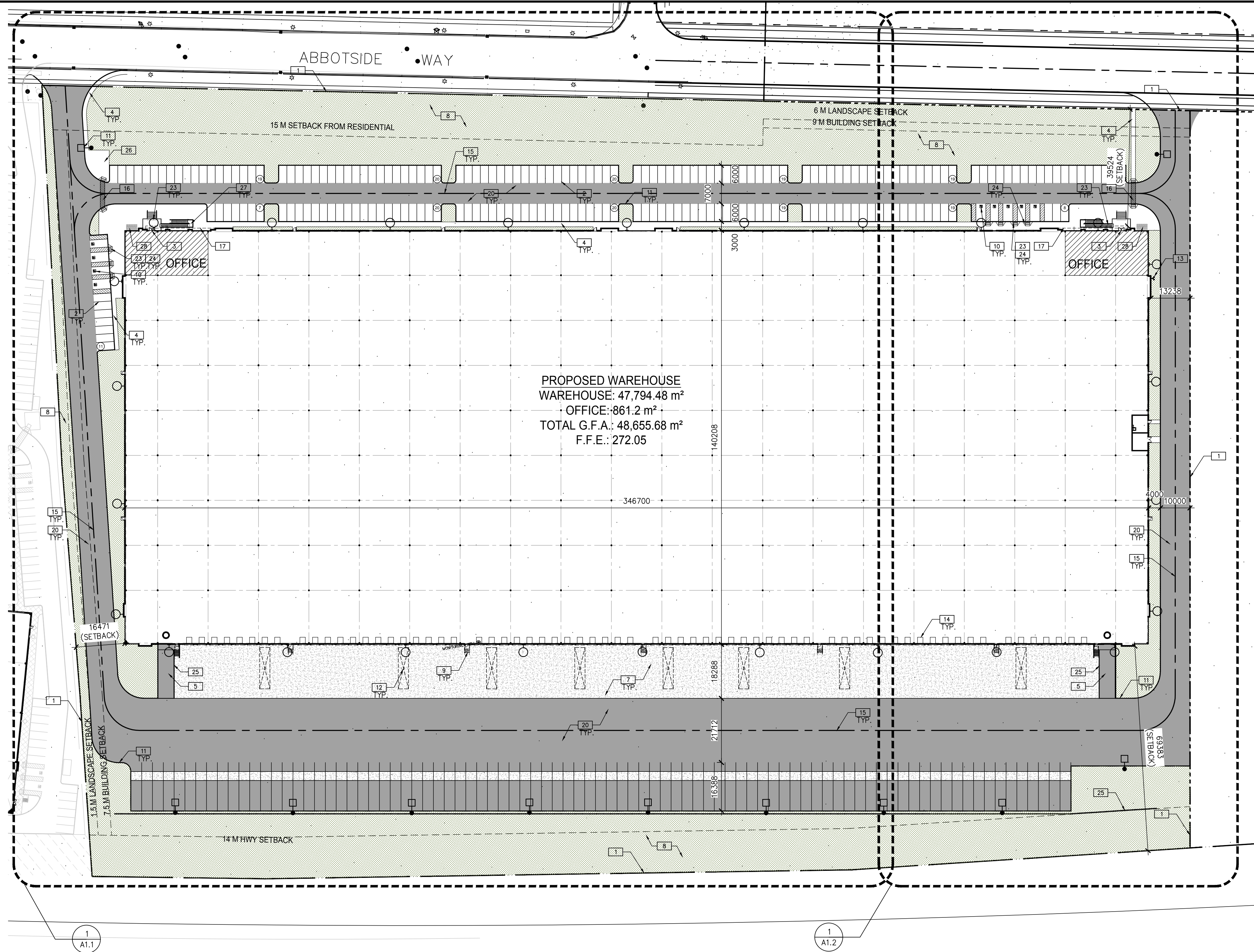


W:\TOR\21\0032\00\Architectural\Cad\SO\0032\_A10.dwg



## OVERALL SITE PLAN

SCALE: 1:750



### SITE PLAN NOTES

- PROPERTY LINE
- 2.75x6.00m PARKING STALL, PAINTED PARKING STRIPPING PER CITY STANDARDS.
- PRINCIPLE ENTRY - TO HAVE AUTOMATIC DOOR OPERATOR INSTALLED AND BE KEPT CLEAR OF ANY BARRIERS OR OBSTRUCTIONS.
- 1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O - TO BE POURED CONCRETE, UNIT PAVING, OR PERMEABLE PAVEMENT
- DRIVE-IN RAMP, SEE CIVIL DRAWING FOR SLOPE %
- ACCESSIBLE PARKING SIGNS CENTERED AT THE END OF ALL ACCESSIBLE PARKING SPACES, TO BE MIN MOUNTED 1.0M (MAX 2.0M) ABOVE PARKING LOT SURFACE, POLE MOUNTED AND DESIGNED IN ACCORDANCE WITH SECTION 11 OF REG. 581 WITHIN THE HIGHWAY TRAFFIC ACT. ALL SIGNAGE AT 'TYPE A' SPACES TO IDENTIFY SPACE AS "VAN ACCESSIBLE"
- CONCRETE APRON - SEE CIVIL DWGS.
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PROVIDE CONCRETE FILLED PROTECTION BOLLARDS AT BOTTOM OF STEEL STAIRS AT EACH GUARDRAIL.
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS. EACH PAIR OF SHARED STALLS TO HAVE (1) TYPE A (3.40x6.00m) & (1) TYPE B (2.75x6.00m) STALL C/W A 1.5m PAINTED AISLE - REFER TO SCHEDULE 'K' TOWN OF CALEDON STANDARDS AND DETAIL A/A1.2 C/W ACCESSIBLE PARKING SIGNAGE
- 1500mm WIDE CURB TYPICAL
- LOADING SPACE - L.S. (3.5m x 14.0m)
- FIRE DEPARTMENT CONNECTION / SIAMESE
- TRUCK LOADING DOCK, TYP.
- FIRE ACCESS ROUTE W/ 12.0m TURNING RADIUS ( ) PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY TOWN OF CALEDON BY-LAW BL-2015-058, AS PER DETAIL B/A1.2.
- PEDESTRIAN WALKWAY WITH PAINTED LINE PER TOWN OF CALEDON STANDARDS.
- LINE OF CANOPY ABOVE
- PROPOSED LOCATION OF ELECTRICAL ROOM
- PROPOSED LOCATION OF MECHANICAL ROOM
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS. FIRE ACCESS ROUTE WILL BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11,363 kg PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15 M.
- FIRE HYDRANT
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD DRAWING NO. 402, OPSD 350.010. SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 80.27 OF THE IAS.
- DETECTABLE TACTILE WARNING SURFACE. CONFORMING TO 2012 O.B.C
- ACCESSIBLE CURB RAMP
- PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 0.60m. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
- AMENITY AREA - REFER TO LANDSCAPE DWGS
- ACCESSIBLE RAMP
- LOCATION OF BICYCLE RACK - SEE LANDSCAPE DWGS.
- RETAINING WALL - SEE CIVIL DWGS.

### PROJECT DATA

TOR21-0032-00 HEART LAKE ROAD - OVERALL SITE		
SITE STATISTICS		
Zoning Category	MP/MS	
Proposed Use	Warehouse	
Building Classification	Group F2 (O.B.C. A- 3.1.2.1.(1))	
GROSS SITE AREA	99,546.22m²	1,071,505.56 ft²
Zone Permitted Use (CALEDON BY-LAW NO. 2006-50)		
Proposed Use	Warehouse	
Regulations (Prestige Industrial, Exceptions - 462)		
	Proposed	Required
Min. Lot Area	99,546.22m²	0.8ha
Min. Lot Frontage (m)	388.76	30.0m min
Min. Front Yard Building Setback (m)	39.52	15.0(W), 6.0(E)
Min. Interior Side Yard Building Set back (m)	13.23	NIC
Min. Exterior Side Yard Building Set back (m)	16.72	7.5
Min Rear Yard Building Setback (m)	69.38	14.0
Min Landscape Buffer	3.0	3.0
BUILDING HEIGHT	12.5	18m max
BUILDING FLOOR AREA		
Warehouse	47,794.48m²	
Future Accessory Office	861.20m²	
TOTAL BUILDING GFA	48,655.68m²	
BUILDING COVERAGE	48.87%	max 50%
PARKING REQUIREMENT		
	PROPOSED	REQUIRED
Warehouse		
1st 7000m² @ 1.0/90 m²		78
7000m² - 20,000m² @ 1.0/145 m²		90
OVER 20,000m² @ 1.0/168 m²		166
Total No. of Parking Spaces	220	334
Total No. of Accessible Parking Spaces	9	7
Parking Stall Dimensions	STANDARD - 2.75m X 6.0m ACCESSIBLE TYPE A - 3.4m X 5.2m TYPE B - 2.4m X 6.0m	
Loading Space	8	8
Loading Space Dimensions	3.5m X 14.0m	
Dock High Doors	67	N/A
Drive-In Doors	2	
Landscape area		min 10%

### SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- FIRE ACCESS ROUTE MIN. 12.0M TURNING RADIUS
- MAN DOOR ENTRY
- TRUCK LOADING DOCK DOOR
- DRIVE IN DOOR
- PROPOSED FIRE HYDRANT (VERIFY LOCATION W/CIVIL DWGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION W/CIVIL DWGS)
- FIRE ROUTE SIGNAGE 30CM X 45CM - AS PER TOWN OF CALEDON BY-LAW 2015 - REFER TO DETAIL 2/A1.0
- RC-93 BARRIER-FREE PARKING SIGNS FOR ALL ACCESSIBLE PARKING SPACES
- SIAMESE CONNECTION (VERIFY LOCATION W/CIVIL DWGS)
- DENOTES CATCHBASIN (SEE CIVIL DWGS)
- DENOTES MANHOLE (SEE CIVIL DWGS)
- DEPRESSED CURB(SEE DETAIL 2/A1.0)
- LOADING SPACE (3.5m X 9.0m) TYP.
- NO. OF PARKING SPACES
- EXTERIOR WALL LIGHTS (SEE PHOTOMETRICS DWGS)
- EXTERIOR LIGHTS POLES (SEE PHOTOMETRICS DWGS)
- BICYCLE PARKING

### WARE MALCOMB

Loading Design for Commercial Real Estate

architecture  
planning  
interiors  
graphics  
civil engineering

180 bass pro mills drive, unit 103  
vaughan, ontario, L4K 5W9  
p 905.760.1221  
f 905.248.3344  
a business name of WMA Inc.



12304  
HEART LAKE ROAD  
12304 HEART LAKE ROAD  
CALEDON, ON

### OVERALL SITE PLAN

REMARKS	
DATE	ISSUED FOR SPA
2020-11-24	
	2

PA / PM:	AM
DRAWN BY:	
JOB NO.:	TOR21-0032-00

SHEET

A1.0

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

2021-11-24\_ISSUED FOR SPA