

**THE CORPORATION OF THE TOWN OF CALEDON  
 BY-LAW NO. [By-law Number Inserted by Town]**

Being a by-law to amend Comprehensive Zoning By-law 2006-50, as amended, with respect to PART OF LOT 19 CONCESSION 1 EAST OF HURONTARIO STREET CHINGUACOUSY, PART 5, 43R32579; PARTS 1 AND 2, 43R32579; PARTS 3 AND 4, 43R40376,  
 Town of Caledon, Regional Municipality of Peel,  
 municipally known as 12211, 12213 and 12231 Hurontario Street.

**WHEREAS** Section 34 of the Planning Act, as amended, permits the councils of local municipalities to pass zoning by-laws for prohibiting the use of land or the erecting, locating or using of buildings or structures for or except for such purposes as may be set out in the by-law;

**AND WHEREAS** the Council of The Corporation of the Town of Caledon considers it desirable to pass a zoning by-law to permit the use of PART OF LOT 19 CONCESSION 1 EAST OF HURONTARIO STREET CHINGUACOUSY, PART 5, 43R32579; PARTS 1 AND 2, 43R32579; PARTS 3 AND 4, 43R40376, Town of Caledon, Regional Municipality of Peel, for low-rise residential use purposes.

**NOW THEREFORE** the Council of The Corporation of the Town of Caledon enacts that By-law 2006-50 as amended, being the Comprehensive Zoning By-law for the Town of Caledon, shall be and is hereby amended as follows:

1. The following is added to Table 13.1:

Zone Prefix	Exception Number	Permitted Uses	Special Standards
R1	AAA	<ul style="list-style-type: none"> <li>- Apartment Accessory</li> <li>- Day Care, Private Home</li> <li>- Dwelling, Detached</li> <li>- Home Occupation</li> </ul>	<p><b>DEFINITIONS</b></p> <p><i>Building Height:</i> For the purpose of this zone, <i>Building Height</i> shall be calculated using the vertical distance measured from the average elevation of the established grade at the front of such <i>building</i> to the median level between the eaves and ridge on a gable, gambrel or hip roof.</p> <p><i>Established Grade:</i> For the purposes of this zone, <i>Established Grade</i>, with reference to a <i>building</i>, shall be calculated using the average elevation of the finished surface of the ground where it meets the exterior of the front of such <i>building</i>.</p> <p><i>Lot Frontage:</i> For the purpose of this zone, <i>Lot Frontage</i> means the horizontal distance between the two <i>lot lines</i> which intersect the <i>front lot line</i>, with such distance being measured along a line which is parallel to, and at a distance of 4.5m from the <i>front lot line</i>.</p> <p>In the case of a <i>corner lot</i> with a daylight rounding or triangle, the <i>lot frontage</i> shall be calculated as if the front and exterior side <i>lot lines</i> were extended to their point of intersection.</p> <p><i>Porch:</i> For the purposes of this zone, <i>Porch</i> shall mean a platform with or without foundation or cold cellar, extending from an exterior wall of a <i>building</i> and having at least 50% of one side of the vertical planes forming the perimeter unobstructed in any manner except by railings and stairs with access to grade.</p>

Zone Prefix	Exception Number	Permitted Uses	Special Standards												
			<p><b>REGULATIONS</b></p> <p><i>Access Regulations:</i> For the purpose of this zone Sections 4.3.3 (minimum <i>entrance setback</i>) and 4.3.4 (minimum <i>entrance separation</i>) shall not apply.</p> <p><i>Accessory Buildings:</i> For the purpose of this zone, an <i>accessory building</i> shall not be permitted in the <i>front</i>, or <i>exterior side yard</i>.</p> <p><i>Accessory Building Size:</i> For the purpose of this zone, (an) <i>accessory building(s)</i>, not including a detached or <i>dual garage</i>, shall have a total maximum <i>building area</i> of 20m<sup>2</sup>.</p> <p><i>Accessory Building Location:</i> For the purpose of this zone, any <i>accessory building</i>, not including a detached <i>garage</i> shall be located a minimum of 0.6m from any <i>lot line</i>.</p> <p><i>Model Homes:</i> Notwithstanding 4.23.4 (maximum number of model homes), for the purpose of this zone, the maximum number of model homes permitted on lands which have received draft plan of subdivision approval shall not exceed 10% of the total number of <i>dwelling units</i> within the draft-approved plan of subdivision, up to a maximum of 10 model homes.</p> <p><i>Sight Triangles:</i> For the purposes of this zone Section 4.36 (<i>Sight Triangles</i>) shall not apply.</p> <p><i>Size of Parking Spaces:</i> For the purpose of this zone, the minimum size of a <i>parking space</i> shall be 2.75m in width and 5.5m in length.</p> <p><b>ZONE STANDARDS</b></p> <p><i>Lot Area (Min.)</i> N/A</p> <p><i>Lot Frontage (Min.)</i></p> <table border="0" style="width: 100%;"> <tr> <td style="padding-left: 20px;"><i>interior lot:</i></td> <td style="text-align: right;">9.1m</td> </tr> <tr> <td style="padding-left: 20px;"><i>corner lot:</i></td> <td style="text-align: right;">10.3m</td> </tr> </table> <p><i>Front Yard (Min.)</i></p> <table border="0" style="width: 100%;"> <tr> <td style="padding-left: 20px;">to a <i>main building</i>:</td> <td style="text-align: right;">2.5m</td> </tr> <tr> <td style="padding-left: 20px;">to a vehicular door of a <i>private garage</i>:</td> <td style="text-align: right;">5.5m</td> </tr> </table> <p><i>Interior Side Yard (Min.)</i> 0.6m on one side and 1.2m on the other side</p> <p><i>Exterior Side Yard (Min.)</i></p> <table border="0" style="width: 100%;"> <tr> <td style="padding-left: 20px;">to a <i>main building</i>:</td> <td style="text-align: right;">2.0m</td> </tr> <tr> <td style="padding-left: 20px;">to a vehicular door of a <i>private garage</i>:</td> <td style="text-align: right;">5.5m</td> </tr> </table> <p><i>Rear Yard (Min.)</i> 6.0 m</p>	<i>interior lot:</i>	9.1m	<i>corner lot:</i>	10.3m	to a <i>main building</i> :	2.5m	to a vehicular door of a <i>private garage</i> :	5.5m	to a <i>main building</i> :	2.0m	to a vehicular door of a <i>private garage</i> :	5.5m
<i>interior lot:</i>	9.1m														
<i>corner lot:</i>	10.3m														
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Zone Prefix	Exception Number	Permitted Uses	Special Standards
			<p><i>Backyard Amenity Area (Min.):</i> N/A</p> <p><i>Building Height (Max.)</i> 14.0 m</p> <p><i>Building Area (Max.)</i> N/A</p> <p><i>Landscaped Area (Min.)</i> N/A</p> <p><b>PERMITTED ENCROACHMENTS</b></p> <p>Bay, Box or Bow Windows with or Without Foundations shall be permitted to encroach a maximum 1.0m into a required front, exterior side or rear yard.</p> <p>Covered or Uncovered Porch or Balcony, Canopy or Portico shall be permitted to encroach a maximum:</p> <ul style="list-style-type: none"> <li>(i) 2.0m into a required <i>front yard</i>;</li> <li>(ii) 2.5m into a required <i>rear yard</i>;</li> <li>(iii) 1.5m into a required <i>exterior side yard</i>;</li> <li>(iv) 0.6m into a required <i>interior side yard</i>, provided a minimum <i>setback</i> of 0.6m is maintained to an <i>interior side lot line</i>. <p>Covered or Uncovered Steps or Stairs, Ramp or Barrier-free Access Feature not associated with a Deck shall be permitted to encroach a maximum:</p> <ul style="list-style-type: none"> <li>(i) 2.5m into a required <i>front or rear yard</i></li> <li>(ii) 2.0m into a required <i>exterior side yard</i></li> </ul> <p>Deck ≥ 0.75m in Height shall be permitted to encroach a maximum 3.0m inclusive of any stairs, ramp or barrier-free access feature into a required <i>rear yard</i>.</p> <p>Deck &lt; 0.75m in Height shall be permitted to encroach a maximum 0.6m into any required <i>yard</i>, provided that a minimum <i>setback</i> of 0.6m is maintained to the <i>lot line</i>.</p> <p>Eaves, Sills, Cornices, Parapets, or other similar Ornamental Architectural features shall be permitted to encroach a maximum 0.6m extending from:</p> <ul style="list-style-type: none"> <li>a) a <i>main building wall</i>;</li> <li>b) a bay, box or bow window; or</li> <li>c) a covered or uncovered <i>porch or balcony</i> into a required <i>yard</i>, provided that: <ul style="list-style-type: none"> <li>i) a minimum <i>setback</i> of 0.6m is maintained to a <i>lot line</i>; and</li> <li>ii) in the case of eaves, a minimum <i>setback</i> of 0.2m is maintained to an <i>interior side lot line</i></li> </ul> </li> </ul> <p>Steps or Stairs, Ramp, Barrier-free access feature and Deck in a private garage shall be permitted to encroach a maximum of 0.5m into a required parking space.</p> </li></ul>

2. Schedule "A", Zone Map 7 of By-law 2006-50, as amended is further amended for PART OF LOT 19 CONCESSION 1 EAST OF HURONTARIO STREET CHINGUACOUSY, PART 5, 43R32579; PARTS 1 AND 2, 43R32579; PARTS 3 AND 4, 43R40376, Town of Caledon, Regional

Municipality of Peel, from Agricultural (A1) and Highway Commercial (CH) to Residential One Exception AAA (R1-AAA) and Open Space (OS) in accordance with Schedule "A" attached hereto.

3. Schedule "B" S.E. Map [map number] attached hereto, is hereby added to Schedule "B", Structure Envelope (SE) Maps of By-law 2006-50, as amended, for the lands legally described as PART OF LOT 19 CONCESSION 1 EAST OF HURONTARIO STREET CHINGUACOUSY, PART 5, 43R32579; PARTS 1 AND 2, 43R32579; PARTS 3 AND 4, 43R40376, Town of Caledon, Regional Municipality of Peel.

Read three times and finally passed in open Council on the [XX] day of [XXXXXX], [20XX].

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Allan Thompson, Mayor

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Carey Herd, Clerk

# APPENDIX "A"

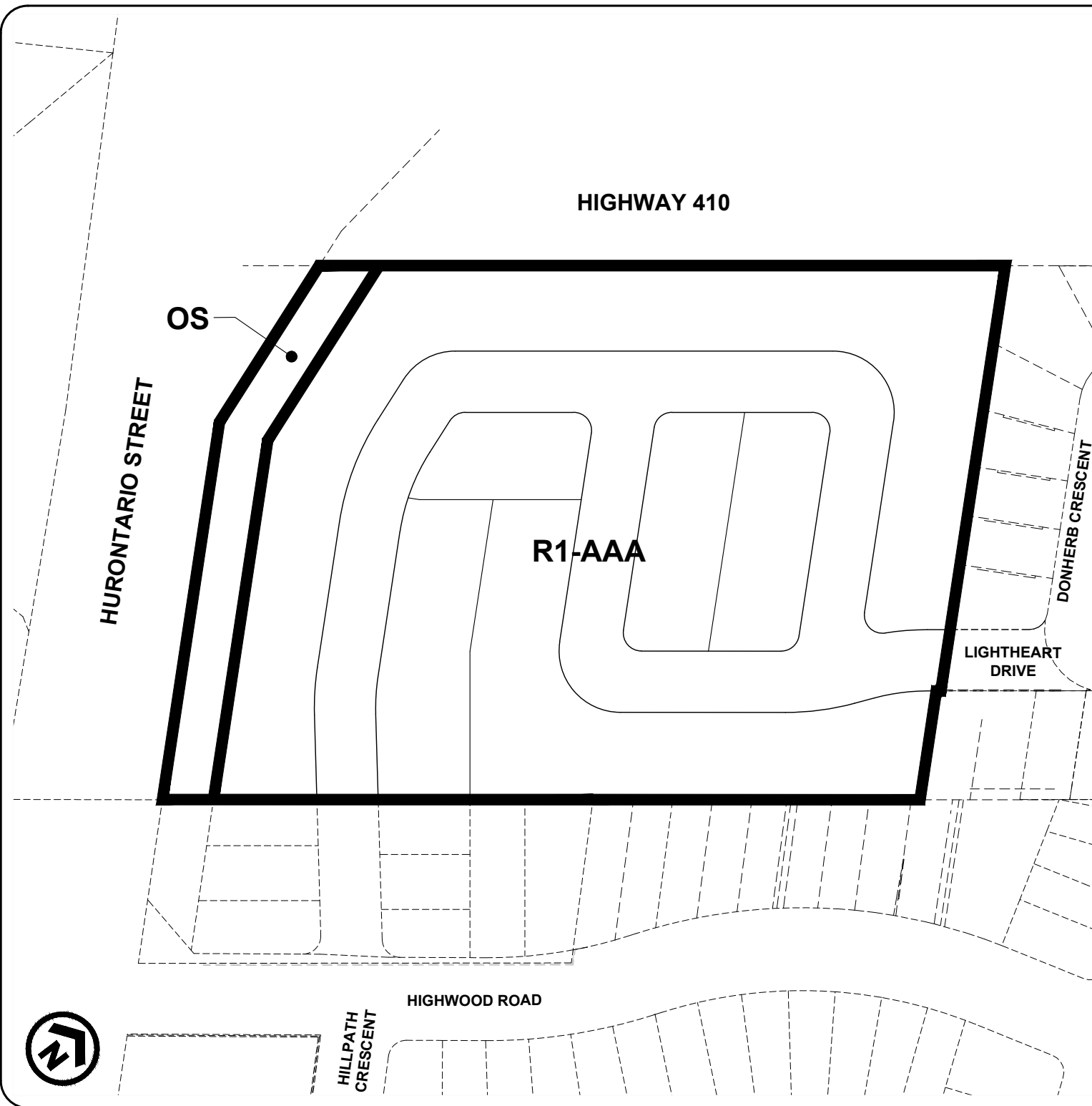
## ZONING BY-LAW

### No. 2023-XX

PART OF LOT 19,  
 CONCESSIONS 1,  
 EAST OF HURONTARIO STREET  
 (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)  
 TOWN OF CALEDON  
 REGIONAL MUNICIPALITY OF PEEL

#### LEGEND

SUBJECT PROPERTY TO BE REZONED FROM  
 AGRICULTURAL (A1) &  
 HIGHWAY COMMERCIAL (CH) ZONE TO:  
 RESIDENTIAL ONE SPECIAL (R1-AAA)  
 OPEN SPACE (OS)



DRAWN BY: GSAI	FILE NO:
CHECKED BY:	DATE: MAY 9, 2023
SCALE: 1:1,500	REVISED:

PLANNING & DEVELOPMENT DEPARTMENT