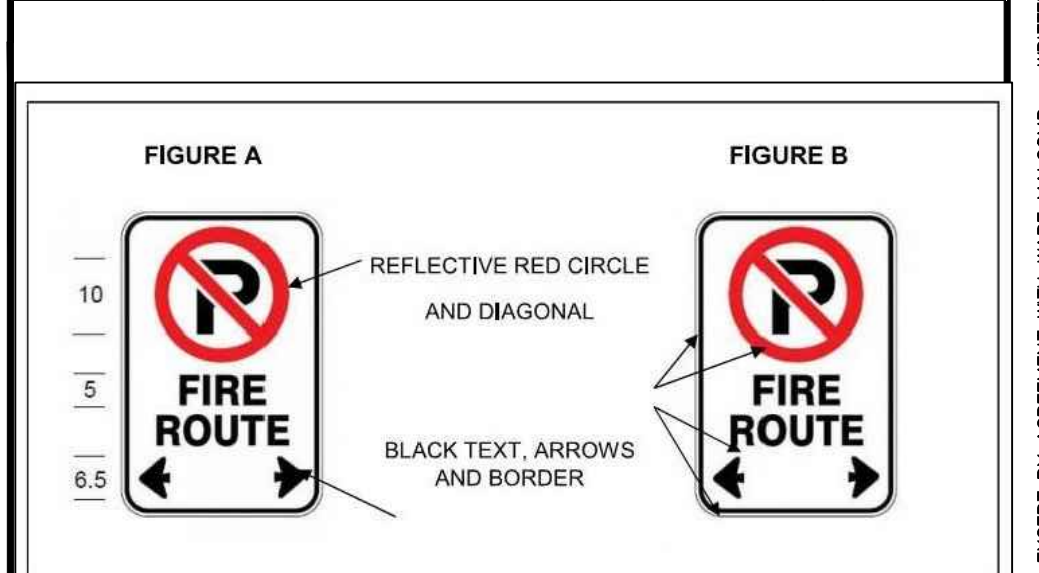
Arborist Report – 12304 Heart Lake Road, Caledon ON

APPENDIX C – OVERALL SITE PLAN

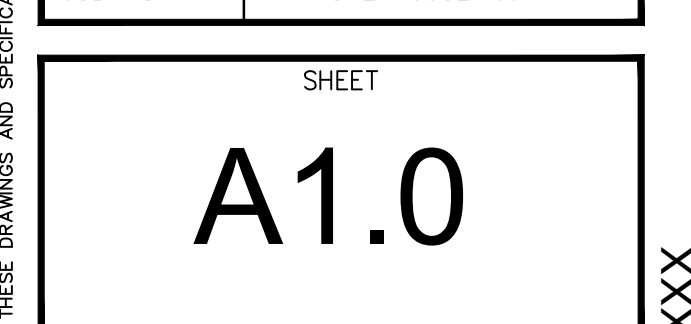
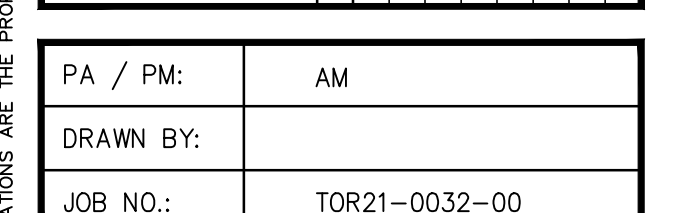
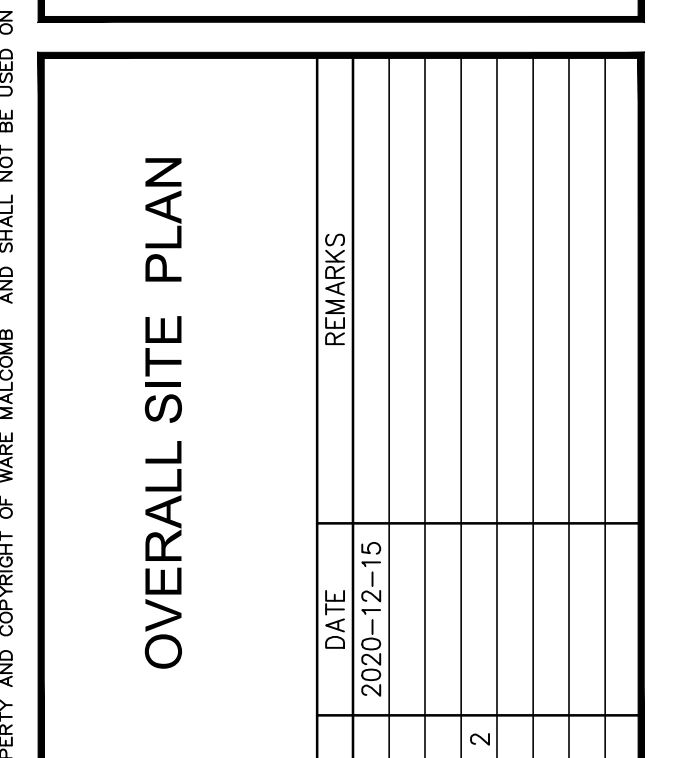
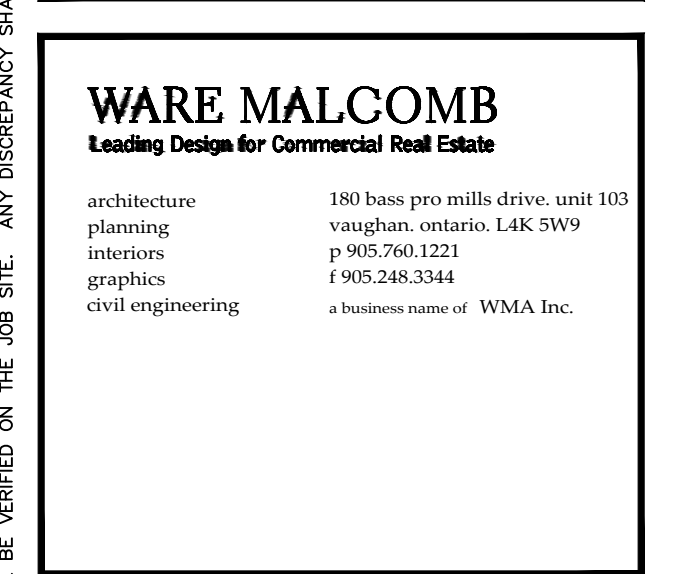




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## SITE LEGEND



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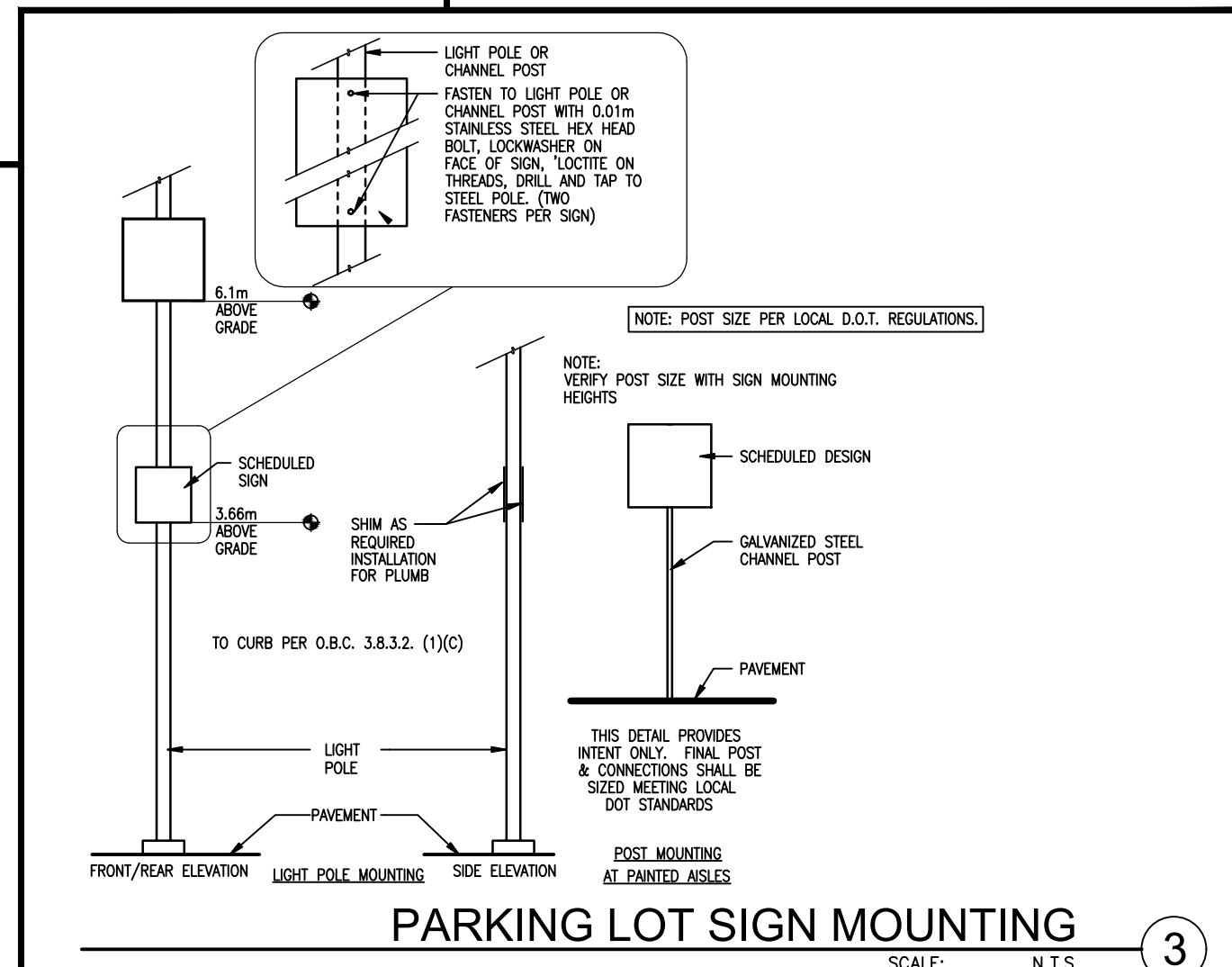
1	PROPERTY LINE
2	2.75x6.00m PARKING STALL, PAINTED PARKING STRIPPING PER CITY STANDARDS.
3	PRINCIPLE ENTRY - TO HAVE AUTOMATIC DOOR OPERATOR INSTALLED AND BE KEPT CLEAR OF ANY BARRIERS OR OBSTRUCTIONS.
4	1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O - TO BE POURED CONCRETE, UNIT PAVING, OR PERMEABLE PAVEMENT
5	DRIVE-IN RAMP, SEE CIVIL DRAWING FOR SLOPE %
6	ACCESSIBLE PARKING SIGNS CENTERED AT THE END OF ALL ACCESSIBLE PARKING SPACES, TO BE MIN MOUNTED 1.0M (MAX 2.0M) ABOVE PARKING LOT SURFACE, POLE MOUNTED AND DESIGNED IN ACCORDANCE WITH SECTION 11 OF REG. 581 WITHIN THE HIGHWAY TRAFFIC ACT. ALL SIGNAGE AT 'TYPE A' SPACES TO IDENTIFY SPACE AS "VAN ACCESSIBLE"
7	CONCRETE APRON - SEE CIVIL DWGS.
8	LANDSCAPE AREA - SEE LANDSCAPE DWGS.
9	EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
10	TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPPING PER CITY STANDARDS. EACH PAIR OF SHARED STALLS TO HAVE (1) TYPE A (3.40x6.00m) & (1) TYPE B (2.75x6.00m) STALL C/W A 1.5m PAINTED AISLE - REFER TO SCHEDULE 'K' TOWN OF CALEDON STANDARDS AND DETAIL A/A1.2 C/W ACCESSIBLE PARKING SIGNAGE
11	1500mm WIDE CURB TYPICAL

- |    |  |
|----|--|
| 12 | LOADING SPACE -- L.S. (3.5m x 14.0m)   |
| 13 | FIRE DEPARTMENT CONNECTION / SIAMESE   |
| 14 | TRUCK LOADING DOCK, TYP.   |
| 15 | FIRE ACCESS ROUTE W/ 12.0m TURNING RADIUS (-----)<br>PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY TOWN OF CALEDON<br>BY--LAW BL--2015--058, AS PER DETAIL B/A1.2.   |
| 16 | PEDESTRIAN WALKWAY WITH PAINTED LINE PER TOWN OF CALEDON STANDARDS   |
| 17 | LINE OF CANOPY ABOVE   |
| 18 | PROPOSED LOCATION OF ELECTRICAL ROOM   |
| 19 | PROPOSED LOCATION OF MECHANICAL ROOM   |
| 20 | HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS<br>REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS. FIRE ACCESS ROUTE WILL<br>BE DESIGNATED TO SUPPORT A LOAD OF NOT LESS THAN 11,363 Kg. PER AXLE<br>AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A<br>MINIMUM DISTANCE OF 15 M.         |
| 21 | FIRE HYDRANT   |
| 22 | ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY.<br>DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB<br>DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY<br>STANDARD DRAWING NO. 402, OPSD 350.010. SHALL COMPLY WITH THE<br>REQUIREMENTS OF SECTION 80.27 OF THE IAS. |
| 23 | DETECTABLE TACTILE WARNING SURFACE. CONFORMING TO 2012 O.B.C   |

- |    |   |
|----|---|
| 24 | ACCESSIBLE CURB RAMP  |
| 25 | PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 0.60m. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL – SEE CIVIL DWGS. |
| 26 | RESERVED  |
| 27 | RESERVED  |
| 28 | LOCATION OF BICYCLE RACK – SEE LANDSCAPE DWGS.  |
| 29 | RETAINING WALL – SEE CIVIL DWGS.  |
| 30 | AMENITY AREA – REFER TO LANDSCAPE DWGS  |
| 31 | PERMEABLE PAVERS – SEE LANDSCAPE DWGS.  |
| 32 | PROPOSED TRANSFORMER – SEE ELECTRICAL DWGS.   |
| 33 | SCREEN WALL. SEE DETAIL 4/A1.0  |
| 34 | SNOW STORAGE: 0.68% OF SITE AREA (MINUS MTO SETBACK=1981.94 SM  |

SCALE: 1:750

CONSTRUCTION NORTH TRUE NORTH





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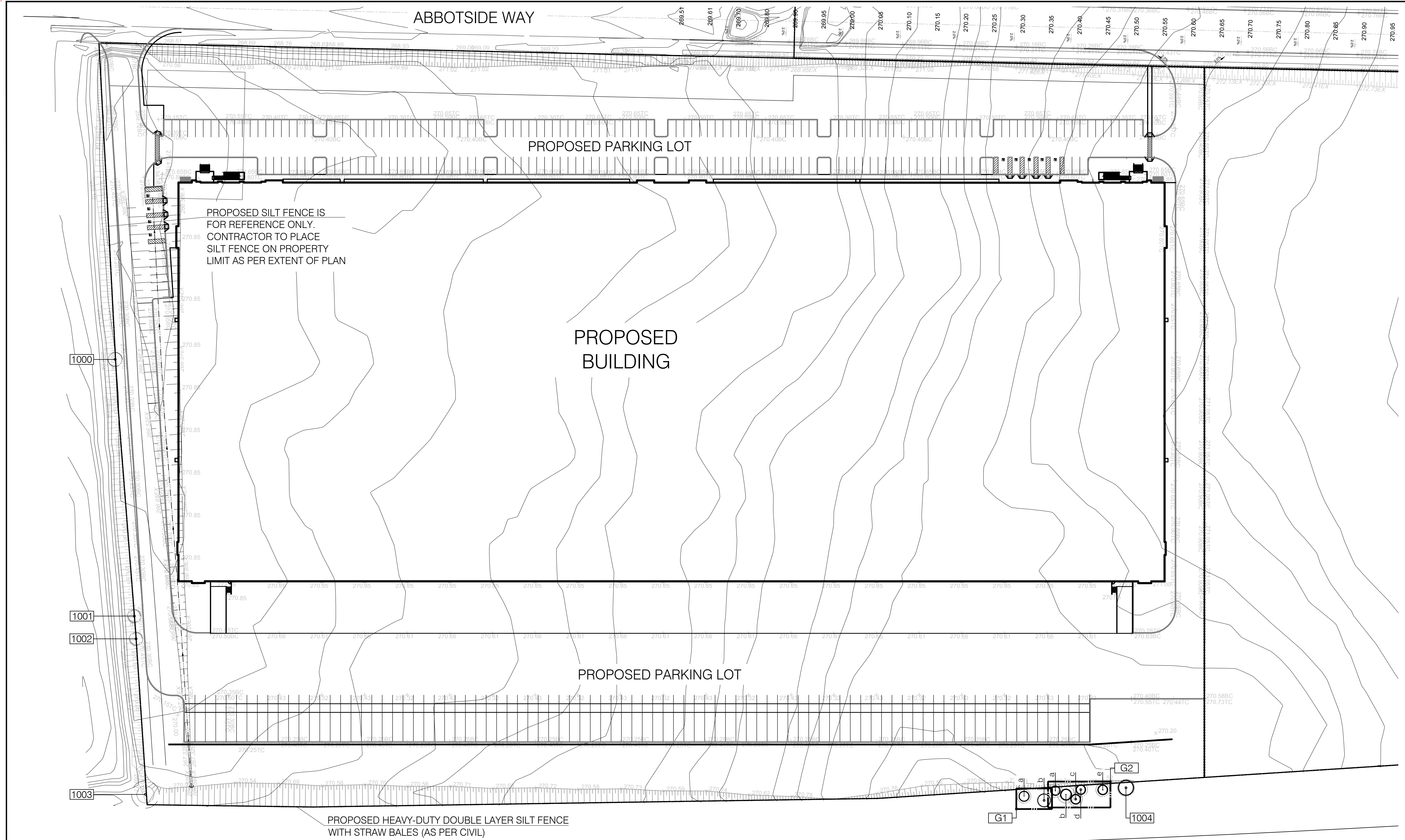
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APPENDIX D – TREE PROTECTION PLAN AND EXISTING TREE IDENTIFICATION TABLE





EXISTING TREE IDENTIFICATION TABLE

TREE NO.	BOTANICAL NAME	COMMON NAME	DBH (cm)	CONDITION (2)	MINIMUM TREE PROTECTION ZONE (MTPZ)(m)	OWNERSHIP (3)	IMPACTS OF DEVELOPMENT (4)	RECOMMENDATION (5)	COMMENTS (6)
1000	POPULUS TREMULOIDES	QUAKING ASPEN	13.9	G	2.4	A	IMPACTED: NEW SILT FENCE, GRADING	REMOVE	
1001	RHAMNUS CATHARTICA	BUCKTHORN	10.5	G	2.4	A	IMPACTED: NEW SILT FENCE, GRADING	REMOVE	
1002	SALIX SPP.	WILLOW SPP.	15.0	G	2.4	A	IMPACTED: NEW SILT FENCE, GRADING	REMOVE	
1003	SASSAFRAS ALBIDUM	SASSAFRAS	42.5	F	3.0	A	IMPACTED: NEW SILT FENCE, GRADING	REMOVE	
1004	ACER SACCHARINUM	SILVER MAPLE	40.0	G	3.0	M	NONE	PRESERVE	
G1	a	ACER SACCHARINUM	30.0	G	2.4	M	NONE	PRESERVE	
	b	ACER SACCHARINUM	26.0	G	2.4	M	NONE	PRESERVE	
G2	a	PICEA GLAUCA	30.0	G	2.4	M	LIMITED: NEW SILT FENCE	PRESERVE	
	b	PICEA GLAUCA	32.0	G	3.0	M	NONE	PRESERVE	
	c	PICEA GLAUCA	26.0	F	2.4	M	NONE	PRESERVE	
	d	PICEA GLAUCA	17.0	F	2.4	M	LIMITED: NEW SILT FENCE	PRESERVE	
	e	PICEA GLAUCA	20.0	F	2.4	M	NONE	PRESERVE	

(1) Trees recommended for PRESERVING in SHADED BOXES  
(2) Condition: Good (G) - dead branches less than 10%; signs of good compartmentalization on any wounds; no structural defects  
Fair (F) - 10-30% dead branches; size or occurrence of wounds present some concerns; minor structural defects  
Poor (P) - more than 30% dead branches; weak compartmentalization; early leaf drop; presence of insects or disease; major structural defects  
Dead (D) - tree shows no signs of life  
(3) Ownership: S - Subject Site  
M - Municipality  
A - Adjacent Site  
(4) Impacts: NONE - no construction activity occurs at or within the dripline of a tree.  
LIMITED - construction activity occurs at or within the dripline of a tree, but is not likely to lead to tree death in the short term (5-10 years) if precautionary measures are taken; this may require root pruning.  
IMPACTED - construction activity (XXX = structures, fencing, trenching, grading, etc) which requires the direct removal of a tree or occurs within a significant portion of the canopy/root zone, such that the activity will significantly affect tree health leading to death in the short term  
(5) Recommendation: Preserve, Remove, Transplant  
(6) Comments based on tree health, condition, structure and existing physical constraints; recommendations for pruning or decompaction.

HWY. 410

- TREE PRESERVATION NOTES:
- ANY TREES LOCATED ON THE PROPERTY LINE OR ON THE ADJACENT PROPERTY THAT ARE PROPOSED TO BE REMOVED OR PRUNED WILL REQUIRE WRITTEN CONSENT FROM THE ADJACENT LANDOWNER. ALL CORRESPONDENCE IS TO BE FORWARDED TO THE TOWN PRIOR TO ANY REMOVALS.
  - 2:1 TREE COMPENSATION WILL BE REQUIRED FOR ALL TREE REMOVALS. TREE COMPENSATION PLANTING IS IN ADDITION TO THE STANDARD REQUIRED PLANTING. IN THE EVENT THAT TREE COMPENSATION CANNOT BE ACCOMMODATED FOR IN THE PLANTING DESIGN, FINANCIAL COMPENSATION SHALL BE COLLECTED AT A RATE (PER TREE) AS DETERMINED BY THE TOWN. REMOVALS SHOULD OCCUR OUTSIDE OF THE BREEDING BIRD SEASON (APRIL-1-AUGUST 1). IF THIS IS NOT POSSIBLE, CLEARANCE WITH AN ECOLOGIST SHOULD OCCUR PRIOR TO CONSTRUCTION TO ENSURE NO LOSS OF BIRD NEST, EGG OR UNFLEDGED YOUNG.

CLIENT

**BROCCOLINI**

2680 SKYMARK AVENUE, SUITE 800  
MISSISSAUGA, ON. L4W5L6

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**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

**KEY PLAN**

**Town of Caledon  
APPROVED  
AS NOTED**

This approval constitutes a general review and does not certify dimensional accuracy.  
This approval is subject to further certification of the "as recorded" works by a Professional Engineer of the Province of Ontario.

Date: \_\_\_\_\_  
Approved By: \_\_\_\_\_  
Print Name: \_\_\_\_\_

**ISSUES**

No.	DESCRIPTION	DATE
1	ISSUED FOR ZBA AND SPA	NOV 12, 2021

**LEGEND**

- MINIMUM PROTECTION ZONE
- EX. DECIDUOUS TREE TO REMAIN
- EX. CONIFEROUS TREE TO REMAIN
- EX. DECIDUOUS TREE TO BE REMOVED
- TREE PRESERVATION FENCING  
SEE DETAIL 1, TPD-1
- TREE GROUP
- TREE TAG / IDENTIFICATION
- TREE PRESERVATION DETAILS REFER TO TPD-1

**NOT FOR CONSTRUCTION**

**SEAL**

**PROJECT**  
12304 HEART LAKE ROAD

CALEDON, ON. L7C 2J2

**PROJECT NO:**  
135636

**DRAWN BY:**  
TK

**PROJECT MGR:**  
SA

**CHECKED BY:**  
TO

**APPROVED BY:**  
TO

**SHEET TITLE**  
**TREE PROTECTION PLAN**

**SHEET NUMBER**  
TPP-1

**ISSUE**  
01

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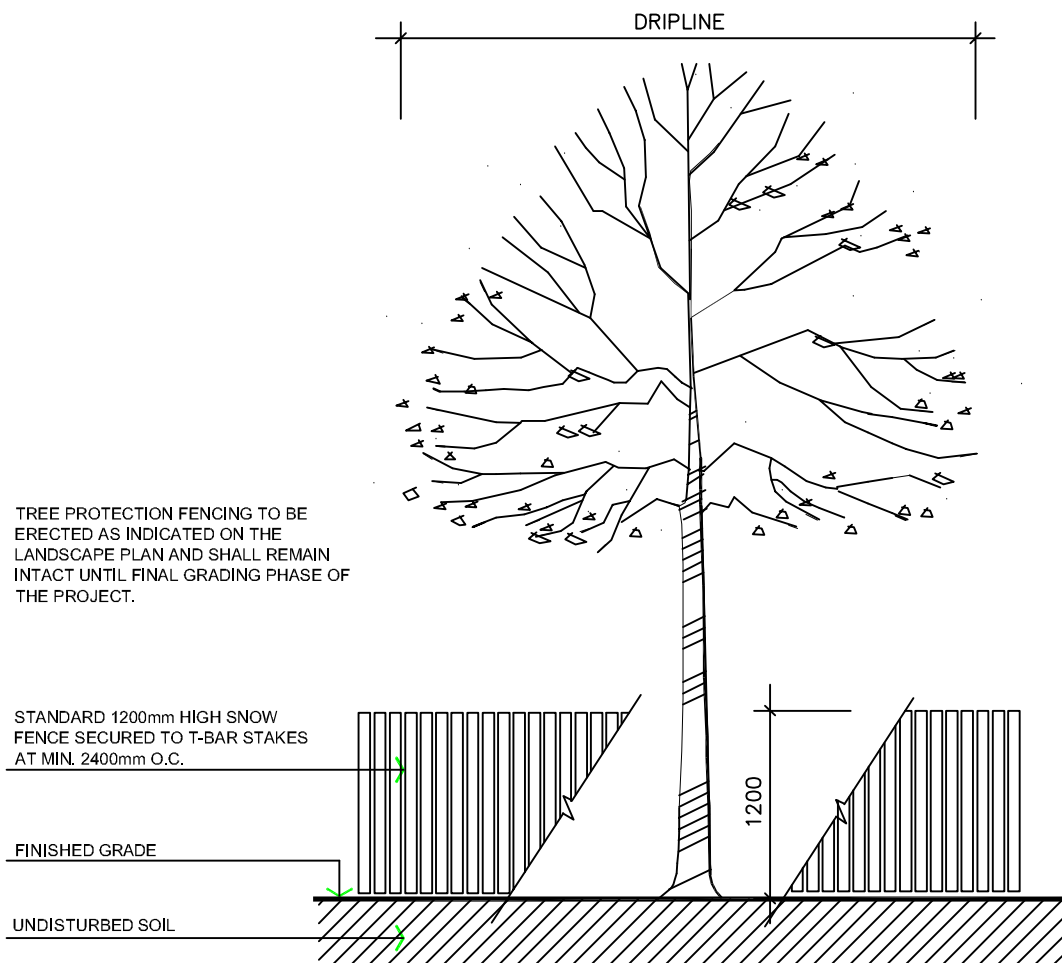
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November 12, 2021

Arborist Report – 12304 Heart Lake Road, Caledon ON

## APPENDIX E – TOWN OF CALEDON TREE PRESERVATION STANDARDS AND SPECIFICATIONS





**SPECIFICATIONS FOR THE PROTECTION AND PRESERVATION OF EXISTING VEGETATION:**

1. PRIOR TO ISSUANCE OF THE BUILDING PERMIT, ALL EXISTING TREES THAT ARE TO BE PRESERVED SHALL BE FULLY PROTECTED WITH HOARDING (IE SNOW FENCING) OUTSIDE THEIR 'DRIPLINES', TO THE SATISFACTION OF THE TOWN.
2. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER WITH HOARDING AROUND THE ENTIRE CLUMP(S).
3. AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS OR EQUIPMENT. NO CONTAMINANTS SHALL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
4. PRUNE BRANCHES TO REMOVE DAMAGED LIMBS ONLY. DO NOT DAMAGE LEADERS. ALL CUTS OVER 25mm SHALL BE TREATED IN ACCORDANCE WITH APPROPRIATE HORTICULTURAL PRACTICES AS APPROVED BY THE TOWN.
6. CUTTING OF ROOTS OR CHANGING OF GRADES AROUND EXISTING TREES TO BE PRESERVED WILL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
7. TREES THAT HAVE DIED, OR HAVE BEEN DAMAGED BEYOND REPAIR SHALL BE REPLACED AT THE DEVELOPER'S EXPENSE, WITH TREES OF A SIZE AND SPECIES APPROVED BY THE TOWN.
8. IF TREES ARE BEING ADVERSELY AFFECTED BY CONSTRUCTION, A WATERING AND FERTILIZING PROGRAM IS TO BE SET UP TO THE SATISFACTION OF THE TOWN.
9. TREE PRESERVATION FENCE TO BE INSPECTED BY THE CONSULTING LANDSCAPE ARCHITECT AND APPROVED PRIOR TO CONSTRUCTION COMMENCING.

TOWN OF CALEDON					APR'D: C.C.	DATE: JUNE 08
TREE PRESERVATION	2	STANDARD No. 1135 NOW 707, NOTES EDIT		JUNE 08	DRAWN: abal	SCALE: NTS
	1	NOTE NO. 9 ADDED		MARCH 08	STANDARD No. 707	
	NO.	REVISION	APR'D	DATE		

# SPECIFICATIONS

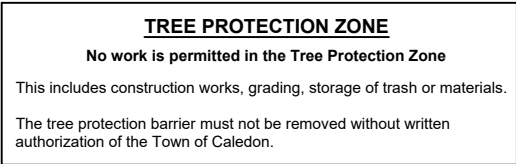
## A. General

The following Tree Preservation and Protection Measures will be undertaken to help eliminate and/or significantly reduce construction injury to all trees recommended for preservation. All temporary tree protection measures cited for retained trees must comply with the Town of Caledon Tree Protection Specifications and Details. Any variation from the standard tree protection measures must be approved in writing by the Town of Caledon.

## B. Pre-Construction Phase

1. Prior to construction, the trees to be preserved shall be protected with a Tree Protection Barrier. The barrier shall consist of 1.2m (4ft) high orange plastic snow fence wired to T-bars (see Town of Caledon Tree Preservation Fencing, STD 606).
2. If applicable, attach a filter cloth 600mm high to the construction side of the hoarding to act as sediment control. Sediment control fencing shall meet or exceed OPSD-219.110, and be installed to the satisfaction of the Town of Caledon.
3. All supports and bracing used to safely secure the barrier should be located outside the Tree Protection Zone (TPZ). All supports and bracing should minimize damage to roots.
4. The TPZ fence is to be installed along the edge of the tree protection zones. This hoarding is to remain in place and remain in good condition throughout the entire duration of the project. Dismantling the tree protection barrier prior to approval by the Town of Caledon staff may constitute a contravention.
5. The applicant shall notify the Town of Caledon and the consulting certified arborist or landscape architect to confirm that the tree protection barriers are in place.

6. Where fill or excavated material must be temporarily located near a TPZ, a wooden barrier must be used to ensure no material enters the TPZ.
7. Remove any garbage and foreign debris from the tree protection zones, daily.
8. For the trees that were recommended for removal and/or crown pruning that are within the TPZ limits, these activities are to be performed by a qualified ISA certified arborist prior to the installation of the Tree Protection Zone barriers and prior to the commencement of any construction activities. Install the Tree Protection Zone barrier as per Tree Preservation Fencing, STD 606 at the limits shown on the tree inventory and protection plan after the tree removal, whichever is greater, and crown pruning activities are completed.
9. A **Tree Protection Zone** sign must be mounted on all sides of the tree protection barrier for the duration of site construction. The sign should be a minimum of 40cm x 60cm and made of white gator board or equivalent material.
10. The sign must be similar to the illustration shown below, or as directed by the Town of Caledon.



11. All contractors and site visitors should be informed of the tree preservation and protection measures at a pre-construction meeting.

specifications continued on next panel...

TOWN OF CALEDON					APR'D: B.B.	DATE: AUGUST 17
TREE PRESERVATION STANDARD NOTES - PART 1					DRAWN: B.M.	SCALE: NTS
					STANDARD No. 710	
	NO.	REVISION	APR'D	DATE		

## SPECIFICATIONS continued from previous panel

### C. During Construction Phase

1. All areas within the TPZ shall remain undisturbed for the duration of construction. There will be no grade changes, dumping, and storage of any materials, structures or equipment within these areas. The Tree Protection Barrier must not be removed without the written authorization of the Town of Caledon.
2. Minor grading works will be permitted at the edge of the preservation zone as required to correct localized depressions, and blend to existing grades. This work to be undertaken under the direct supervision of an ISA certified arborist.
3. A certified ISA arborist will undertake proper root pruning in accordance with acceptable arboriculture practices when and if roots of retained trees are to be exposed, damaged, or severed by construction work. The exposed roots will be backfilled with appropriate material as soon as possible to prevent desiccation. Root pruning prior to excavation will help prevent necessary damage to tree roots. The use of low pressure hydrovac to expose roots is recommended, at no additional cost.
4. The Town of Caledon must be notified for all work that impacts the TPZ for temporary removal of a section of hoarding to gain access for fine grading or other works. All works are to be supervised by the Town of Caledon.
5. No cables, wire or ropes of any kind shall be wrapped around or installed in trees to be preserved.
6. No contaminants will be dumped or flushed in the TPZ areas or where feeder roots of trees exist (generally beyond the TPZ areas).
7. Irrigate tree protection zones during drought conditions, June to September to reduce drought stress.
8. Inspect the site daily to ensure hoarding is in place and in good condition. Inspect trees to monitor condition.

### D. Post Construction Phase

1. Following the completion of all site works including landscaping, and after review and approval by the Town of Caledon staff, the protective hoarding may be removed.
2. After removal of the protective hoarding, the Tree Preservation Zones shall be inspected by the Town of Caledon staff. Any remaining dead, diseased, or hazardous limbs or trees are to be removed by an ISA certified arborist as directed by the consulting arborist or Town of Caledon staff.

end of specifications

TOWN OF CALEDON					APR'D: B.B.	DATE: AUGUST 17
TREE PRESERVATION STANDARD NOTES - PART 2					DRAWN: B.M.	SCALE: NTS
					STANDARD No. 711	
	NO.	REVISION	APR'D	DATE		