



CULTURAL HERITAGE IMPACT ASSESSMENT (CHIA)

for
0 & 12245 Torbram Road
'Tullamore Lands' - Part of Lot 18, 19, 20 Concession 6.
Town of Caledon, Ontario

GBCA Project No: 21012

prepared for:

Tullamore Industrial GP Limited
5762 Mayfield Road
Caledon, ON

prepared by:

**Goldsmith Borgal & Company
Ltd. Architects**
362 Davenport Road, suite 100
Toronto, ON, M5R 1K6

GOLDSMITH BORGAL & COMPANY LTD. ARCHITECTS
Suite 100 | 362 Davenport Road, Toronto M5R 1K6



**TOWN OF CALEDON
PLANNING
RECEIVED**

May 11, 2023

TABLE OF CONTENTS

EXECUTIVE SUMMARY	2
1. INTRODUCTION	3
1.1 Description of the property	3
1.2 Present Owner and Contact Information	3
1.3 Location Plan	3
1.4 Survey	4
1.5. Site Photographs	5
2. BACKGROUND RESEARCH	8
3. HERITAGE STATUS	13
3.1 Adjacencies	13
4. CONDITION REVIEW	16
5. ASSESSMENT OF PROPOSED REDEVELOPMENT	17
5.1 Description of Proposed Redevelopment	17
5.2 Impacts on Heritage Resources	20
6. CONSERVATION STRATEGIES	21
7. CONCLUSION	23
8. CLOSURE	23
9. SOURCES	24

APPENDICES

APPENDIX I -	Standards and Guidelines for the Conservation of Historic Places in Canada
APPENDIX II -	Development Drawings - Turner Fleischer Architects
APPENDIX III-	Structural memo by Ojdrovic Engineering

EXECUTIVE SUMMARY

Goldsmith Borgal & Company Ltd. Architects (GBCA) was retained by Tullamore Industrial GP limited to prepare a Cultural Heritage Impact Assessment (CHIA) for the purposes of an Official Plan and Zoning By-law Amendment application.

The subject property comprises part of Lots 18, 19, 20, Concession 6 East of Hurontario Street. The environs feature a mix of early 19th-century farm houses, newer residential and commercial development, as well as open land historically associated with agricultural uses. Early settlers realised the agricultural potential of the rich soils located here in the Peel Plain. The resulting rural character of the area is a result of the concession/lot system dating back to 1819 which created hundreds of 200-acre lots.

Located on the large assembly is a small farmhouse at 12245 Torbram Road, estimated to date from c1850-1874. The house, with medium-pitched side gable roof and dichromatic brick patterning, is similar to several other farmhouses in the area. At the time of this report, the listed property is in very poor repair and requires stabilisation (see Appendix III). The proposed conservation strategy will involve the preservation, rehabilitation and restoration of the house. Details regarding repair, stabilisation, preservation and long term conservation would be explored in a detailed Conservation Plan at a later date.

The farmhouse is located on a parcel comprising a small portion of the subject site or 'Tullamore lands', which totals approximately 363 acres. A commercial/warehousing centre is proposed here, including 12-warehouse facilities totalling 4,934,987 square-feet of new built area are proposed within a new road network extending from Torbram Road to the west, Airport Road to the east, and Mayfield Road to the south. The proposed development will feature 1081 loading spaces, 3877 car parking spaces, and 1322 trailer parking areas.

As a consequence of the proposed warehousing centre, the necessary relocation of the small farmhouse at 12245 Torbram Road is required. The subject property, with a current lot frontage of approx. 43 metres from the limit of Torbram Road, is proposed to be permanently relocated to the

south-east of this onto lands on the west-half of Lot 18 that is comprised of 64.77 acre's of greenbelt/swamp area. Here, the farmhouse is proposed to be incorporated within the existing landscape of the greenbelt portion of the property, and brought closer to the Torbram Road.

The development site is adjacent to the Tullamore Secondary Plan Industrial/Commercial Centre which has been viewed (in section 5.1.5.4 of the Official Plan) as *"transitioning toward a more urban development pattern... with a wider range of retail and service uses permitted in order to accommodate contemporary retail formats."* The Official Plan encourages the retention and conservation of heritage resources and the integration of these resources into the new development proposals.

The proposed land assembly and relocation will have minor impacts on the heritage attributes of the existing farmhouse at 12245 Torbram Road. Although relocation is not typically favoured, in this case relocation can be seen as a mitigation strategy for the building's long-term preservation. These elements along with mitigation strategies are discussed in more detail throughout the report.

GBCA has reviewed the proposed development with respect to its adjacency to heritage resources (as defined in the Town's Official Plan) and the overall "fit" of the development into the existing site and context.

In our view, and in light of consideration of strategies to reduce impacts on heritage properties, this proposal balances demands for intensification with those of heritage preservation in a manner that allows both objectives to be appreciated as a part of a complex and changing environment.

1. INTRODUCTION

1.1 Description of the property

The property at 12245 Torbram Road is a farmhouse located on a parcel of land comprising the Tullamore lands, which totals approximately 363 acres. A proposed commercial/warehousing development, bound irregularly by Torbram Road to the north, Airport Road to the east, and Mayfield Road to the south. The south-east corner of the site is occupied by a 64.77 acre lot designated as a greenbelt/swamp area. The proposed development site is located within an area that is characterised by pasture land, farm houses and its largely rural character dating to the concession/lot system that created hundreds of 200-acre lots in the early 1800s.

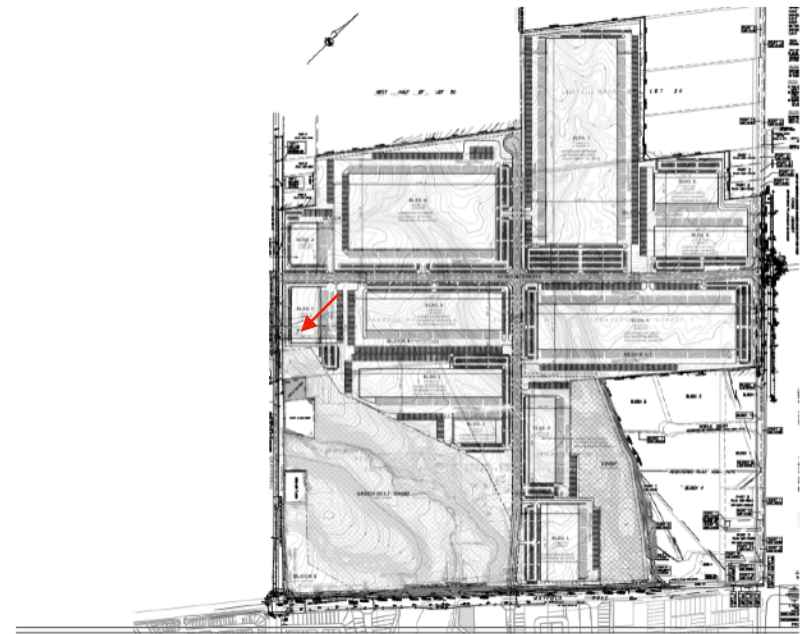
The site includes a 1-1/2 storey neo-classical style farmhouse, built c. 1850-1875. The property is noted in the Town of Caledon's listing under Section 27 (1.2) of the Ontario Heritage Act.

1.2 Present Owner and Contact Information

Owner: Tullamore Industrial GP Limited
5762 Mayfield Road
Caledon, ON

Contact: Aarthi Thaya
Development Manager
aarthi.thaya@ricegroup.ca

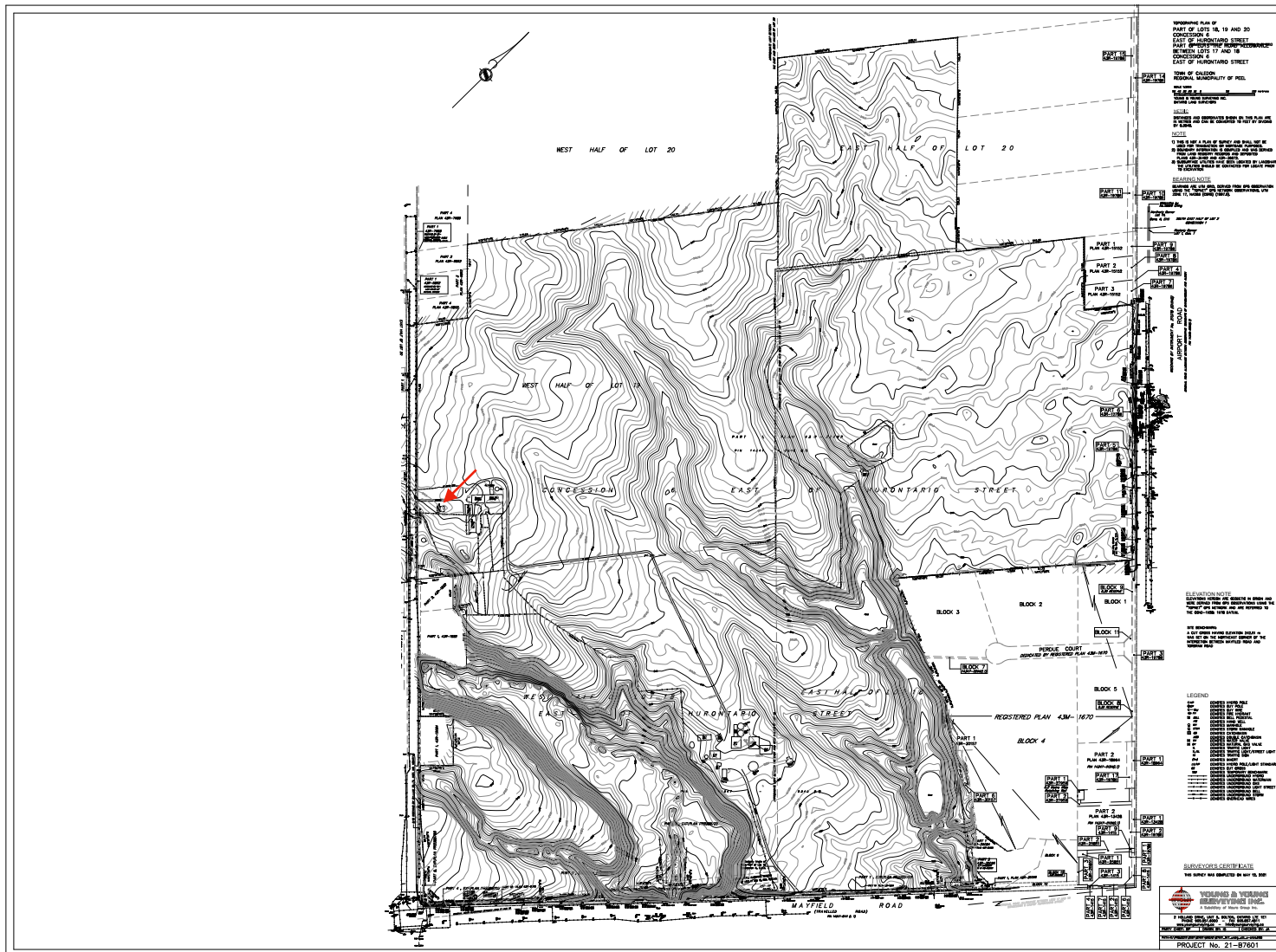
1.3 Location Plan



The location of the heritage resource is noted above in red:

1. 12245 Torbram Road (1850-1875) Listed in the Town of Caledon's heritage register.

1.4 Property Survey



1.5 Site Photographs



A view looking towards the front elevation of 12245 Torbram Road from the west side of the road. A portion of the west elevation is visible here, although a majority of the site is obscured from the public realm by a heavy cover of older coniferous and deciduous plantings.



From the northern boundary of 12245 Torbram Road looking to an adjacent field. Building 'F' is proposed to be located in this general area.



Looking east from the rear yard of the subject site towards the actively used barn on the property. The barn is proposed to be removed to accommodate Building 'F'.



View looking along the tree-lined entrance of 12245 Torbram Road looking west towards Torbram Road.



View of the principle (west) elevation of 12245 Torbram Road with the main house located to the right, with a central opening and a pair of six-over-six sash windows on either side. The frieze beneath the roof cornice is visible here, and a dentil band above.



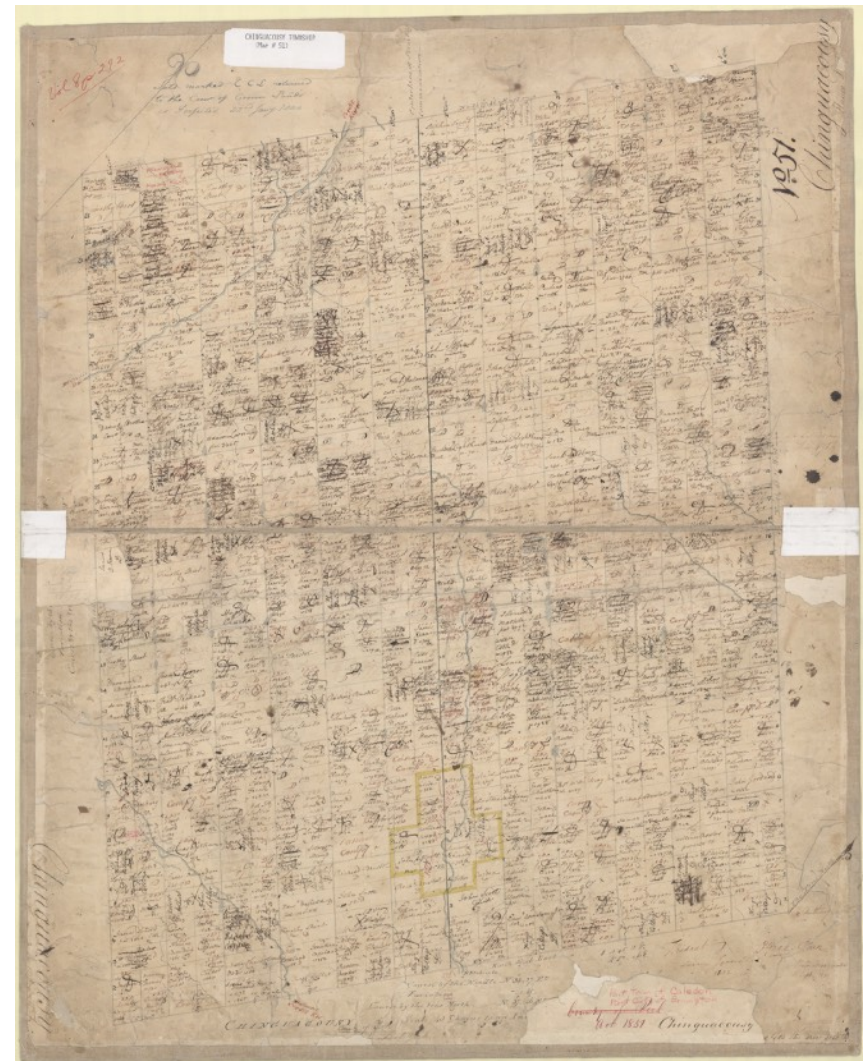
View of the east elevation, with the lower addition visible and the rear elevation of the main house obscured by vegetation. The top windows of the east elevation have been covered.

2. BACKGROUND RESEARCH

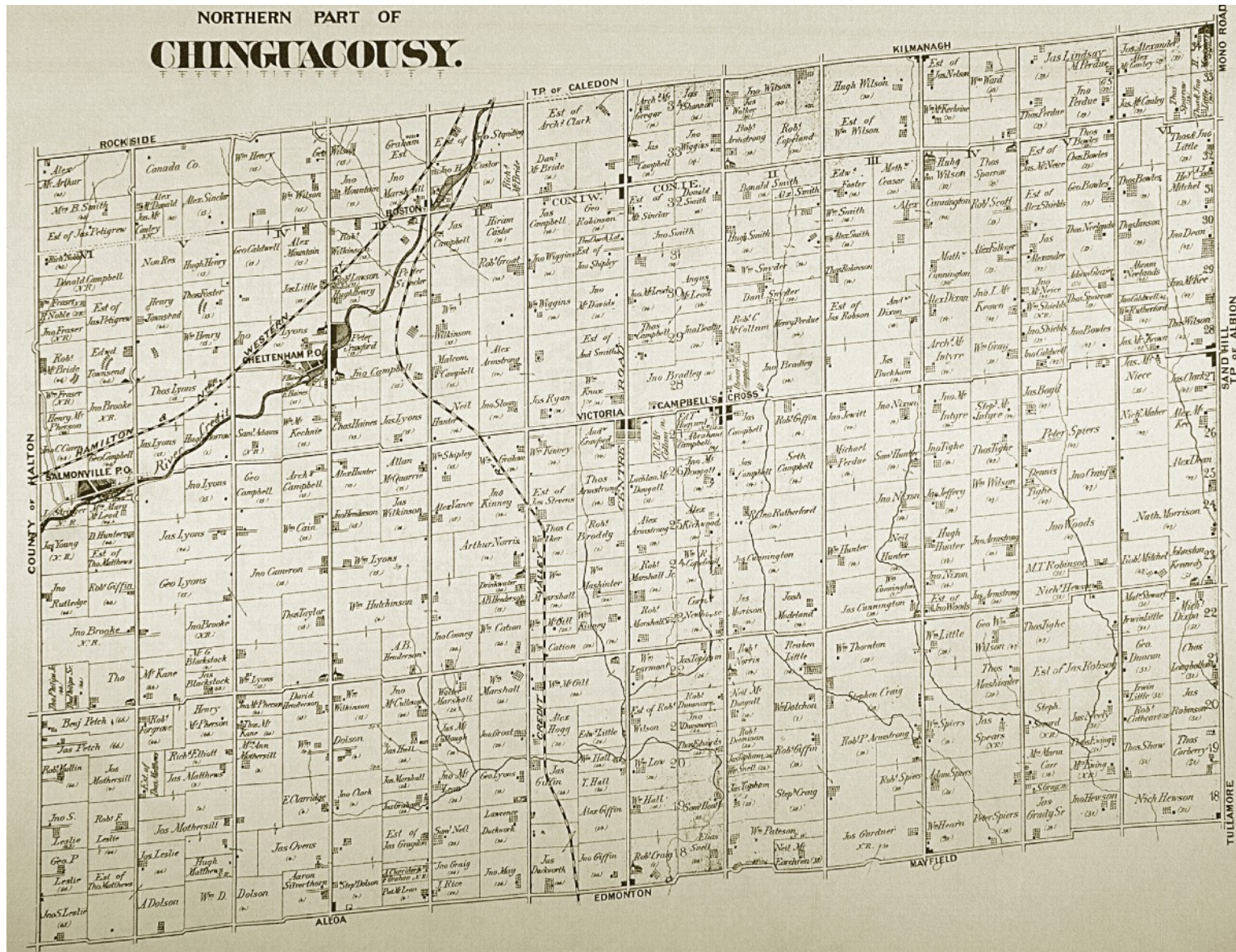
The land now encompassed by the Town of Caledon and Peel Region has a cultural history that begins approximately 10,000 years ago (the Peel Plain once being an ancient lakebed). During most of the 1600s, the Iroquois Confederacy or Five Nations controlled vast portions of Southern Ontario, including the area that is now Peel. Around 1700, the Iroquois, weakened by disease and warfare with the French, were pushed out of the area by the Anishinabeg, a group then migrating southward. The Anishinabeg were given a different name by the European settlers: The Mississaugas.

In addition to their three small reserves located on the Lake Ontario shoreline, the Mississaugas of the Credit held 648,000 acres of land north of the Head of the Lake Purchase lands. The Deputy Superintendent of the Indian Department met with the Mississaugas in October 1818 and proposed that the Mississaugas sell their land in exchange for an annual amount of goods. Chief Ajetance, on behalf of the assembled people, agreed to the sale of lands due to the weakened traditional economy and rapidly declining population following the continuous inflow of settlers. European settlement followed the Ajetance Treaty, No. 19 (1818).

Historically, the subject properties are located in the Former Township of Chinguacousy, County of Peel. The County of Peel was an upper-tier municipality created in 1852, named after Sir Robert Peel, Home Secretary and Prime Minister of Britain. When formed, the County of Peel comprised five townships - Toronto, Toronto Gore, Chinguacousy, Caledon and Albion – and was bounded on the south by Lake Ontario, on the west by the Counties of Halton and Wellington, on the north by the Counties of Wellington and Simcoe, and on the east by the County of York. The Township of Chinguacousy (said to have been named by Sir Peregrine Maitland after the Mississauga word for the Credit River meaning “young pine”) was the largest township in Peel County. It was bounded on the north by Caledon, on the east by Albion and Toronto Gore, on the south by Toronto Township, and on the west by the County of Halton.



The Crown Patentees for Lot 19, Concession 6 East of Hurontario were Peter McIntyre (east half) and Dugald Mackenzie (west half).



Illustrated Historical Atlas of the County of Peel (1877)

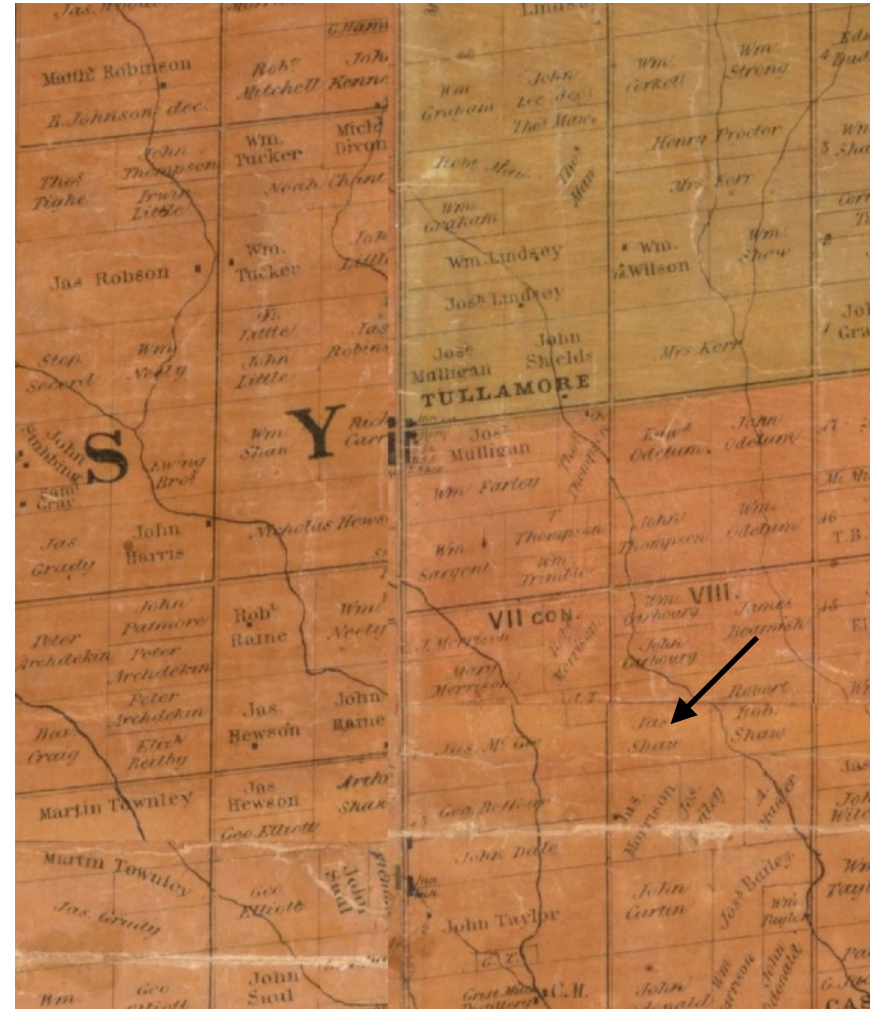
Chinguacousy Township was formally surveyed in 1819 by the surveyor Richard Bristol and the first legal settlers took up their lands later that same year. It was recorded that the first landowners in Chinguacousy included settlers from New Brunswick, the United States, and parts of Upper Canada. A large portion of them were the children of the United Empire Loyalists who came to Canada at the close of the American war and settled near Niagara.

The Township was one of the first surveys to use the “double-front system.” In this system the common unit of concession is the half-lot of 100 acres, with each half of the 200 acre lot fronting on a different concession line road. These half lots are almost square. Concessions run essentially north-south and at every five lots there was an allowance for a side road. Chinguacousy is divided by Hurontario street running through its centre, the concessions numbering east and west from it. The subject property consists of part of Lots 18, 19, 20, Concession 6 East of Hurontario Street.

The conditions for land grants included that a cabin, at least 16 x 20, had to be built “in the clear” and occupied for one year. Five acres of land had to be cleared, fenced and planted and half of the road allowance along the front of the lot had to be cleared. The land could not be resold for three years.

The 1827 Assessment Roll shows a total of 27,211 acres of land taken up, with 3,702 acres cleared and the remaining 23,509 acres uncleared. This total of over 27,000 acres, occupied by 1827, represented almost a third of the Township. Only six settlers had by that time managed to build what might be termed a respectable house. Three were assessed for a one storey, square timber house and three for a frame house of less than two storeys. One saw mill and two stores were located in the Township in that year.

These lots have historically been used for agricultural purposes as the rich soils of the Peel Plain were quickly recognised for their agricultural potential and greatly coveted by early pioneers. Once the land had been cleared, farmers benefited from the plain-like flatness and rich soil. According to the 1866 Directory, the Township was second to none in the County as a wheat producer.

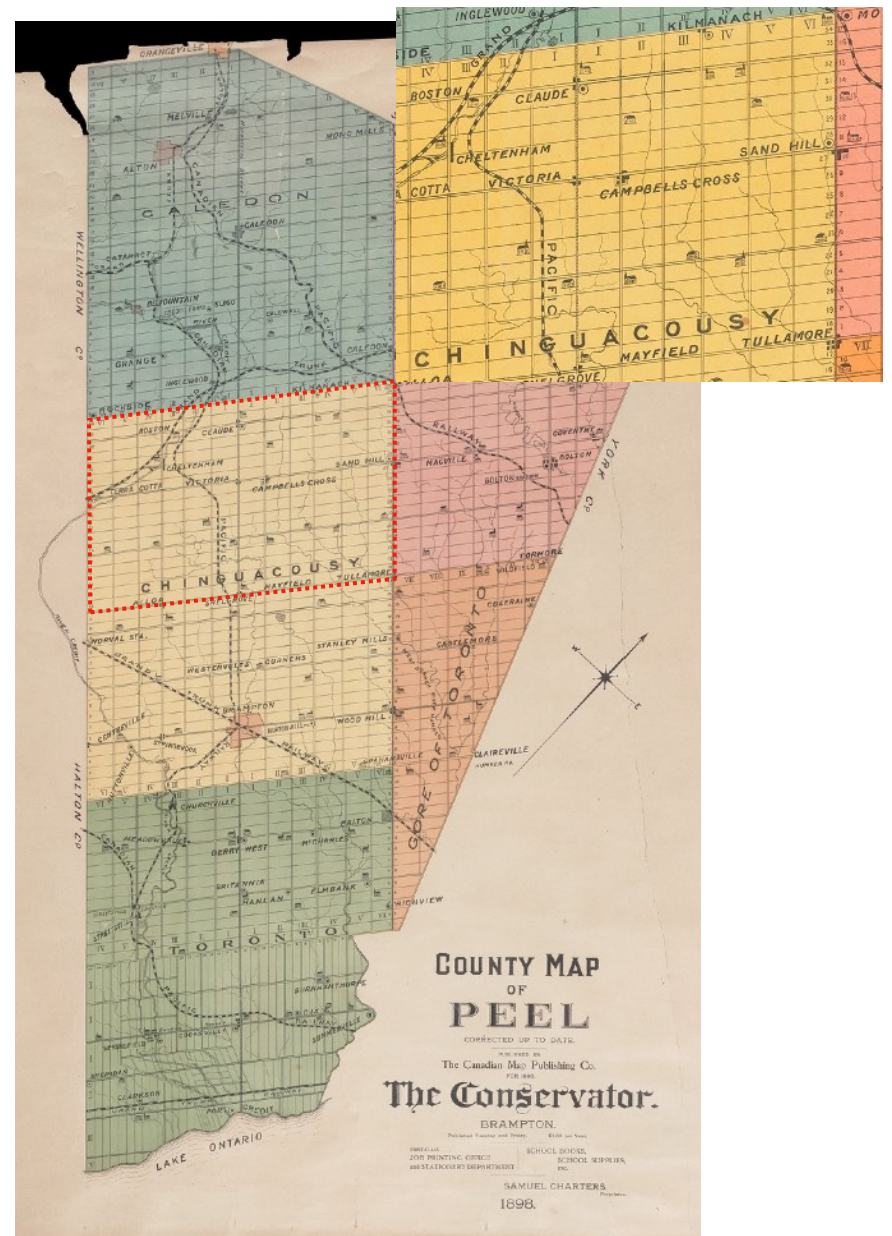


By 1859, the Tremaine Map of Peel denotes the west half of Lot 19 as the property of William Shaw. By 1877 (the date of the Illustrated County Atlas), the property was occupied by Thomas Shaw. Thomas Shaw can be found in the Directory of the County of Peel on Concession 6, Lot 19 as early as 1873-74.

Wheat prices skyrocketed in the mid-nineteenth century, pushed by a chain of events which began with the gold rush of 1849. Prices peaked in 1854-1855. Original log and frame houses were quickly replaced with brick farmhouses – some of which hinted at the wealth the land had brought to the Chinguacousy farmers. By 1877 the township was noted for its beautiful and substantial farm residences and barns. It is significant to note that from 1861 to 1881, the population of Chinguacousy was greater than that of the neighbouring Toronto Township. With its better land and the preeminence of the agricultural economy in those days, the township prospered.

Some lots were subsequently subdivided over the years - interspersed throughout this rural area are the historic settlements of Mayfield, Tullamore, Wildfield, Bolton, Sandhill, Campbell's Cross, Victoria, Alloa, Columbia, Edmonton, Glasgow and Macville. These historic settlements/villages/hamlets were situated at intersections of major early thoroughfares (giving them the name “crossroad” communities) and were important in supporting the surrounding agricultural areas.

The villages closest to the subject property were Tullamore (Toronto Gore Township) and Mayfield (Chinguacousay Township). Situated on the town line between Chinguacousy and Albion (now the intersection of Airport Road and Mayfield Road), the village of Tullamore was ten miles from Brampton and seven miles from Mono Road station. Initially anticipated to become a larger settlement, the village remained quite modest. It contained a large school house, one Church of England, a cabinet factory, several stores and one hotel. The other nearby village of Mayfield was a smaller settlement on the third line, seven miles from Brampton. There was once a brick school house, a general store and post office, a blacksmith shop and hotel.



County of Peel (1898)- Canadian Map Publishing Company

Concession 6 East of Hurontario Street, part of Lots 18, 19, and 20

The township has historically been rural in character. The rural character was created by the concession/lot system which created hundreds of 200-acre lots. The subject property consists of part of Lots 18, 19, 20, Concession 6 East of Hurontario Street.

The Crown Patentees for Lot 19, Concession 6 East of Hurontario were Peter McIntyre (east half) and Dugald Mackenzie (west half).

By 1859, the Tremaine Map of Peel denotes the west half of Lot 19 as the property of William Shaw. By 1877 (the date of the Illustrated County Atlas), the property was occupied by Thomas Shaw. Thomas Shaw can be found in the Directory of the County of Peel on Concession 6, Lot 19 as early as 1873-74. The Collectors Roll for the Township of Chinguacousy for 1879 records Thomas Shaw as the Freehold owner of Concession 6, Lot 19, west half, with 100 acres of land cleared and a value of \$3,800.

The eastern half of Lot 19 was owned by Richard Carr (1830s-1850s) and later Thomas Corberry (1860s-1870s).

The farmhouse on the former Shaw property (west half of Lot 19, Concession 6 East of Hurontario Street) is a good example of mid-nineteenth century Ontario rural vernacular architecture. Conforming to the typical rural pattern, the house fronts onto the concession line (originally 5th Line East).



Caesar-Ravenscroft House.



James McNeece House.

Other nearby listed properties of similar vintage include 13470 Torbram Road, 14324 Torbram Road, 14524 Torbram Road, 14676 Torbram Road, 14966 Torbram Road and 14681 Torbram Road.

The farmhouse at 12245 Torbram Road has a medium-pitched side gable roof with a dentilated wood cornice. Architectural features include a centre entrance flanked by large multi-pane, six-over-six sash windows. Decorative dichromatic brick patterning accentuates the window heads, corner quoins and the frieze beneath the roof cornice. In this manner, the building is similar to several other farmhouses in the area, notably the nearby Kennedy-Breen House (5962 Old School Road/Part Lot 23, Concession 6 East of Hurontario Street), which is a fine example of an early dichromatic brick house, a style of brick that was popular in Peel County in the early 1860s to late 1870s.

The farmhouse at 12245 Torbram Road is estimated to date c1850-1874 as noted in the Town of Caledon's listing of the building under Section 27 (1.2) of the Ontario Heritage Act. The approximate date is based on stylistic characteristics of the extant building, being similar to the one and one-half storey, red brick, medium gabled Caesar-Ravenscroft House, which dates c1850s. It is also stylistically similar to the nearby James McNeece house (14905 Bramalea Road/Part of West half of Lot 32, Concession 5 East of Hurontario Street), which dates c1860. And, as it is likely the building denoted on the 1877 County Map, the farmhouse at 12245 Torbram Road most probably post-dates 1877.



Kennedy-Breen House



12245 Torbram Road, 2021 (GBCA). West Elevation. Top left window added at a later date. The central door opening is inaccessible, and side window of the lower addition is closed in.



12245 Torbram Road, 2021 (GBCA). North Elevation. Blank wall with closed window openings and buttress to the left. Open joints in the masonry are noticeable from a distance. The buff-brick quoins are clearly visible on this elevation.



12245 Torbram Road, 2021 (GBCA). South Elevation. Inaccessible elevation due to tree and foliage overgrowth.



12245 Torbram Road, 2021 (GBCA). East Elevation (rear), showing current entrance to house with a brick buttress extending from the elevation, and structural deflection noticeable at gable ridge.

3. HERITAGE STATUS

The site includes a 1-1/2 storey neo-classical style farmhouse, built c. 1850-1875 at 12245 Torbram Road. The property is noted in the Town of Caledon's listing of the building under listed under Section 27 (1.2) of the Ontario Heritage Act.

This Register is an administrative and documentation tool used to assist in the identification and on-going preservation of significant heritage resources within the land use planning and permit application process.

Before being added to this Register, the cultural heritage value of a given property is assessed, using a set of provincially regulated criteria, that determines overall merit and significance. Based on the criteria, the heritage attributes and overall cultural heritage value of each resource is evaluated and assigned a score. The Caledon Heritage Board must then formally recommend each new addition to the Register, pending confirmation by the Planning, Design and Development Committee and Caledon Town Council.

3.1 Adjacencies

'Adjacency' in this context refers to lands that are directly across from and near to a property on the Heritage register.

While there are no heritage resources located directly adjacent to the property at 12245 Torbram Road, there are a number of nearby structures also included on the register.

Nearby:

- 12380 Torbram Road (1875-1899) - Late Victorian Gothic style farmhouse with a red-and-buff brick exterior.
- 12729 Torbram Road (1875-1899) - High Victorian Gothic style farmhouse with a red-and-buff brick exterior
- 13470 Torbram Road (1850-1874) - Neoclassical style farmhouse with a red-and-buff brick exterior.
- 13523 Torbram Road (1875-1899) - high Victorian gothic style farmhouse with a synthetic exterior

4. CONDITION REVIEW

GBCA visited the site in June 2021 to conduct a high level visual review of the building's exterior. This visual review was limited to the exterior walls of the building. Any alterations, damage or improvements occurring after the date of assessment have not been updated as part of this report.

GBCA obtained only limited access to all exterior parts of the building facades (north, east, south and west elevations). Assessment was limited from the ground level only as no boom lift was utilised for higher areas such as the gable, second-floor windows, soffit and roof. Furthermore, approximately one half of the building's elevation is obscured by vegetation overgrowth.

The visual review of the building revealed progressing structural deterioration throughout the building. This is seen most notably through numerous instances of pronounced step cracks along the north elevation, along with other localised cracks in other portions of the east and west walls. Furthermore, there is a gap in excess of 1" at the gable, and sagging/deformation of lateral support members of the roof. The presence of these issues, viewed together, suggests that the structure of the exterior walls is severely compromised.

Side wall cracks typically correspond to the "bending" or rotation of the structure due to soil conditions, compounded by settlement cracking due to the deformation of the structure, will continue to progress if the structure is not stabilised.

Based on these initial impressions and evidence of immediate structural concerns, GBCA recommended that a Structural Engineer provide a more fulsome review. These findings are available in Appendix III.



Numerous instances of pronounced step cracks ($\pm 1"$ and up to 2" or more) along the north elevation, along with other localized cracks in other portions of the east and west walls



Parging applied to the masonry on the east elevation next to open joints. Ingress water damage and deterioration is likely present in these areas.

5. ASSESSMENT OF PROPOSED DEVELOPMENT

5.1 Description of Proposed Strategy

The owner is proposing to develop a new commercial/warehousing centre on approximately 363-acres of lands that are currently used for agriculture purposes. The proposal seeks to rezone and reconfigure the existing farmland to construct a warehouse complex featuring 12-buildings. Designed by Turner Fleischer Architects, the large one-storey buildings, at approximately 12-metres in height, will comprise a total of 4,934,987 square-feet of new construction.

This extensive facility will include a new road network extending from Torbram Road to the north, Airport Road to the east, and Mayfield Road to the south. The proposed development will contain a total of 1081 loading spaces, 3877 car parking spaces, and 1322 trailer parking areas. The proposed building frontage will be located behind surface level parking and will be centred along a new road network located between Torbram Road and Airport Road. The development is flanked on either side along Mayfield road by two swamp areas.

Development of the west side of the site will be the last phase (Phase 3 of 3) for the development, the heritage resource at 12245 Torbram Road is currently located here. This area is adjacent to the 64.77 acre area designated as greenbelt/swamp land to the south-east.

Although it is acknowledged that relocation is not typically favoured, in this particular case, relocation can be seen as a mitigation strategy for the building's long-term preservation. Relocation to a properly designed foundation will ensure the conservation and preservation of the building. Prior to relocation, the building will require restoration and stabilisation. The relocation is proposed to occur in a single stage. The site (to be confirmed) receiving the house will have to be partially excavated and new foundations provided. Once this new site is prepared with its new foundations, the farmhouse perimeter will be partly excavated to install necessary moving supports and wheeled bogies. Final restoration work on the heritage building would be carried out after it is moved to its final location.



Renderings showing the proposed warehousing facilities (Turner Fleischer Architects)

5.1.2 General Procedures for Relocation:

While every building is different and each project must be accessed on a case-by-case basis, there are general procedures that are followed in the moving process. The engineer working for the moving company will factor into their calculations the building dimensions, weights and materials (and their characteristics).

As noted above, the building will require substantial preliminary restoration and stabilisation prior to preparation for the move. Once this is done, the area around the structure would be excavated and a designed crib, consisting of lengthwise and cross beams, would be installed in the basement of the house to support the structure. Then, the area at grade will be cut through to the separate the house from its foundation. Extensions to the carrying frame will be inserted below the walls and secured to the exterior. Windows will be framed with solid panels to prevent “racking”. Additional cross bracing may be installed in the interiors to reduce potential for structural deformation. The engineer would factor in the building’s dimensions, weight, and materials. The frame carrying 12245 Torbram Road would then be raised by hydraulic lifts or jacks and lowered onto hydraulically self-levelling wheels or “bogies”.

While the above work is under way, a supporting bed of engineered will be created between the original and final locations. At the same time, a new foundation will be created for the house then filled to allow the house to roll over it into position. The steel support/crib would be used as the base of the building during the move until the perimeter of the house is lowered onto the foundation, then removed with the bogies. From then , gaps in the foundation required for the crib members will be filled and final restoration work will commence.

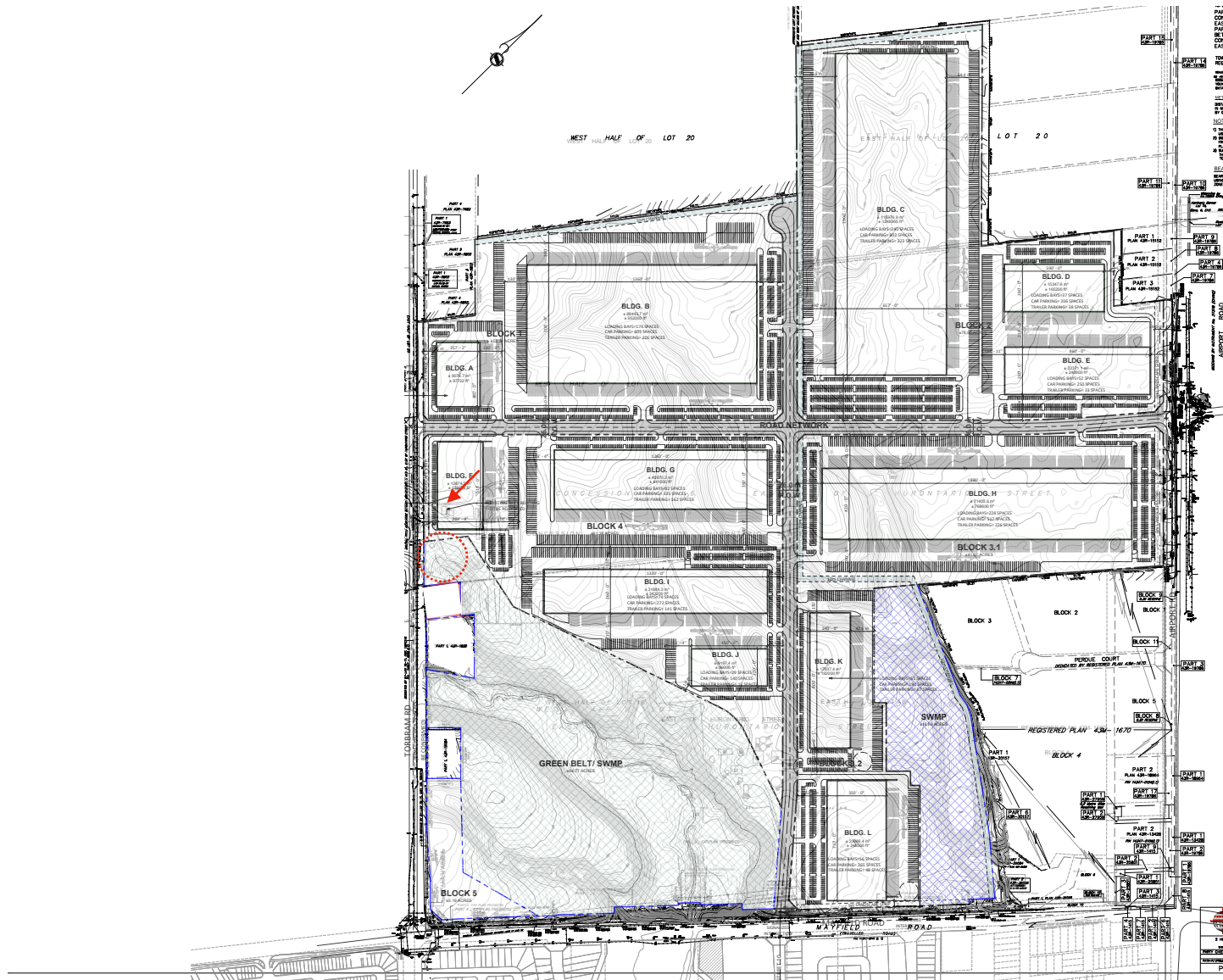
The best route to the new location – in this case to the south-east of its present site, onto greenbelt lands – would be determined by the building mover who would be responsible for analysing telephone cables, wires, utility poles and topography. The proper authorities would be consulted in relation to permits for the removals or reinforcement of any elements.

5.1.3 Technical Issues of relocating 12245 Torbram Road

Moving heritage buildings, if not well considered, could result in physical endangerment of the resource. In any project that proposes relocation of heritage buildings, a detailed feasibility study would be undertaken and approved by a structural engineer and the best method for moving determined. The engineer would be employed by a qualified moving contractor.



Extract of the proposed development drawings, showing the overall site plan (by Turner Fleischer Architects). Highlighted in green is the western part of the site above the Greenbelt/swamp where the subject heritage resource is located. The red arrow indicates the location of 12245 Torbram Road.



Overlay of property survey with proposed development. 12245 Torbram Road is noted with a red arrow, and an approximate location for the recipient site for the relocated building is noted with a dashed red oval.

5.2 Impacts on Heritage Resources

A proposed building relocation will result in the following impacts on the property.

- New lot pattern and change of use to adjacent lands;
- Relocation of building from former site.

An assessment of possible effects of the proposed development on the property is presented opposite. The table lists possible effects based on the Ontario Heritage Tool Kit - Heritage Resources in the Land Use Process.

While there is no means of reducing the impact from moving the house in order to prepare the lands for development, the preservation of 12245 Torbram Road and the conservation of the majority of the heritage attributes is important to acknowledge this existing heritage resource on this site. The relocation will ensure that the setting of the house is consistent with its current situation. The sequencing of events will be discussed in more detail through a Conservation Plan.

The building will require substantial stabilisation before relocation, which is also an opportunity to provide necessary intervention and provide long-term conservation of the heritage resource. Restoration work on the heritage building would be carried out after it is moved to its final site.

Possible Effect - (from Ontario Heritage Tool Kit-Heritage Resources in the Land Use Process) Assessment (Considered Alternative Development and Mitigation Measures)
<p>Destruction of any, or part of any, significant heritage attributes or features</p> <p><i>No character defining elements will be removed as part of the proposed development.</i></p>
<p>Alteration not sympathetic, or incompatible, with the historic fabric and appearance</p> <p><i>The land assembly and proposed warehouse development will move the extant farmhouse in order to prepare lands for a new development. The house will maintain its original quality and contextual fit with the present site as a result of being moved to a new location along Torbram Road.</i></p>
<p>Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden</p> <p><i>Shadow studies are not relevant to the proposed building relocation strategy.</i></p>
<p>Isolation of a heritage attribute from its surrounding environment, context or a significant relationship</p> <p><i>The visual setting of Torbram Road is considered part of the character, and relates to the cultural significance of the house at 12245 Torbram Road. The building relocation will not isolate the existing farmhouse from its former context. It has been proposed to be moved to an area immediately to the south within the greenbelt. Mitigation strategies are listed in Section 5 of this report.</i></p>
<p>Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.</p> <p><i>The building relocation to a site along Torbram Road will not impact any identified views or vistas.</i></p>
<p>A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value</p> <p><i>The land assembly will change through merging three large lots into one.</i></p>
<p>Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources</p> <p><i>Land disturbances will not occur in any of the designated greenbelt/swamp areas that occupy the subject site and associated heritage resources.</i></p>

5.3 Mitigation Strategies

5.3.2 Physical relocation from current Torbram Road location:

The current location of 12245 Torbram Road resulted from early settlement patterns of the concession/lot system dating back to 1819, together with farming activities that would occur in this rural setting.

It is acknowledged that relocation is not typically favoured. However, in this particular case, permanent relocation can be seen as a mitigation strategy for the building's long-term preservation, and for the remediation of the site. While every building is different and each project must be assessed on a case-by-case basis, there are general procedures to be followed in the moving process. Details of the relocation will be provided under a separate Conservation Plan.

Mitigation strategies/Alternate Strategies:

- Leaving the brick building for a long period of time during construction poses risks to the stability of this fragile structure. Therefore, a permanent move is seen as the best course of action.
- Although integrating the existing farmhouse into the new development is the preferred option, this poses the risk of further isolating the house from its setting given the scale of the warehouse buildings and corresponding vehicular activities.

5.3.1 New lot pattern and location

The proposed assembly of properties will see a change in the lot pattern and the proposed relocation of the existing building footprint to the south of its present location. The proposed lot will front Torbram Road, which will allow the character defining attributes of this listed property to be viewed from the public realm. In addition to this, the benefits of its subsequent conservation are clear.

The *Standards and Guidelines for the Conservation of Historic Places in Canada*, heritage conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural

significance of the place. New construction, demolition, intrusions or other changes that would affect the setting or relationships are not encouraged.

In the current relocation scenario, the front elevation of the farmhouse will be oriented to the public realm.

Mitigation strategies/Alternate Strategies:

- The visual setting of Torbram Road relates to the cultural significance of the farmhouse. The proposed reuse of the house at 12245 Torbram Road does not necessarily need to be associated with the development to the east. However, locating the house closer to the road and maintaining a use that locates parking and services to the rear of the building will allow for the full three-dimensional view of the building to be perceived in an unobstructed manner from the public realm.

6. CONSERVATION STRATEGIES

A variety of options are typically available for the redevelopment of sites with buildings of heritage value due to proposed developments, and options must be weighed with other decisive factors. The most common are time and costs. In the case of 12245 Torbram Road, a number of preliminary options have been considered and are discussed.

In this instance, 12245 Torbram Road, which is of heritage value, is at risk if left in its current location. Therefore, the house will be preserved, rehabilitated, and restored. Details regarding repair, stabilisation, preservation and long term conservation will be explored in a detailed Conservation Plan at a later date.

Preservation involves the protection, maintenance and stabilisation of the existing form, material and integrity of a historic place or of an individual component, while its heritage value is protected.

Rehabilitation is the sensitive adaptation of an historic place or of an individual component for a continuing or compatible contemporary use, while protecting its heritage value. In this instance, the heritage building will be rehabilitated and with a new use related to the proposed development.

Restoration is the revealing, recovering or representing the state of a historic place or of an individual component as it appeared at a particular period in its history, as accurately as possible, while its heritage value is protected. In this instance, 12245 Torbram Road will have reinstated its original exterior finishes by removing any non-original cladding, restoring masonry, and reinstating original window designs and details.

6.1 International Standards for Heritage Conservation

Beginning in 1931, various heritage charters have been drafted and subsequently recognised internationally as part of a consistent and objective approach to issues being faced by all countries in addressing heritage conservation.

The concept of setting was addressed in the 1960s in the Venice Charter, the seminal text that underpinned the foundation of ICOMOS (the International Council of Monuments and Sites). Many national charters, including Canada's Appleton Charter (1983), further developed the importance of setting.

The **Venice Charter** is the first of the modern charters (1964) to tackle heritage conservation, codifying acceptable universal principles and practices for the conservation of historic monuments. Of particular relevance for this assessment are the following Articles:

ARTICLE 1: *The concept of a historic resource embraces not only the single architectural work, but also the urban or rural setting in which is found the evidence of a particular history.*

ARTICLE 6: *The conservation of a monument implies preserving a setting which is not out of scale. Wherever the traditional setting exists, it must be kept. No new construction, demolition or modification which would alter the relations of mass and colour must be allowed.*

ARTICLE 13: *Additions cannot be allowed except in so far as they do not detract from the interesting parts of the building, its traditional setting, the balance of its composition and its relation with its surroundings.*

The **Appleton Charter** was established in the Ottawa area in 1983 and adapted the principles of the Venice Charter to a Canadian context. This charter recognises that the sound management of the built environment is an important cultural activity.

C. Principles (Protection): *Any element of the built environment is inseparable from the history to which it bears witness, and from the setting in which it occurs. Consequently, all interventions must deal with the whole as well as with the parts.*

While the primary option for the building is its relocation, the relocation will be to a setting within a greenbelt area that remains part of the property. There will be minimal impact on the relative setting of the house if relocated with the new location in tune with the original setting of the house vs. the proposed new development context.

6.2 Exterior conservation and stabilisation

The building will require substantial reconstruction and stabilisation before it is repurposed. Anticipated actions once the house at 12245 Torbram Road is stabilised include:

- Repair, replacement and painting of windows, and sills where required;
- Masonry repairs and cleaning;
- Reinstate blocked in window openings;
- Repairs to exterior stone masonry;
- Repairs to exterior woodwork – fascia, soffits, etc.;
- Removal of unsympathetic cladding;
- Repairs or replacement to - metal doors, eaves and troughs;
- Replacement of visible roof area with new high quality shingles.

As the farmhouse is proposed to be relocated, specifications and scope of work for moving the building will be prepared by a qualified building mover in conjunction with a structural engineer. Refer to the International Association of Structural Movers and Ontario Structural Movers Association for qualified companies. Since the practice of professional engineering is regulated by provincial laws, qualified engineering advice must be obtained from a licensed professional engineer with specific experience in the relocation of masonry buildings.

6.3 Interior conservation

The mitigative options for the interior spaces and features will need to be worked out in conjunction with the project architect as the plans are developed in more detail.

At this time, it is possible to assert that the proposed re-use of the house at 12245 Torbram Road does not necessarily need to be associated with the development to the east. Attention will need to be paid to the required program needs, with the plans being adjusted according to existing building, if need be. Consideration of new use should begin with respect for existing and traditional patterns of the layout.

The following interior features should be preserved, where they exist and are in salvageable condition:

- Original hard wood flooring
- The central plan layout
- The wood window frames
- All original wood doors (along with any original hardware)
- Original wood trim and baseboards

7. CONCLUSION

The proposed land assembly, and site preparation for a future development will result in a number of changes to the context value, particularly to the north and east of the listed property at 12245 Torbram Road. The heritage resource on this property will be relocated. Relocation proposes to keep the building in a greenbelt area on the existing property, with views of the primary elevations from the public realm unobstructed. Integrating the existing farmhouse into the new development poses the risk of further isolating the house from its setting given the extensive scale of the warehouse buildings and corresponding vehicular activities.

Due to existing structural concerns, the stabilisation of the house is a necessary intervention for immediate and long-term conservation. The proposed conservation strategy will involve the preservation, rehabilitation and restoration of the house. Details regarding repair, stabilisation, preservation and long term conservation would be explored in a detailed Conservation Plan at a later date.

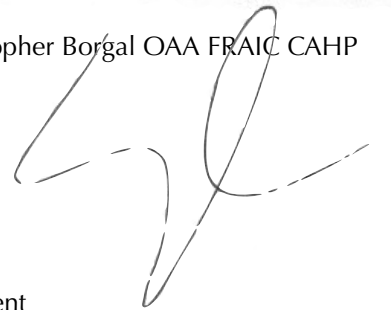
By considering the recommendations contained in this report, the proposed development on the Tullamore development lands and the associated heritage resource at 12245 Torbram Road can be accomplished in accordance with accepted conservation principles.

In our view, and in light of mitigating strategies to reduce impacts to heritage properties, this proposal balances demands for *intensification* with those of *heritage preservation* in a manner that allows both objectives to be appreciated as a part of a complex and changing urban environment.

8. CLOSURE

The information and data contained herein represents GBCA's best professional judgment in light of the knowledge and information available to GBCA at the time of preparation. GBCA denies any liability whatsoever to other parties who may obtain access to this report for any injury, loss or damage suffered by such parties arising from their use of, or reliance upon, this report or any of its contents without the express written consent of GBCA and the client.

Christopher Borgal OAA FRAIC CAHP

A handwritten signature in black ink, appearing to be 'CB', written over a faint, circular stamp.

President
Goldsmith Borgal & Company Ltd. Architects

9. SOURCES

Brown's Toronto City and Home District Directory, 1846-47

Corporation of the County of Peel. A History of Peel County: To Marks its Centenary as a Separate County, 1867-1967 (1967).

Gagan, David. Hopeful Travellers: Families, Land and Social Change in Mid-Victorian Peel County, Canada West (Ontario Historical Studies Series, 1981).

Lynch, John. Directory of the County of Peel for 1873-74 (1874).

Middleton, Jesse E. The Province of Ontario: A History: 1615-1927 (Toronto: Dominion Publishing Company, 1927).

Mitchell & Co.'s General Directory for the city of Toronto and Gazetteer of the Counties of York and Peel for 1866.

Pope, J. H. Illustrated Historical Atlas of the County of Peel, Ontario (Toronto: Walker & Miles, 1877)

Ross, Nicola. Caledon (Erin, Ontario: Boston Mills Press, 1999).

Rowsell, Henry. Rowsell's City of Toronto and County of York Directory for 1850-51.

Tremaine, George R. Tremaine's Map of the County of Peel, Canada West, 1859.

Walton, George. The City of Toronto and the Home District Commercial Directory and Register, 1837.

APPENDIX I

Standards and Guidelines for the Conservation of Historic Places in Canada

THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

APPENDIX II

Development Drawings (Turner Fleischer Architects)

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

STATISTICS

SITE STATS

BLOCK 1	±52.28 ACRES
BUILDING A AREA	±97,722 S.F.
LOADING SPACE	23 SPACES
CAR PARKING	134 SPACES
TRAILER PARKING	22 SPACES
BUILDING B AREA	±952,000 S.F.
LOADING SPACE	176 SPACES
CAR PARKING	605 SPACES
TRAILER PARKING	206 SPACES
BLOCK 2	±78.00 ACRES
BUILDING C AREA	±1,248,365 S.F.
LOADING SPACE	240 SPACES
CAR PARKING	803 SPACES
TRAILER PARKING	323 SPACES
BUILDING D AREA	±165,200 S.F.
LOADING SPACE	37 SPACES
CAR PARKING	206 SPACES
TRAILER PARKING	38 SPACES
BUILDING E AREA	±240,800 S.F.
LOADING SPACE	52 SPACES
CAR PARKING	250 SPACES
TRAILER PARKING	33 SPACES
BLOCK 3	±67.32 ACRES
BUILDING F AREA	±768,600 S.F.
LOADING SPACE	228 SPACES
CAR PARKING	517 SPACES
TRAILER PARKING	223 SPACES
BUILDING G AREA	±192,000 S.F.
LOADING SPACE	51 SPACES
CAR PARKING	191 SPACES
TRAILER PARKING	67 SPACES
BUILDING H AREA	±248,500 S.F.
LOADING SPACE	56 SPACES
CAR PARKING	265 SPACES
TRAILER PARKING	48 SPACES
BLOCK 4	±61.38 ACRES
BUILDING I AREA	±138,600 S.F.
LOADING SPACE	33 SPACES
CAR PARKING	159 SPACES
TRAILER PARKING	44 SPACES
BUILDING J AREA	±441,000 S.F.
LOADING SPACE	82 SPACES
CAR PARKING	335 SPACES
TRAILER PARKING	162 SPACES
BUILDING K AREA	±343,200 S.F.
LOADING SPACE	74 SPACES
CAR PARKING	272 SPACES
TRAILER PARKING	141 SPACES
BUILDING L AREA	±99,000 S.F.
LOADING SPACE	29 SPACES
CAR PARKING	140 SPACES
TRAILER PARKING	15 SPACES
BLOCK 5	±5.19 ACRES
CHANNEL	±6.43 ACRES
ROAD NETWORK	±17.04 ACRES
SWMP	±16.93 ACRES
GREEN BELT / SWMP	±64.77 ACRES
TOTAL SITE AREA	±362.91 ACRES
TOTAL BUILDING AREA	±4,934,987 S.F.
TOTAL LOADING SPACE	1081 SPACES
TOTAL CAR PARKING	3877 SPACES
TOTAL TRAILER PARKING	1322 SPACES

9	2021-07-14	ISSUED FOR COORDINATION	YSK
8	2021-07-09	ISSUED FOR COORDINATION	YSK
6	2021-06-21	ISSUED FOR COORDINATION	YSK
5	2021-06-07	ISSUED FOR REVIEW	YSK
4	2021-03-05	ISSUED FOR REVIEW	HHO
3	2021-02-26	ISSUED FOR REVIEW	HHO
#	DATE	DESCRIPTION	BY



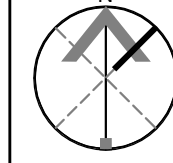
PROJECT
TULLAMORE LANDS

CALEDON, ON

DRAWING
SITE PLAN

PROJECT NO.
20.302SD
PROJECT DATE
2021-03-05
DRAWN BY
HHO
CHECKED BY
JJK

SCALE
1 : 3500



DRAWING NO.

A100



2021-07-15 2:32:41 PM



PHASING LEGEND

- PHASE 1
- PHASE 2
- PHASE 3

TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

STATISTICS

9	2021-07-14	ISSUED FOR COORDINATION	YSK
8	2021-06-21	ISSUED FOR COORDINATION	YSK
#	DATE	DESCRIPTION	BY

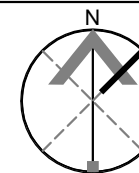


PROJECT
TULLAMORE LANDS

CALEDON, ON

DRAWING
PHASING PLAN

PROJECT NO.
20.302SD
PROJECT DATE
2021-03-05
DRAWN BY
HHO
CHECKED BY
JKK
SCALE
As indicated



DRAWING NO.

A102



This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

9	2021-07-14	ISSUED FOR COORDINATION	YSK
7	2021-06-28	ISSUED FOR COORDINATION	YSK
6	2021-06-21	ISSUED FOR COORDINATION	YSK
#	DATE	DESCRIPTION	BY



PROJECT
TULLAMORE LANDS

CALEDON, ON

DRAWING

LARGE TENANT A

PROJECT NO. 20.302SD	
PROJECT DATE 2021-03-05	
DRAWN BY YSK	
CHECKED BY JJK	
SCALE	
	DRAWING NO. A201

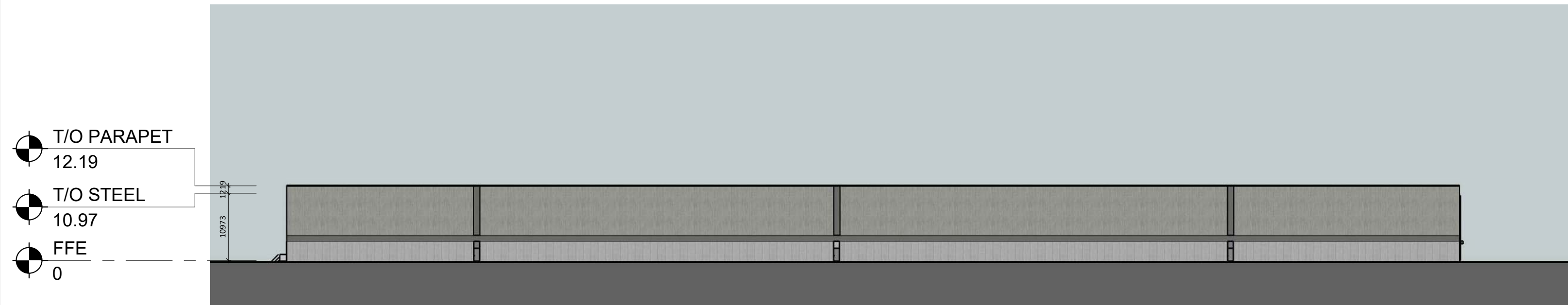
This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



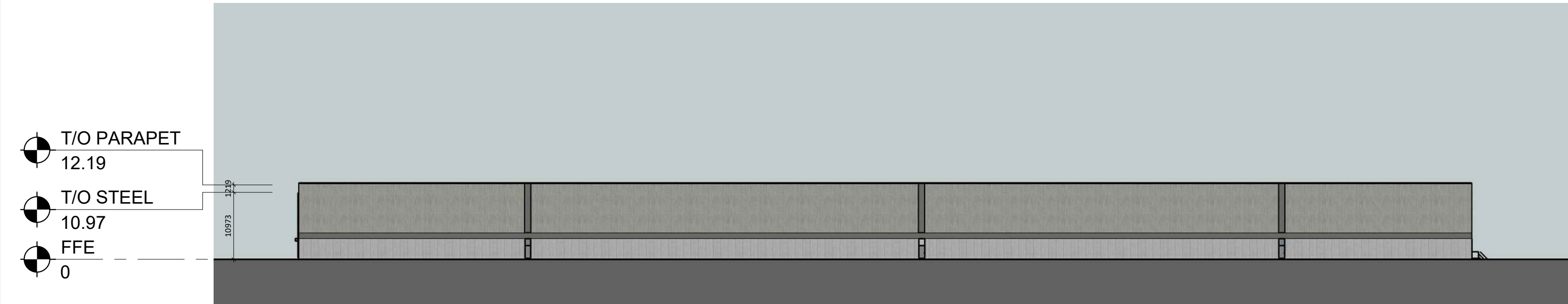
1 LARGE TENANT A FRONT ELEVATION
A202 1 : 600



2 LARGE TENANT A REAR ELEVATION
A202 1 : 600



3 LARGE TENANT A SIDE ELEVATION 1
A202 1 : 600



4 LARGE TENANT A SIDE ELEVATION 2
A202 1 : 600

9	2021-07-14	ISSUED FOR COORDINATION	YSK
7	2021-06-28	ISSUED FOR COORDINATION	YSK
6	2021-06-21	ISSUED FOR COORDINATION	YSK
#	DATE	DESCRIPTION	BY



PROJECT		TULLAMORE LANDS	
		CALEDON, ON	
DRAWING			
TYPICAL ELEVATIONS (LARGE TENANT A)			
PROJECT NO. 20.302SD			
PROJECT DATE 2021-03-05			
DRAWN BY YSK			
CHECKED BY JKK			
SCALE 1 : 600			
		DRAWING NO. A202	



This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

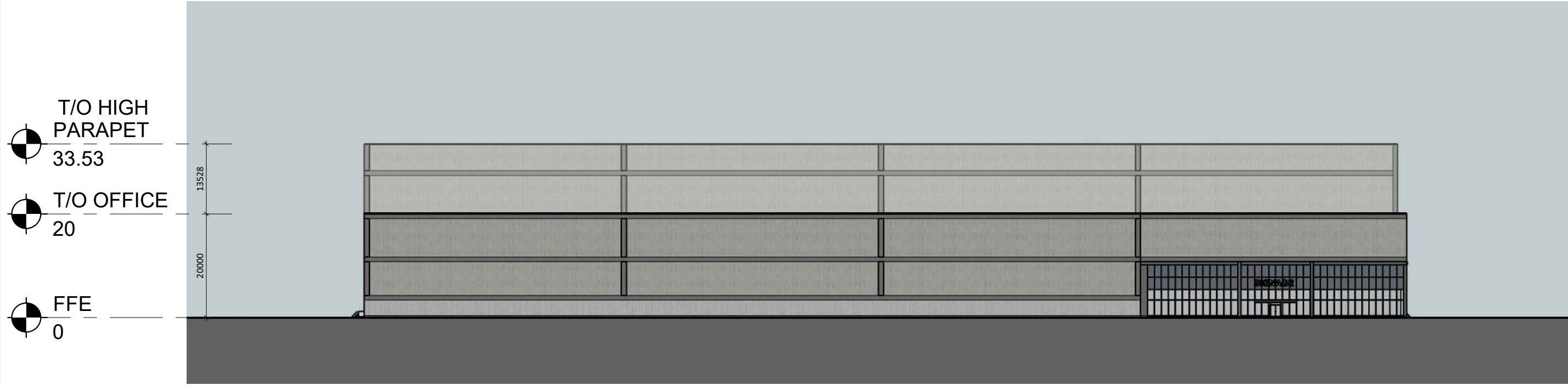
9	2021-07-14	ISSUED FOR COORDINATION	YSK
7	2021-06-28	ISSUED FOR COORDINATION	YSK
6	2021-06-21	ISSUED FOR COORDINATION	YSK
#	DATE	DESCRIPTION	BY



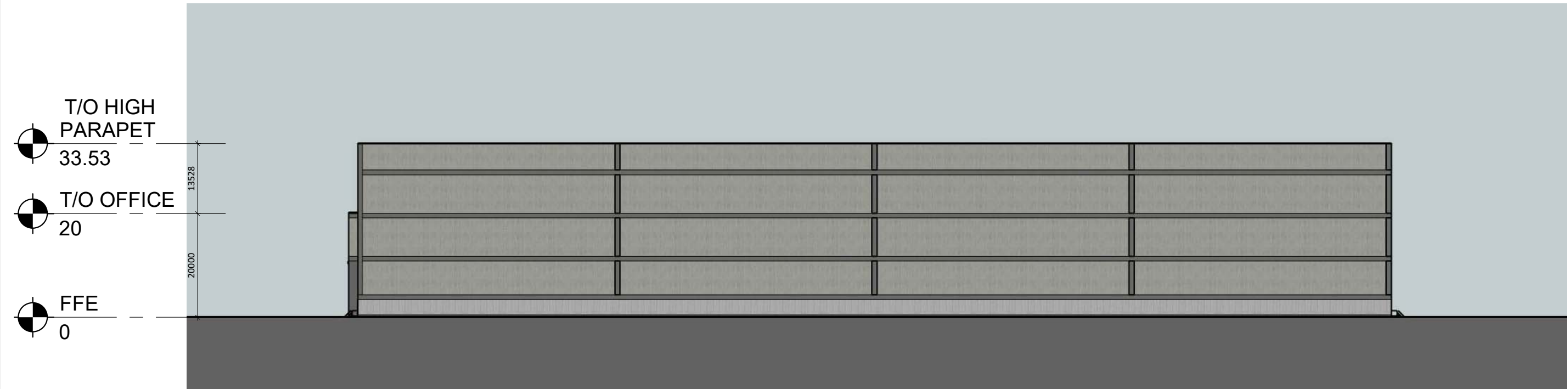
PROJECT	TULLAMORE LANDS
	CALEDON, ON
DRAWING	LARGE TENANT B

PROJECT NO. 20.302SD	
PROJECT DATE 2021-03-05	
DRAWN BY YSK	
CHECKED BY JJK	
SCALE	
	DRAWING NO. A203

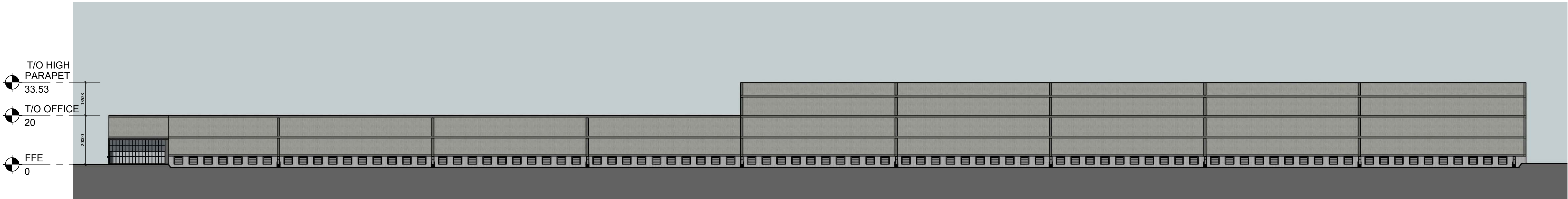
This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



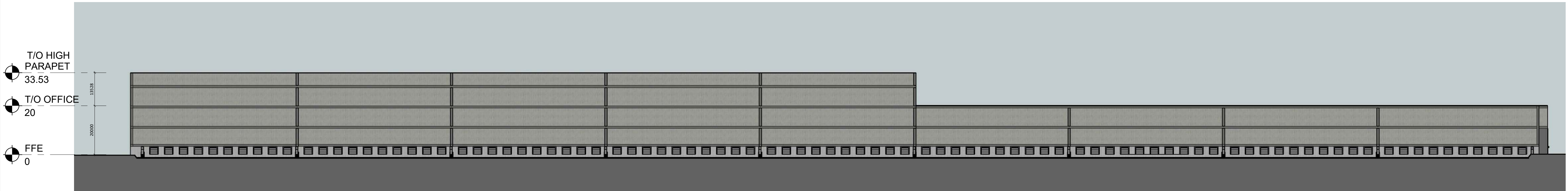
1 LARGE TENANT B FRONT ELEVATION
A204 1 : 800



2 LARGE TENANT B REAR ELEVATION
A204 1 : 800



3 LARGE TENANT B SIDE ELEVATION 1
A204 1 : 800



4 LARGE TENANT B SIDE ELEVATION 2
A204 1 : 800

9	2021-07-14	ISSUED FOR COORDINATION	YSK
7	2021-06-28	ISSUED FOR COORDINATION	YSK
6	2021-06-21	ISSUED FOR COORDINATION	YSK
#	DATE	DESCRIPTION	BY



PROJECT
TULLAMORE LANDS
CALEDON, ON

DRAWING
TYPICAL ELEVATIONS
(LARGE TENANT B)

PROJECT NO. 20.302SD	DRAWING NO. A204
PROJECT DATE 2021-03-05	
DRAWN BY YSK	
CHECKED BY JJK	
SCALE 1 : 800	



This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

9	2021-07-14	ISSUED FOR COORDINATION	YSK
7	2021-06-28	ISSUED FOR COORDINATION	YSK
6	2021-06-21	ISSUED FOR COORDINATION	YSK
#	DATE	DESCRIPTION	BY

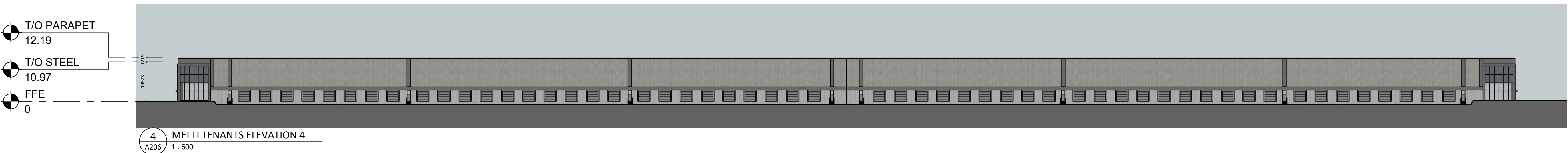
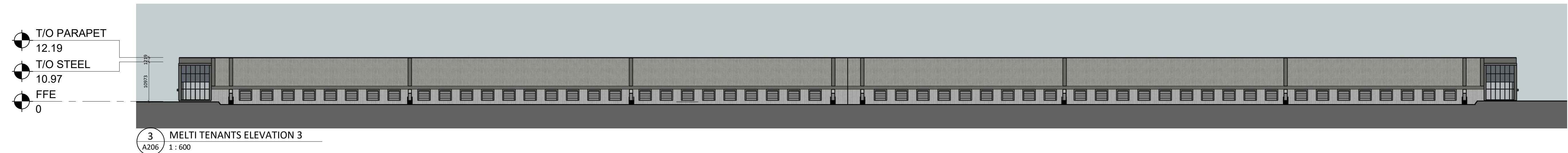
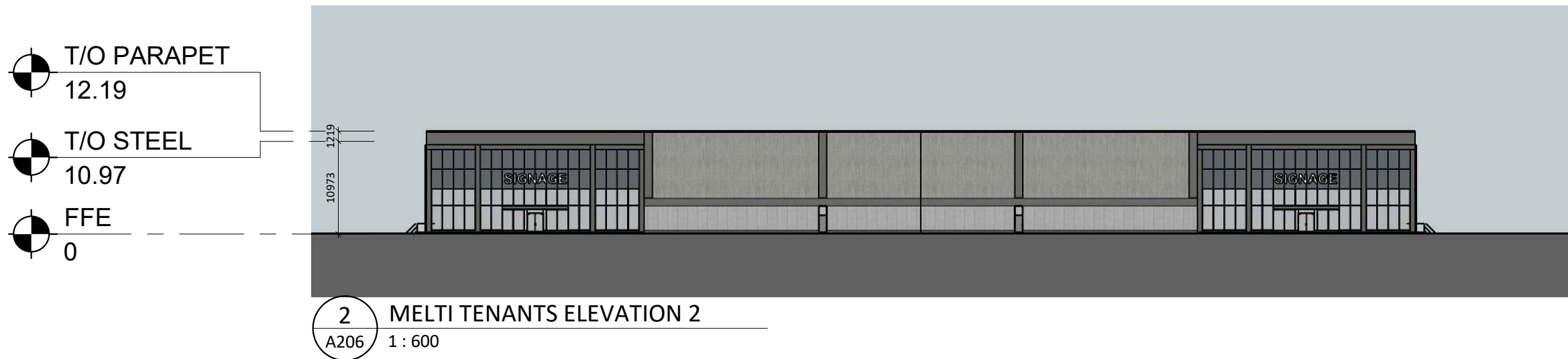
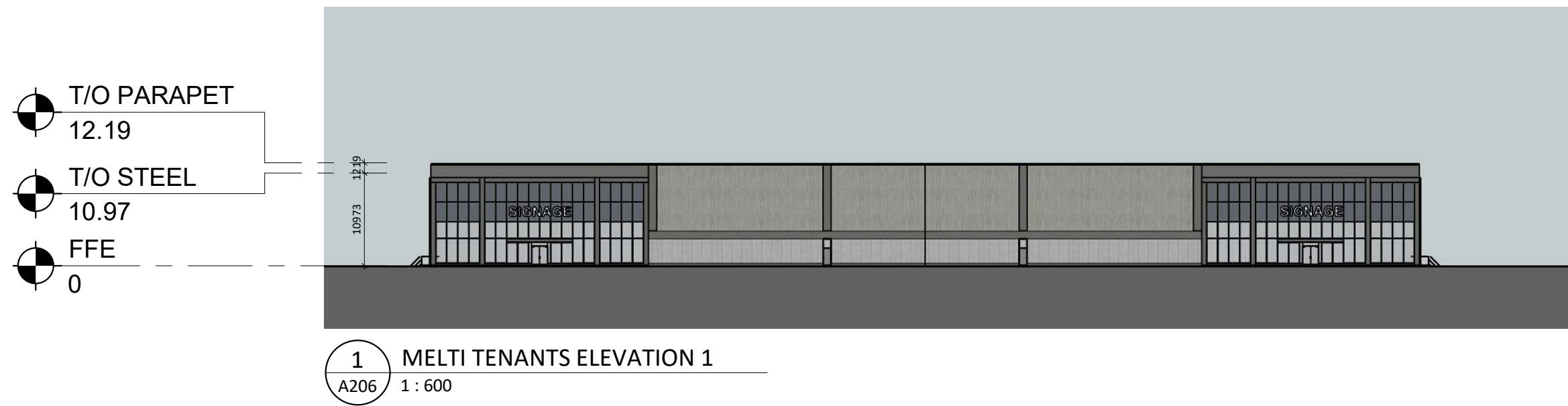


PROJECT
TULLAMORE LANDS
CALEDON, ON

DRAWING
MULTI TENANTS

PROJECT NO. 20.302SD	
PROJECT DATE 2021-03-05	
DRAWN BY YSK	
CHECKED BY JJK	
SCALE	
	DRAWING NO. A205

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



9	2021-07-14	ISSUED FOR COORDINATION	YSK
7	2021-06-28	ISSUED FOR COORDINATION	YSK
6	2021-06-21	ISSUED FOR COORDINATION	YSK
#	DATE	DESCRIPTION	BY



PROJECT
TULLAMORE LANDS

CALEDON, ON

DRAWING
**TYPICAL ELEVATIONS
(MULTI TENANTS)**

PROJECT NO. 20.302SD	
PROJECT DATE 2021-03-05	
DRAWN BY YSK	
CHECKED BY JJK	
SCALE 1 : 600	DRAWING NO. A206

APPENDIX III
Structural Memo
as prepared by Ojdrovic Engineering

July 19, 2021

File: F005-017

Carlos Morell
OAA Intern, Ms. Conservation of Cultural Heritage, CAHP
Goldsmith Borgal & Company Ltd. Architects
362 Davenport Road W, Suite 200
Toronto, ON M5R 1K6

Dear Mr. Morell:

Re: Farmhouse at 12245 Torbram Rd., Caledon East – Structural Opinion

Thank you for inviting us to participate in this project. The following report discusses our observations and offers professional opinion on condition of the structure of the house at 12245 Torbram Road in Caledon East.

Scope of Work

Ojdrovic Engineering was retained as a structural consultant by Rice Group for the 12245 Torbram Rd. project. The mandate for the project is to review the building and provide professional opinion on its condition from structural engineer's point of view.

The farmhouse at 12245 Torbram Rd. in Caledon East (Figure 1) is listed as a heritage property on historic and contextual grounds. It was built approximately around 1850. The house is located on property which is about to be developed. The intent is to relocate the house to a nearby property.

The scope of work for this project is to prepare a structural assessment of the house to determine if it is deemed to be safe for living at this time and recommendations for remedial work, as needed.

Limitations

This report is based on visual inspection from ground only. We did not perform any non-destructive or destructive investigations in order to ascertain actual characteristics of the house construction. We did not have access to higher levels such as roofs. No materials were tested for mechanical characteristics. No previous reports or drawings were available for review. In addition to visual inspection, the professional opinions expressed in this report are also based on experience in working on similar structures.

This report should be read together with the letter prepared by Goldsmith Borgal & Company Ltd. Architects.

General Description of Building Structure



Figure 1: Aerial View of Property

The farmhouse consists of two parts. The west, smaller part is a single storey red brick house without a basement. The east part is larger one and a half storey red brick house with full basement. Both roofs are medium gabled, wood framed. The foundation walls appear to be made using randomly coursed rubble stone masonry. The simple wood floor framing could be observed only in the basement, but it is expected to be similar everywhere.

Almost whole east storey and a half part of the house was completely covered with vine at the time of our visit and our observations are very limited in this area.

Exterior Foundation Walls

Exterior brick building walls are supported by rubble stone foundation walls that extend around the perimeter of the building.

The height of the exterior foundation walls varies. At the west single storey part without the basement, it is not clear how deep the foundation walls are. In the east part, rubble stone foundation walls extend to the bottom of the basement. The foundation walls do

not appear to have a footing: the base of the foundation wall appears to be approximately the same width as the top of the foundation wall.

The exterior rubble stone foundation walls are in fair to poor condition. Some of the mortar joints are cracked. In general, lime mortar is friable and is slowly turning into sand. Figure 2 below illustrates the typical condition of foundation wall. It should be noted that no remedial work on foundation walls will be required if the house is moved to different location.



Figure 2: Typical Condition of Stone Foundation Wall

Exterior Walls Above Grade

The exterior walls of the farmhouse are made of three wythes of brick. During the construction, an effort was clearly made to create a visual statement by adding yellow brick to predominantly red brick walls. Yellow brick accents can be seen around the whole house. Please see Figures 3 and 4.



Figure 3: North Elevation



Figure 4: South Elevation

Before making any definitive restoration plans for the brick walls, all vine and organic growth around the house must be removed to expose the walls completely. The following paragraphs describe some of the observed deficiencies of the brick walls.

The west gable wall of the single storey house appears to be in the worst shape. Several diagonal cracks appear to be caused by uneven settlement at the north and south ends of the wall. Attempts were made in the past to repoint the cracks, but at this moment, the crack that starts above the south attic window and propagates down to within a few feet above grade is open up to an inch. The flat arches that form window lintels have failed

and the brick is resting on window wood frames. The flat arches must be rebuilt now. Please see Figure 5.

The cracks could not be observed from within the house because there is plaster on wood lath on all walls. It is reasonable to assume that the cracks propagate through the full wall thickness.

While the cracks do not pose imminent threat to the occupants of the house at this moment, strong wind could potentially dislodge some of the bricks, in particular, above the window. This wall would have to be repaired before moving the house to the new location.

Some of the bricks show frost damage, but this is not something that causes safety concern at this moment or is critical for the house relocation.



Figure 5: West Wall Damage

The brick wall of the main – south elevation was built using stretcher bond, probably for aesthetic reasons. It is not known if “clip” bond was used to tie the outer brick wythe with interior wythes. Stretcher bond without ties to the inner wythes results in inferior wall and there is a possibility of delamination, especially during the relocation of the house. We recommend that a test opening is performed before the move to determine whether some additional bracing of the wall is needed for the move.

The west end of the south wall has a diagonal crack and apparent movement towards west of the top corner (Figure 6). Both flat arch brick lintels on this part of the wall have failed and have to be rebuilt before the move.

A sample of hidden deterioration of brick wall behind the vine is shown in Figure 7. The wall corner seems to be bulging out. The wide open cracks allow for water infiltration and damage to the wall below. It was not possible to inspect the damage closer.



Figure 6: West End of South Wall

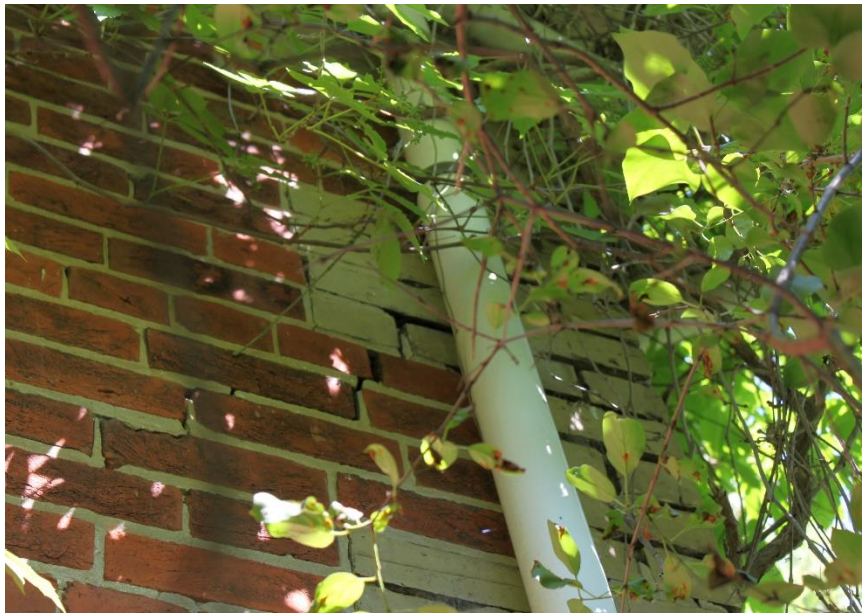


Figure 7: Hidden Deterioration Behind the Vine

The bricked-in opening at the north elevation (Figure 8) appears to have open cracks and some movement. It is not known if the infill is only one brick wythe thick or it is filled for the full wall thickness.

The condition of the wall at the base must be inspected closely before the move and necessary repairs performed. The soil around the house has crept up since the time the house was built in 1850s. Please see Figure 9. The brick that was once above grade, on top of the stone foundation, has been partially buried and exposed to moisture for many

years. This condition does not pose imminent threat to the occupants but may be critical for the house relocation.



Figure 8: Bricked-in Opening



Figure 9: Base of Wall Deterioration

Wood inserts are installed instead of every fifth brick for the full length of the taller building on the south side. It is likely that they served as anchor blocks for a wood porch roof when the house was built. Please see Figure 10.



Figure 10: Wood Inserts in South Facade

In general, the exterior brick walls, or the parts that are not covered by vine, show typical signs of aging. Parts of the south wall appear to be in fair to good condition with solid mortar joints. In some locations, cracks vary from localized to very pronounced, as in west wall. Loose bricks pose some threat to the occupants and should be at least temporarily stabilized now.

All damage to the masonry walls should be repaired before the move.-As long as cracks are open, the water will keep entering the walls and causing further damage. Ideally, the vine and organic growth around the base of the walls would be removed immediately, walls inspected in detail, and program of repairs specified, with repairs to follow. We do not expect any major failure if the exterior wall repairs are postponed for the year 2022, with caveat that the extent of damage will be larger, and the repairs will cost more.

Floor Framing

It is not clear what constitutes the floor of the west part of the house. The linoleum tiles appear to be glued to something solid, but it is not clear if the substrate is some kind of slab on grade installed at any time in the past, or something else. It does not seem that a crawls space exists in this area.

The ground floor framing of the east – taller part of the house consists of sawn wood floor joists on masonry walls. Please see Figure 11. The joists appear to be in good condition, with exception that we could not verify if the joist ends are rotting inside exterior walls.

It is assumed that the second floor framing consists of similar joists. This could not be verified because of plaster on wood lath ceiling. It was not possible to verify if the sill plates under the joists are anchored into the walls and whether the joists are nailed to the sill plates.



Figure 11: Ground Floor Framing

This review did not include load capacity analysis of the ground or second floor framing. Such analysis should be performed in case the house is meant to become a part of some heritage complex open to public, or even, if it is going to be occupied by tenants in new location.

Roof Framing

This review did not include access to heights and detailed investigation of the roof framing was not possible. The most obvious condition is substantial sagging of the roof ridge of the west part of the house. Please see Figure 12.



Figure 12: Sagging Roof

The red line shows how much the roof ridge has sagged. The yellow line shows slight curvature upwards of the fascia which means that there is some lifting of joist ends as a result of opening of the rafters. Fascia is also bowing outwards. Some of the rafters on the south side are rotten at the ends, and fascia and soffit have fallen apart.

Although the ceiling inside the west part of the house does not show distress, based on deformations of the roof alone, the roof framing should be considered as failed. **The roof of the west part of the house is unsafe** and must be repaired immediately. In its current condition, it can fall under the heavy snow. The fact that it survived the last few winters does not mean that it is safe.

The roof of the east part of the house is completely covered in vine and could not be reviewed.

Conclusions and Recommendations

The visual review of the house at 12245 Torbram Road in Caledon East was performed on June 29th, 2021. The purpose of the review was to assess current condition of the house from the structural point of view and provide professional opinion on necessary remedial work having in mind that the house is occupied at the moment and will be moved to a different location in the near future, most likely in 2022.

The following are tasks that must be performed as soon as possible as they pose threat to the occupants.

- Remove all vine from the house and all organic growth around the base of walls to fully expose for review all walls and roofs. There may be loose bricks that are not visible now.
- As a minimum, reset in mortar all loose bricks, rebuild failed lintels, and fill large cracks to reduce water ingress into the walls. This is based on assumption that comprehensive masonry walls repairs will happen before the house relocation some time in the future.
- Rebuild the roof framing of the west single storey part of the house. **The roof of the west part of the house is unsafe** and must be repaired immediately. In its current condition, it can fall under the heavy snow next winter.

The house relocation should be performed by a company experienced in such work. Before the relocation, masonry walls must be completely restored by partially rebuilding walls around cracks and bowing parts, repointing and other masonry techniques. We recommend tying of all walls across the ground floor, second floor and attics and bracing in both directions. Additionally, we recommend sandwiching the south wall between two steel frames to prevent any potential delamination of the exterior brick wythe.

We hope that this report meets your expectations. Please do not hesitate to call, should you require any clarifications.

Yours very truly,

Ojdrovic Engineering

A handwritten signature in black ink, appearing to read 'Nebojsa Ojdrovic', written over a faint, stylized graphic element.

Nebojsa Ojdrovic, Ph.D., P.Eng., CAHP