



## FUNCTIONAL SERVICING REPORT

*Caledon HL Developments Inc.*

**Type of Document:**

Final Report

**Project Name:**

12505 Heart Lake Road, Caledon

**Project Number:**

ALL-22008701-A0

**Prepared and Reviewed By:**

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**Approved By:**

Scott Passmore

**Date + Time Submitted:**

2022-07-28

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## 1. Introduction

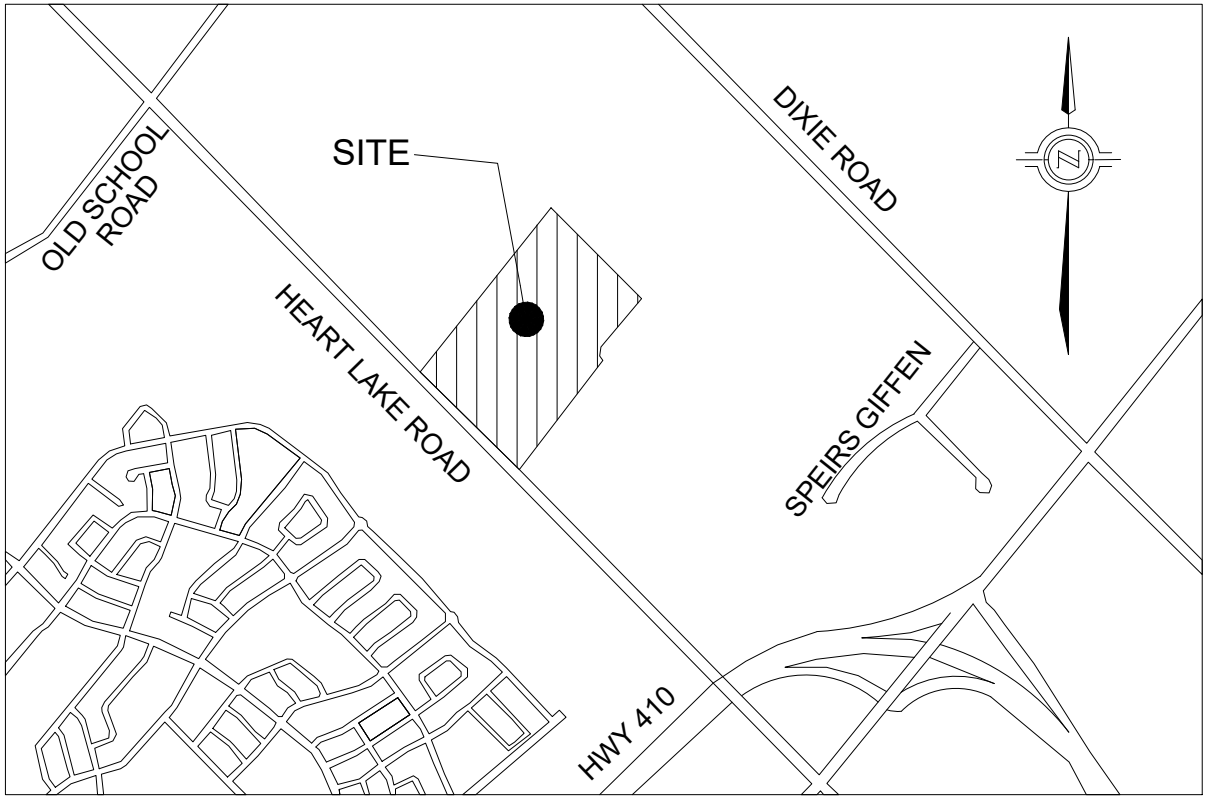
EXP Services Inc. has been retained by Caledon HL Developments Inc. (“Owner”) to prepare a Functional Servicing Report (“Report”) in support of an application for a Zoning By-Law Amendment of the proposed industrial development site (“the site”) located at 12505 Heart Lake Road, in the Town of Caledon.

The objective of this report is to provide an overview of the proposed grading and servicing for the site including outlining the required demands on the municipal system while demonstrating how the required design criteria and standards can be met.

## 2. Site Description and Proposed Development

The subject site is approximately 29.4 ha in size and bound by Heart Lake Road to the west, agricultural lands to the south and east, and an existing creek (Campbell Cross Creek) to the north regulated by the Toronto and Region Conservation Authority (TRCA). The subject site is currently occupied by a farm that has a single driveway access to Heart Lake Road. Refer to Figure 1 for the Site Location Plan.

Based on the Owner’s current development concept, the proposed development is to include six (6) industrial style buildings with above ground parking including an allowance for the GTA West Transportation Corridor through the middle of the site. Should this corridor be utilized, the site would be split by the potential highway extension with corresponding MTO setbacks with road access required along the east parcel to Dixie Road. Refer to the Conceptual Site Plan (prepared by Ware Malcomb) in Appendix A for additional details regarding the development plan.



E:\MRK\ALL-22008701-A0\60 Execution\65 Drawings\Civil\22008701-FIG-01 LOCATION PLAN.dwg



Project:		12505 HEART LAKE ROAD, TOWN OF CALEDON	
Title:		LOCATION PLAN	
Approved by:	S.P	Date:	APR, 2022
Project No.:	ALL-22008701-A0		
Drawn by:	N.M	Scale:	N.T.S.
Figure no.:	FIG-01		

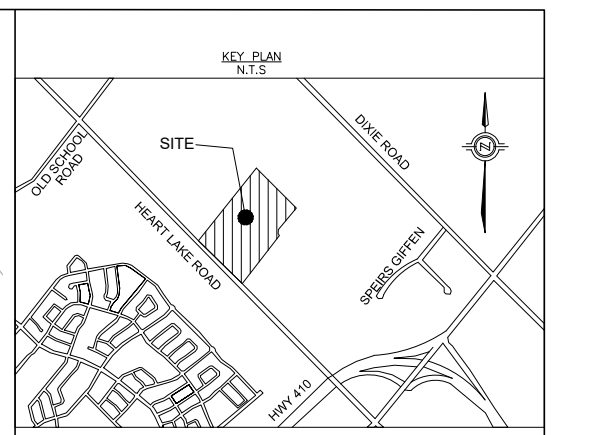
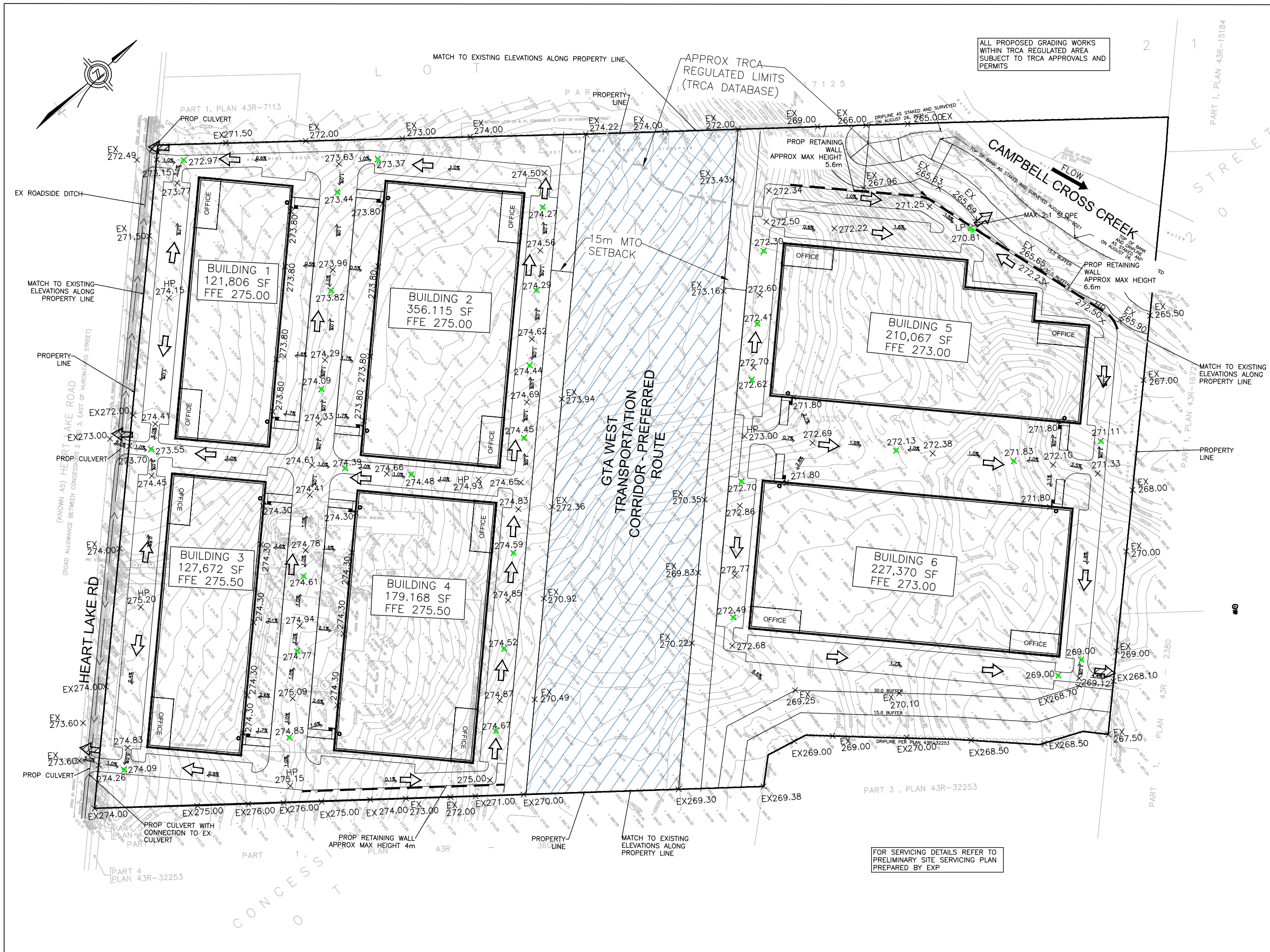
### 3. Existing Topography and Proposed Grading

To assess the existing site topography within and surrounding the site, EXP staff reviewed the topographic surveys provided by the Owner including Town's record drawings. A site visit was then completed by EXP staff on May 5<sup>th</sup> 2022, to review the existing drainage conditions including the above ground utility furniture. The provided topographic surveys for the site shows that the site is split into three main drainage catchments with a high point in the middle of the site. From the high point, the drainage is shown to generally exit the site along west, North and northeast limits of the property. For additional details please refer to the topographic survey provided in Appendix A.

The topography for the Heart Lake Road, shows grades falling to the north and south with a high point adjacent to the site. The road then falls from that highpoint to the north within a range of 2m to the north limits of the site. For additional details refer to the record drawings provided in Appendix A.

The preliminary grading design for the site generally maintains the existing drainage patterns for the site while maintaining existing elevations along the perimeter of the site. The preliminary grading design directs drainage away from building entrances and ensuring emergency major overland flow is conveyed to the existing outlet points at the property line.

Overall, the preliminary grading design for the site is to be completed in concert with the proposed stormwater management (SWM) strategy for the site which includes a network of high and low points, and an inlet design to capture and attenuate the 100-year storm event through an infiltration style design. For additional grading details refer to the Preliminary Site Grading Plan on Figure 2.



**LEGEND:**

	PROPERTY LINE
	NEW / EXISTING WATER VALVE AND BOX
	EXISTING HYDRANT
	PROPOSED ELEVATION
	EXISTING ELEVATION
	DRAINAGE ARROW / SLOPE (MAX 3:1)
	EMERGENCY OVERLAND FLOW (GREATER THAN 100-YEAR STORM)
	MAJOR OVERLAND FLOW
	EX. STORM/SANITARY M.H.
	EX. CATCH BASIN
	PROP. CATCHBASIN
	APPROX TRCA REGULATED LIMITS (TRCA DATABASE)
	EX CONTOUR
	PROPOSED RETAINING WALL

**NOTE:**

- SITE PLAN INFORMATION TAKEN FROM WARE MALCOMB ARCHITECT
- TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY R-PE SURVEYING LTD

<b>CALEDON HL DEVELOPMENTS INC.</b>		
	DRAWN BY	CHECKED BY
	N.M	S.P.
<b>PRELIMINARY SITE GRADING PLAN</b>		<b>FIGURE 2</b>
12505 HEART LAKE ROAD TOWNSHIP OF CALEDON		
PROJECT NUMBER: ALL-22008701-A0	DATE: JULY 2022	

## 4. Water Servicing

The site is currently located within the Region of Peel's water pressure Zone 7. Record drawings from the Region of Peel show the following existing municipal watermains adjacent to the site:

- 400 mm diameter watermain on the east side of Heart Lake Road; and,
- 900 mm and 1200 mm diameter feeder mains on the west side of Heart Lake Road.

Finally, the record drawings and topographic survey information also show four (4) existing fire hydrants adjacent to the site which was verified during EXP staff's site visit. For the record drawings please refer to Appendix A.

After reviewing the Owner's development concept which includes single ownership under a single phase of construction, it was confirmed that the site would require a single combined fire and domestic water service connection at a minimum. Therefore, the preliminary watermain servicing design for the site shows the following configuration:

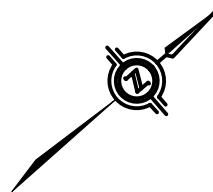
- One new combined fire/domestic water connection to the existing 400 mm diameter watermain on Heart Lake Road; and,
- An extension of the private site watermain under the Transportation Corridor area within a steel liner to the east side of the site.

The final watermain sizes and configuration are to be finalized further through the detailed design process all in accordance with Region of Peel and Ontario Building Code (OBC) standards. For additional details regarding the preliminary water servicing design refer to the Preliminary Site Servicing Plan on Figure 3.

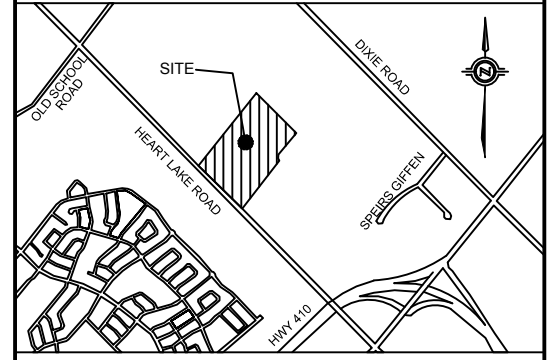
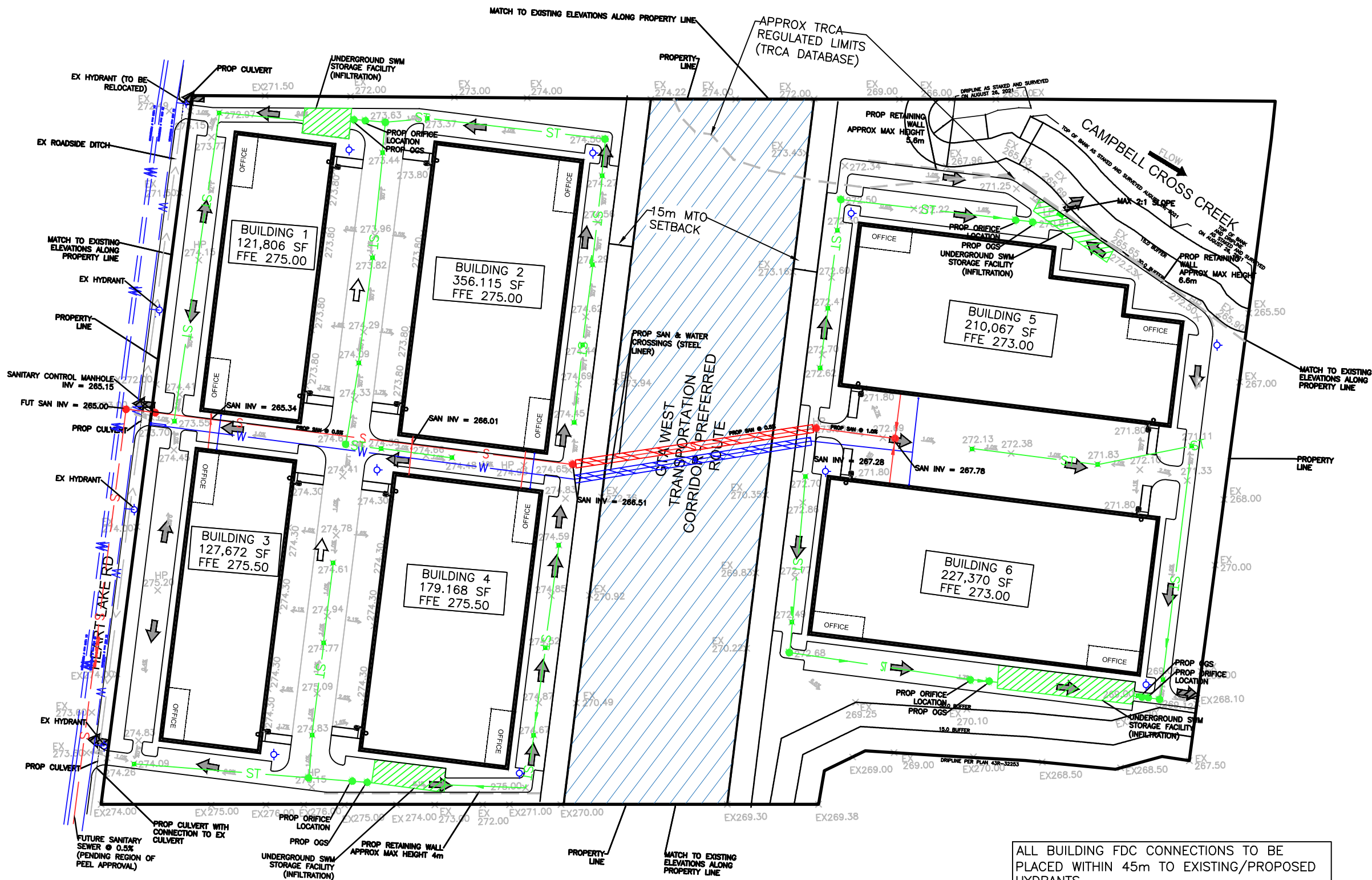
To determine the post development domestic water demand for the proposed development, the water consumption calculations were prepared in accordance with the Region of Peel's design criteria. The calculations showed that under maximum day conditions, a proposed peak domestic demand of 3.3 L/s for the six (6) industrial buildings.

For calculating the estimated fire protection requirements, the Fire Underwriter's Survey was used where the theoretical demand was calculated to be in the range of 183 L/s for building 2 based on the proposed non-combustible construction and full sprinkler protection. Therefore, for the purposes of assessing the proposed post development water demand calculations, a fire plus maximum day demand of 186.3 L/s should be considered for the site. For additional details on the proposed water demands refer to calculations provided in Appendix B.

Finally, to verify existing flows and pressures within the municipal watermain against the proposed demands, it is recommended that a hydrant flow test be completed along the existing 400mm diameter watermain on Heart Lake Road.



ALL PROPOSED GRADING WORKS WITHIN TRCA REGULATED AREA SUBJECT TO TRCA APPROVALS AND PERMITS



- LEGEND:**
- EXISTING WATER VALVE
  - EXISTING HYDRO POLE
  - EXISTING TREE
  - EXISTING TREE DRIPLINE
  - EXISTING OVERHEAD HYDRO WIRES
  - EXISTING FENCELINE
  - EXISTING CURBS
  - EX. VALVE CHAMBER
  - EX. STORM/SANITARY M.H.
  - EX. CATCH BASIN
  - PROP. STORM M.H.
  - PROP. SANITARY M.H.
  - PROP. GW SAMPLING PORT
  - PROP. AREA DRAIN
  - PROPOSED CURBS
  - PROP. STORM SEWER
  - PROP. WATERMAIN
  - PROP. SANITARY SEWER
  - EX. SANITARY SEWER
  - EX. WATERMAIN
  - PROPERTY LINE
  - EXISTING HYDRANT
  - MAJOR OVERLAND FLOW ARROW
  - EMERGENCY MAJOR OVERLAND FLOW ARROW
  - APPROX TRCA REGULATED LIMITS (TRCA DATABASE)
  - PROPOSED RETAINING WALL

NOTE:  
 - SITE PLAN INFORMATION TAKEN FROM WARE MALCOMB ARCHITECT  
 - TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY R-PE SURVEYING LTD

CALEDON HL DEVELOPMENTS INC.

	DRAWN BY	CHECKED BY
	N.M	S.P.

PRELIMINARY SITE SERVICING PLAN FIGURE 3

12505 HEART LAKE ROAD  
TOWNSHIP OF CALEDON

PROJECT NUMBER: ALL-22008701-A0 DATE: JULY 2022

ALL BUILDING FDC CONNECTIONS TO BE PLACED WITHIN 45m TO EXISTING/PROPOSED HYDRANTS

FOR GRADING DETAILS REFER TO PRELIMINARY SITE GRADING PLAN PREPARED BY EXP



## 5. Sanitary Servicing

The site is currently located outside of the Region of Peel's active sanitary sewer servicing area, where the site and neighbouring properties are currently serviced septic systems. Region of Peel sanitary drainage maps show that the site is positioned within a future sanitary drainage catchment that is to be directed to Dixie Road.

The Region of Peel's latest Master Servicing Plan (2020 Water and Wastewater Master Plan for the Lake-Based System) shows two sanitary projects adjacent to the site (Projects ST-193 and ST-194). The two subject projects are intended to convey flows from future sites in the southerly direction along Heart Lake Road, then easterly towards Dixie Road by 2031. Through correspondence with Region staff, it was confirmed that these projects are placeholders for required sanitary servicing, as future environmental assessments are required to determine feasibility and the preferred alignments. EXP staff then provided various options for the proposed external sanitary servicing to Region staff that not only considered the subject site requirements but outlined details for the Region's master plan requirements as well. Overall, it is believed by EXP staff that the best option is to construct a new municipal sanitary sewer along Heart Lake Road adjacent to the site that will flow in the southerly direction and then east towards the existing 375mm diameter sanitary sewer on Speirs Giffen Avenue.

After reviewing the Owner's development concept which includes single ownership under a single phase of construction, it was confirmed that the site would require a single sanitary service connection. Therefore, the preliminary sanitary servicing design for the site shows the following configuration:

- One new sanitary service connection to the future municipal sanitary sewer on Heart Lake Road to be coordinated with Region of Peel staff; and,
- An extension of the private site sanitary sewer under the GTA West Transportation Corridor area within a steel liner to the east side of the site.

The final sanitary sizes and configuration are to be finalized further through the detailed design process all in accordance with Region of Peel and Ontario Building Code (OBC) standards. For additional details regarding the preliminary water servicing design refer to the Preliminary Site Servicing Plan on Figure 3.

For calculating the peak sanitary demand for the site under proposed development conditions, the Region of Peel's design criteria was used to first determine the estimated equivalent population. Using the estimated population criteria, the total estimated equivalent population for the site is calculated to be 682 persons. After determining the equivalent population, the Region of Peel's sanitary demand criteria and corresponding peaking factors were then used to give peak sanitary demands of 15.4 L/s for the site.

Refer to Appendix C for the sanitary calculations and Appendix D for the background documents regarding the external sanitary servicing proposal and the correspondence with Region of Peel staff to date.

## 6. Storm Servicing

As previously mentioned, the site is currently located adjacent to an existing high point on Heart Lake Road where the site topography shows a drainage divide splitting overland flows to the north, south and west. Record drawings for the area do not show any existing municipal storm sewers adjacent to the site, where drainage within the Heart Lake Road right of way is conveyed via roadside ditches and culverts.

Based on the proposed preliminary site grading design, it was decided that the proposed site storm servicing design should incorporate an infiltration style stormwater management design with two (2) separate storm systems located on each side of the transportation corridor to meet the existing drainage patterns for the site. Therefore, the preliminary storm servicing design for the site shows the following configuration for each storm system:

- A series of high and low points within the site grading and storm design to capture and attenuate all storm events up to and including the 100-year storm event;
- Various orifice controls within the storm system to control flows to pre-development flow rates;
- Oil and grit separators positioned upstream of the proposed underground stormwater management infiltration facilities;
- Direct connections from building roof drains to the underground stormwater management infiltration facilities; and,
- Overflow outlet points from the underground stormwater management infiltration facilities to existing drainage outlet points across the site.

The final storm sewer sizes and configuration are to be finalized further through the detailed design process all in accordance with the Town of Caledon and Ontario Building Code (OBC) standards. For additional details regarding the preliminary storm servicing design refer to the Preliminary Site Servicing Plan on Figure 3. Finally, the proposed SWM measures are outlined further in the SWM Report prepared by EXP.

## 7. Conclusions

In summary, the proposed development can be adequately serviced where some of the key findings are summarized as follows:

- The proposed grading requirements for the site can be accommodated without any negative impact to neighbouring properties
- Water servicing can be provided with a new combined domestic/fire water service connection to the existing 400 mm diameter watermain on Heart Lake Road
- Fire protection can be provided with the new combined domestic/fire water service connection to the existing 400 mm diameter watermain on Heart Lake Road, where it is recommended that a hydrant flow test be completed to verify existing flows and pressures
- Sanitary servicing can be provided with new sanitary service connection to the proposed municipal sanitary sewer along Heart Lake Road pending approvals from Region of Peel staff
- Sanitary capacity for the proposed development is to be verified with Region of Peel staff as part of the proposal for the proposed municipal sanitary sewer along Heart Lake Road
- Storm servicing can be provided through the proposed infiltration style storm system complete with the proposed SWM control measures outlined in the SWM Report prepared by EXP

Sincerely,

EXP Services Inc.

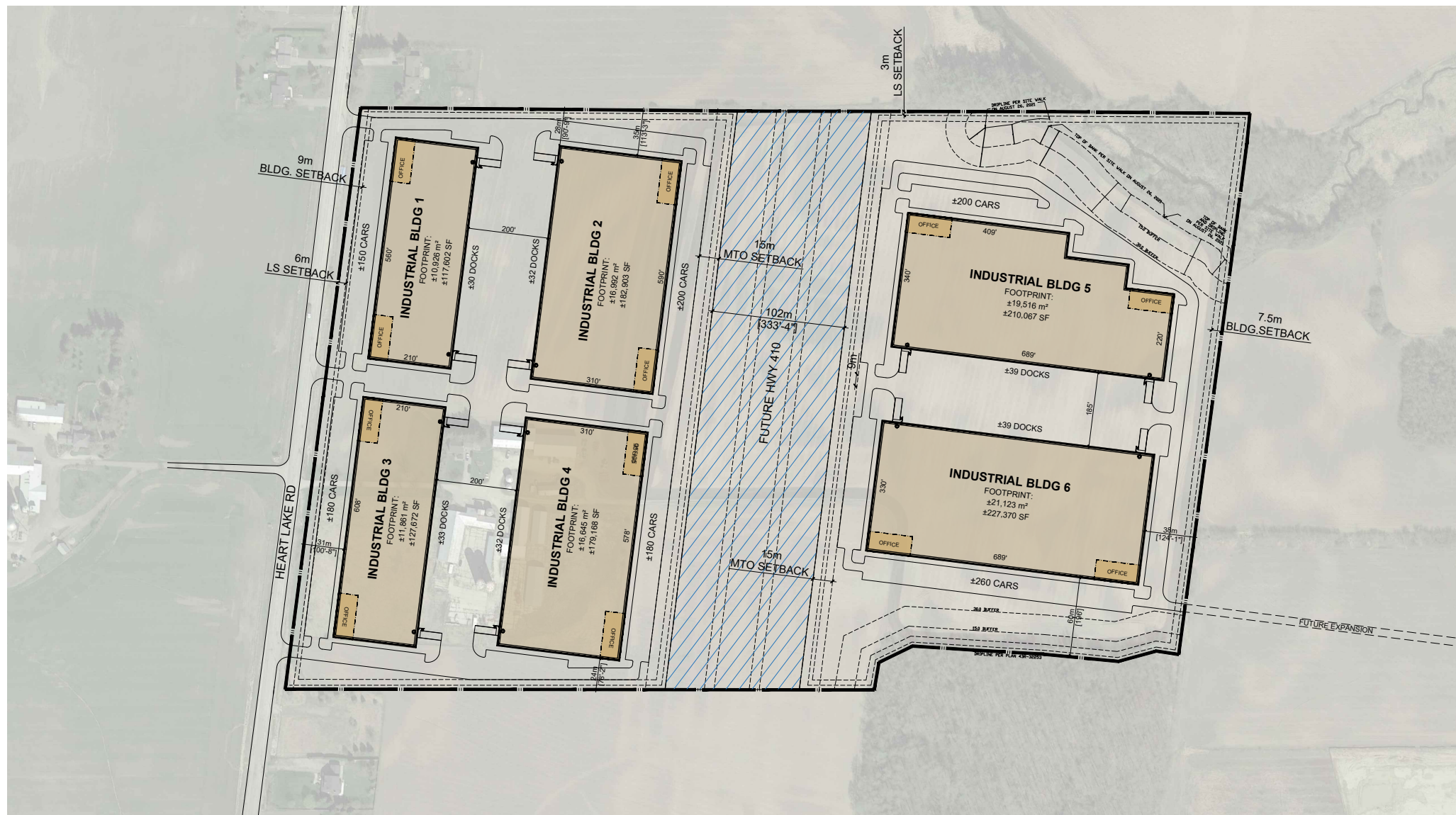


Nicholas Melatti, B.Eng.  
Project Coordinator, Land Development



Scott Passmore, P.Eng.  
Vice President, Land Development

## Appendix A – Background Information



<b>PROJECT DATA:</b>		
TOTAL SITE AREA:	72.64 AC	29.40 HA
GROSS:	3,164,261 SF	293,970 m²
<b>PARKING REQUIREMENTS:</b>		
WAREHOUSE	< 7000 m²	1/90 m²
	7000-20000 m²	1/145 m²
	> 20000 m²	1/170 m²
OFFICE		1/30 m²
<b>SITE AREA 1:</b>		
GROSS:	31.62 AC	12.80 HA
	1,377,507 SF	127,975 m²
<b>BUILDING 1</b>		
	117,602 SF	10,926 m²
<b>BUILDING 2</b>		
	182,903 SF	16,992 m²
<b>BUILDING 3</b>		
	127,672 SF	11,861 m²
<b>BUILDING 4</b>		
	179,168 SF	16,645 m²
TOTAL:	607,345 SF	56,424 m²
<b>FAR:</b>		
GROSS:		0.44
NET:		0.44
<b>COVERAGE:</b>		
GROSS:		44%
NET:		44%

<b>DEVELOPMENT STANDARDS:</b>	
ZONING:	MP
MAX. COVERAGE:	50%
MAX. HEIGHT:	18 m
<b>BUILDING SETBACKS:</b>	
FRONT:	9 m
SIDE:	7.5 m
REAR:	7.5 m
<b>LANDSCAPE SETBACKS:</b>	
FRONT:	6 m
SIDE:	3 m
REAR:	3 m
<b>LANDSCAPE REQ.:</b>	
	10%
<b>OFF-STREET PARKING:</b>	
STANDARD:	2.75X6 m
DRIVE AISLE:	6 m
<b>REQ. PARKING RATIO BY USE:</b>	
WAREHOUSE:	1/90 sq m <sup>1</sup>
MANUF:	1/60 sq m <sup>2</sup>
OFFICE:	1/30 sq m
<b>NOTES:</b>	
1 a.) If accessory office use and retail net floor areas are 15% or less of the total net floor area: up to 7000m <sup>2</sup> - 1/90m <sup>2</sup> net floor area; 7000-20000 - 78 spaces plus 1/145m <sup>2</sup> of net floor area or portion thereof above 7000m <sup>2</sup> ; Over 20000m <sup>2</sup> - 148 spaces plus 1/170m <sup>2</sup> or portion thereof over 20000m <sup>2</sup> ;	
b.) If associated office and retail net floor areas are more than 15% of the total net floor area: In addition to the standards contained in (a), the applicable net floor areas exceeding 15% shall be subject to the applicable office or retail parking requirements.	
2 a.) If accessory office and retail net floor areas are 15% or less of the total net floor area: Up to 5,000 sq m - 1 parking space per 60 sq m net floor area or portion thereof; 5,000 to 10,000 sq m - 83 spaces plus 1 space per 90 sq m of net floor area or portion thereof over 5,000 sq m; Over 10,000 sq m - 139 spaces plus 1 parking space per 170 sq m or portion thereof of net floor area or portion thereof over 10,000 sq m.	
b.) If associated office and retail net floor area are more than 15% of the total net floor area: In addition to the standards contained in (a), the applicable net floor areas exceeding 15% shall be subject to the applicable office or retail parking requirements.	
3 3 m for all parking spaces.	

<b>BUILDING 1</b>		
▲ DOCK-HIGH DOORS		30
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	3,379 m²	23 STALLS
OFFICE @ 5%	546 m²	18 STALLS
TOTAL		119 STALLS
<b>PARKING PROVIDED:</b>		
		150 STALLS
	@1.28/1000 SF	@1.37/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

<b>BUILDING 2</b>		
▲ DOCK-HIGH DOORS		32
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	9,143 m²	63 STALLS
OFFICE @ 5%	850 m²	28 STALLS
TOTAL		169 STALLS
<b>PARKING PROVIDED:</b>		
		200 STALLS
	@1.09/1000 SF	@1.18/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design: AVERAGE REGIONAL REQUIRED PROVIDED

Boundary Source: CIVIL CAD FILE

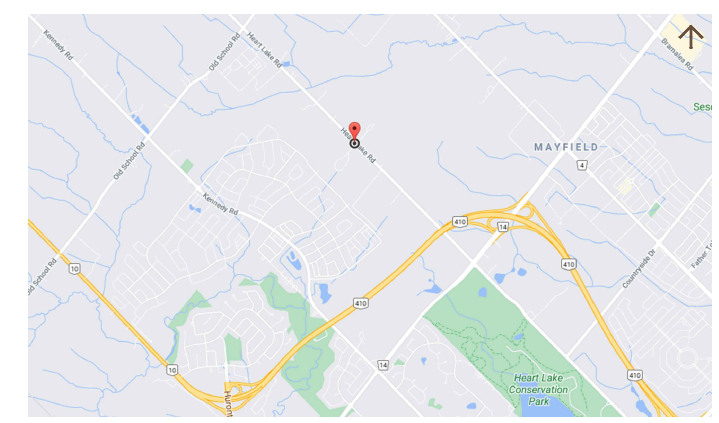
<b>BUILDING 3</b>		
▲ DOCK-HIGH DOORS		33
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	4,268 m²	29 STALLS
OFFICE @ 5%	593 m²	20 STALLS
TOTAL		127 STALLS
<b>PARKING PROVIDED:</b>		
		180 STALLS
	@0.98/1000 SF	@1.06/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

<b>BUILDING 4</b>		
▲ DOCK-HIGH DOORS		32
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	8,813 m²	61 STALLS
OFFICE @ 5%	832 m²	28 STALLS
TOTAL		166 STALLS
<b>PARKING PROVIDED:</b>		
		180 STALLS
	@0.98/1000 SF	@1.06/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

<b>SITE AREA 2:</b>		
GROSS:	29.79 AC	12.06 HA
	1,297,740 SF	120,564 m²
EASEMENT: @ 22%		26,358 m²
NET:	23.28 AC	9.42 HA
	1,014,028 SF	94,206 m²
<b>BUILDING 5</b>		
	210,067 SF	19,516 m²
<b>BUILDING 6</b>		
	227,370 SF	21,123 m²
TOTAL:	437,437 SF	40,639 m²
<b>FAR:</b>		
GROSS:		0.34
NET:		0.43
<b>COVERAGE:</b>		
GROSS:		34%
NET:		43%

<b>BUILDING 5</b>		
▲ DOCK-HIGH DOORS		39
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	12,516 m²	86 STALLS
OFFICE @ 5%	976 m²	33 STALLS
TOTAL		194 STALLS
<b>PARKING PROVIDED:</b>		
		200 STALLS
	@0.95/1000 SF	@1.02/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

<b>BUILDING 6</b>		
▲ DOCK-HIGH DOORS		39
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	13,000 m²	90 STALLS
> 20000 m²	1,123 m²	7 STALLS
OFFICE @ 5%	1,056 m²	35 STALLS
TOTAL		209 STALLS
<b>PARKING PROVIDED:</b>		
		260 STALLS
	@1.14/1000 SF	@1.23/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

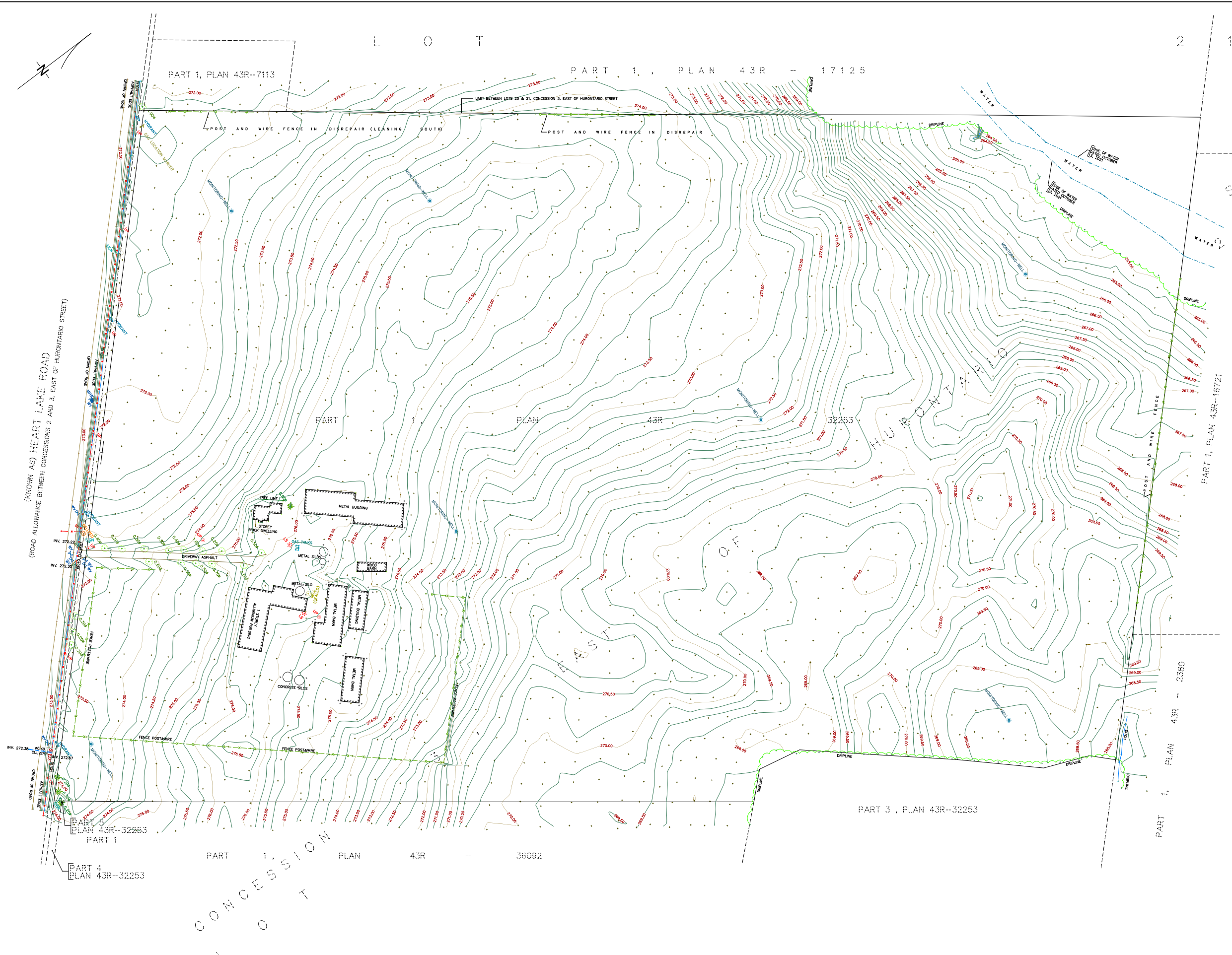


scheme: 05

Conceptual Site Plan

SKETCH SHOWING ELEVATIONS FOR CONSULTANT'S USE

SCALE 1:1000  
 0 5 10 20 30 40 meters  
 R-PE SURVEYING LTD., O.L.S.  
 METRIC



**LEGEND**

BXB	DENOTES BELL BOX
MHW	DENOTES MANHOLE WATER
INV.	DENOTES INVERT ELEVATION
UP	DENOTES UTILITY POLE
WV	DENOTES WATER VALVE
OW	DENOTES OVERHEAD WIRE
Ø	DENOTES DIAMETER
0.00	DENOTES DECIDUOUS TREE
0.00	DENOTES CONIFEROUS TREE

**CAUTION**  
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**NOTES**  
 BOUNDARY LINE—WORK TAKEN FROM PLAN OF SURVEY BY R-PE SURVEYING LTD., DATED OCTOBER 20, 2021 (R-PE CAD FILE No. 21-273-PL).  
 THIS SKETCH IS AN ORIGINAL COPY IF EMBOSSED BY THE SURVEYOR.  
 THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN WERE COMPLETED ON THE 19<sup>TH</sup> DAY OF MAY, 2022

**BENCHMARK NOTE**  
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO MTO VERTICAL BENCHMARK NUMBER 0081999991 HAVING AN ORTHOMETRIC ELEVATION OF 265.112 METRES. ELEVATIONS ARE REFERENCED TO THE CANADIAN GEODETIC VERTICAL DATUM OF 1928, 1978 ADJUSTMENT (CGVD-1928/1978).  
 BENCHMARK SET IN TWO STOREY RED BRICK HOUSE ON EAST SIDE OF HWY 10, 2.7 KM NORTH OF JUNCTION OF HWY 10 AND PEEL REGIONAL ROAD 14 IN THE HAMLET OF SNEGROVE, 0.4 KM SOUTH OF CALEDON SIDEROAD 22 AND 137.8 M EAST OF CENTRELINE OF HWY 10. TABLET IS SET HORIZONTALLY IN WEST FACE OF STONE FOUNDATION, 70 CM SOUTH OF N.W. CORNER AND 9 CM BELOW BRICKWORK.

**R-PE SURVEYING LTD.**  
 ONTARIO LAND SURVEYORS  
 643 Christlea Road, Suite 7  
 Woodbridge, Ontario L4L 8A3  
 Tel. (416) 635-5000 Fax (416) 635-5001  
 Tel. (905) 264-0881 Fax (905) 264-2099  
 Website: www.r-pe.ca  
 DRAWN: S.G.  
 JOB No. 21-273 CAD FILE No. 21273tp01



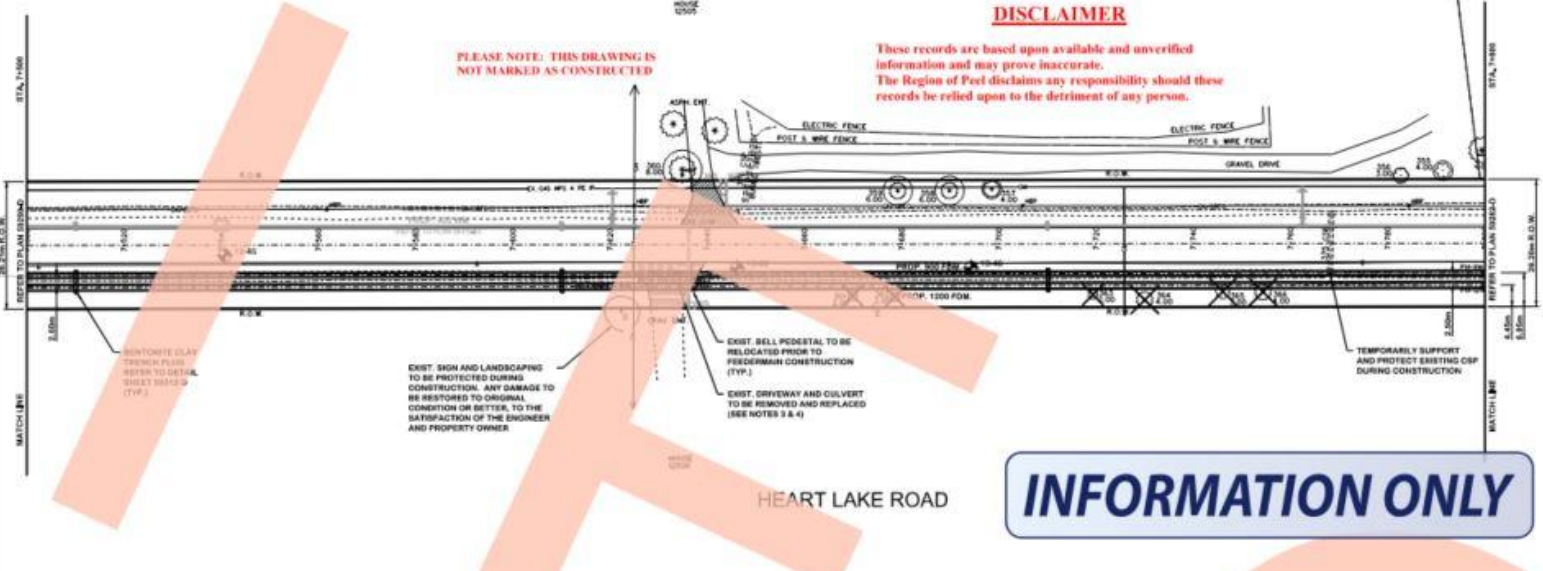
ITEM	DESCRIPTION	STATION	BASELINE OFFSET	STANDARD DRAWING	FEEDERMAIN INVERT	REMARKS / COORDINATES
PO1-1214	6" 1200 VERT. DEFIL.	7+500.00	6.18 RT			N 4846306.195 E 591343.493 ALL COORDINATES SHOWN ARE GRID 6' UTM-17N, NAD 83

ITEM	DESCRIPTION	STATION	BASELINE OFFSET	STANDARD DRAWING	FEEDERMAIN INVERT	REMARKS / COORDINATES
PO2-914	6" 900 VERT. DEFIL.	7+500.00	6.18 RT			N 4846306.632 E 591343.514 ALL COORDINATES SHOWN ARE GRID 6' UTM-17N, NAD 83

**DISCLAIMER**

These records are based upon available and unverified information and may prove inaccurate. The Region of Peel disclaims any responsibility should these records be relied upon to the detriment of any person.

PLEASE NOTE: THIS DRAWING IS NOT MARKED AS CONSTRUCTED



**INFORMATION ONLY**

SERVICE	DATE	BY	SERVICE	DATE	BY
EXIST. WATER			EXIST. GAS		
EXIST. CABLE			EXIST. TELEPHONE		
EXIST. FIBRE			EXIST. FIBRE		

DATE	DETAILS	BY

NO.	DATE	DESCRIPTION

- NOTES:**
- FOR GENERAL NOTES, SEE PLAN 592760.
  - EXISTING UTILITIES TO BE LOCATED AND DAYLIGHTED AT ALL PROPOSED WATER SERVICE LOCATIONS PRIOR TO CONSTRUCTION.
  - EXISTING DRAINAGE CULVERTS TO BE REMOVED AND REPLACED WITH A MINIMUM OF 30% OVERSIZED GRAVEL OR WITH SAFE INTERNAL DIAMETER IF THE EXISTING SIZE IS LARGER THAN 30% INTERNAL DIAMETER. WITH SMOOTH WALLS. EXISTING DRAINAGE CULVERTS TO BE REMOVED AND REPLACED TO MATCH EXISTING INVERTS, GRADE AND WITH A MINIMUM LENGTH OF 7.0m. AS PER TOWN OF CALEDON REQUIREMENTS.
  - ALL DRIVEWAYS ARE TO BE RESTORED TO EXISTING CONDITION OR BETTER WITH MATCHING MATERIAL. ASPHALT FOR ASPHALT, GRAVEL FOR GRAVEL, TO THE PROPERTY LINE. EXISTING DRIVEWAY RETAINING WALLS TO BE REMOVED AND REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.

**HATCH**

**General Notes**

- As shown on drawing unless otherwise noted
- Unless otherwise noted, quantities are to be measured in accordance with the current edition of the Ontario Building Code (O.B.C.)
- Unless otherwise noted, quantities are to be measured in accordance with the current edition of the Ontario Building Code (O.B.C.)
- As shown on drawing unless otherwise noted
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- As shown on drawing unless otherwise noted

**NOTICE TO CONTRACTOR**

48 HOURS PRIOR TO COMMENCING WORK, NOTIFY THE FOLLOWING:

THE REGIONAL SENIORITY OF PEEL	CHIEF OF POLICE/PROPERTY PROTECTION
CITY OF BRAMPTON ROAD DEPT.	REG. ENGINEER
TOWN OF CALEDON ROAD DEPT.	WORKING LINE TELECOM
RAIL CANADA	POWER LINES
NATIONAL HYDROELECTRICITY COMMISSION	ALUMINUM
ONTOARIO DEPARTMENT OF TRANSITATION	FOR PUBLIC SECTOR OFFICIALS
ONTARIO CLEAR WATER AGENCY	INDUSTRY/REGULATORY
ATFWD ONE NETWORKS	
PREVIOUSLY USED NETWORK	
STORM LINE BRANCHED	

1:500 HORIZONTAL SCALE  
1:100 VERTICAL SCALE

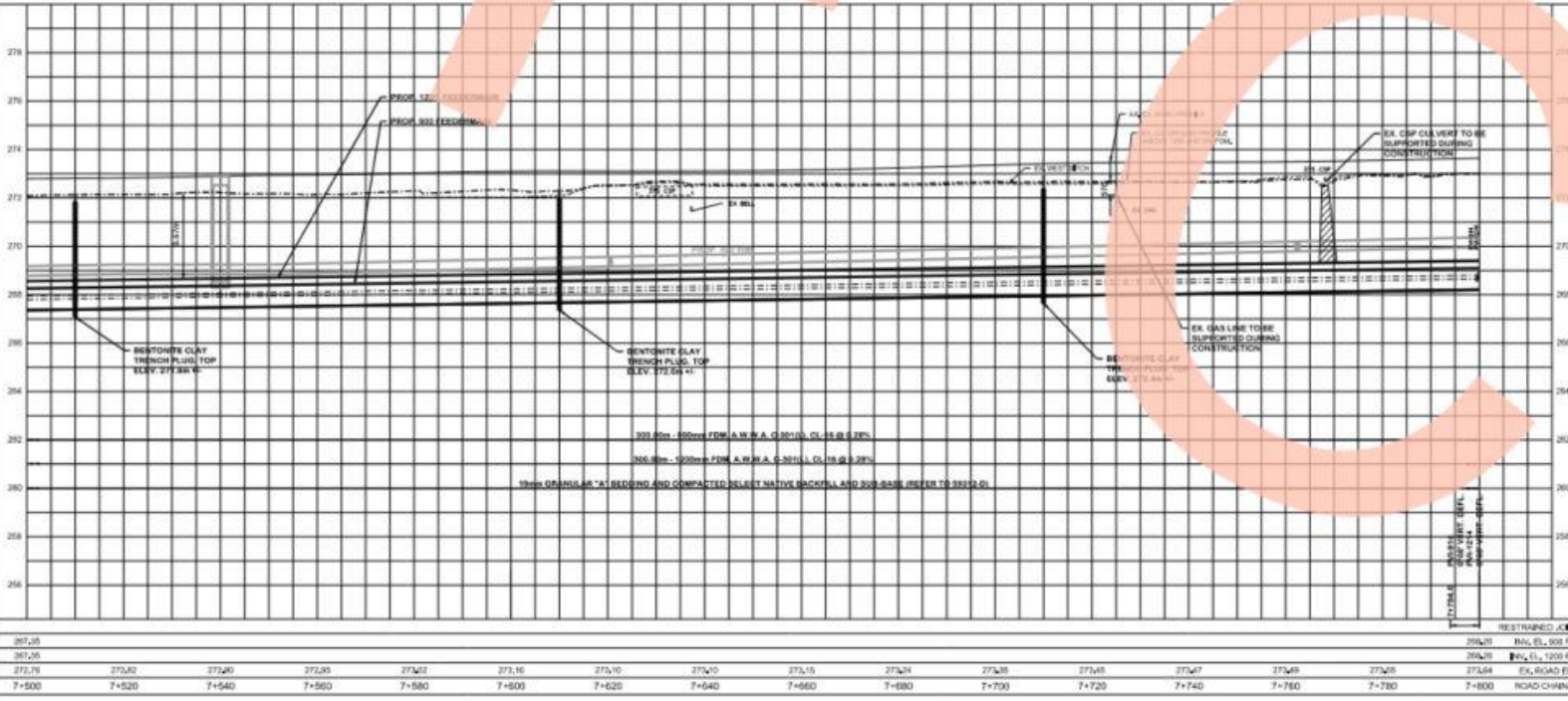
**Region of Peel**  
Working for you

**HEART LAKE ROAD**  
(FROM OLD SCHOOL RD. TO NORTH BRAMPTON Pkwy)  
**VICTORIA FEEDERMAIN - CONTRACT 2**  
PROP. 1200MM AND 900MM FEEDERMAIN

STA. 7+500 TO STA. 7+800

Drawn by:	Rev. No.:	Date:	Project No.:
Checked by:			

11 SEPTEMBER 2012 11 OF 143 **59281-D**



RESTRAINED JOINTS	STA. 7+500	TO	STA. 7+800
287.55	287.55	287.55	287.55
272.75	272.75	272.75	272.75
7+500	7+520	7+540	7+560
			7+580
			7+620
			7+640
			7+660
			7+680
			7+700
			7+720
			7+740
			7+760
			7+780
			7+800



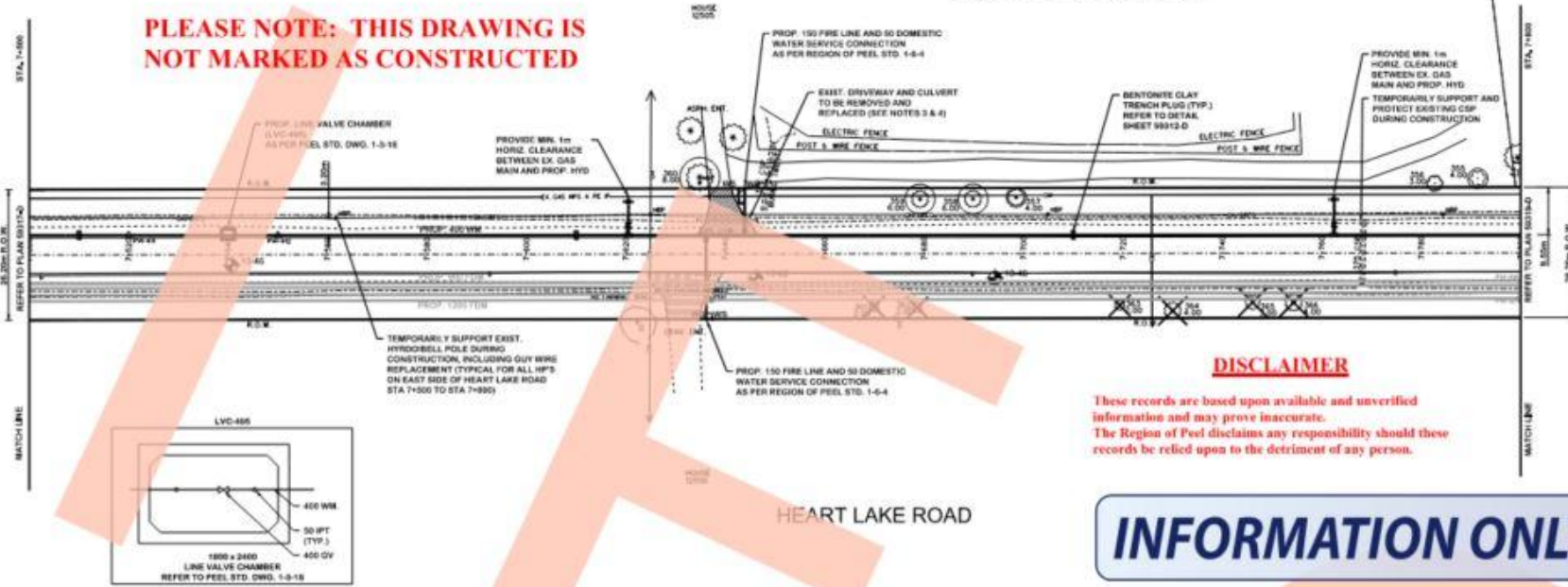
SERVICE CONNECTION DATA									
ROLL NUMBER	NAME	STATION	ADDRESS	SERVICE CONNECTION	LENGTH TO PROPERTY LINE (M)	COORDINATES @ P.L.			
				150mm	150mm	150mm	150mm	150mm	150mm
-	-	7+436.13	12506	-	-	16.87	-	-	N 4840207.224, E 595223.646
-	-	7+443.91	12505	-	-	9.36	-	-	N 4840220.214, E 595247.610

400 WATERMAIN DATA									
ITEM	DESCRIPTION	STATION	BASELINE OFFSET	STANDARD DRAWING	WATERMAIN INVERT	REMARKS / COORDINATES			
PV1-811	Ø11" VERT. DEF.	7+525.00	3.90m LT	-	258.95	N 4840330.640, E 595152.803			
LVD-405	LINE VALVE CHAMBER	7+548.00	3.90m LT	1-3-10	258.95	N 4840346.605, E 595167.129			
PV1-812	Ø11" VERT. DEF.	7+555.00	3.90m LT	-	258.95	N 4840379.572, E 595174.344			

ALL COORDINATES SHOWN ARE GRID 6' UTM-17N, NAD 83

SERVICE DATA				
SERVICE	DATE	BY	SERVICE	DATE
SEE SERVICE			SEE SERVICE	
STAMP SERVICE			STAMP SERVICE	
CONTRACT			CONTRACT	
PROJ. NO.			PROJ. NO.	
DATE			DATE	

**PLEASE NOTE: THIS DRAWING IS NOT MARKED AS CONSTRUCTED**



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**INFORMATION ONLY**

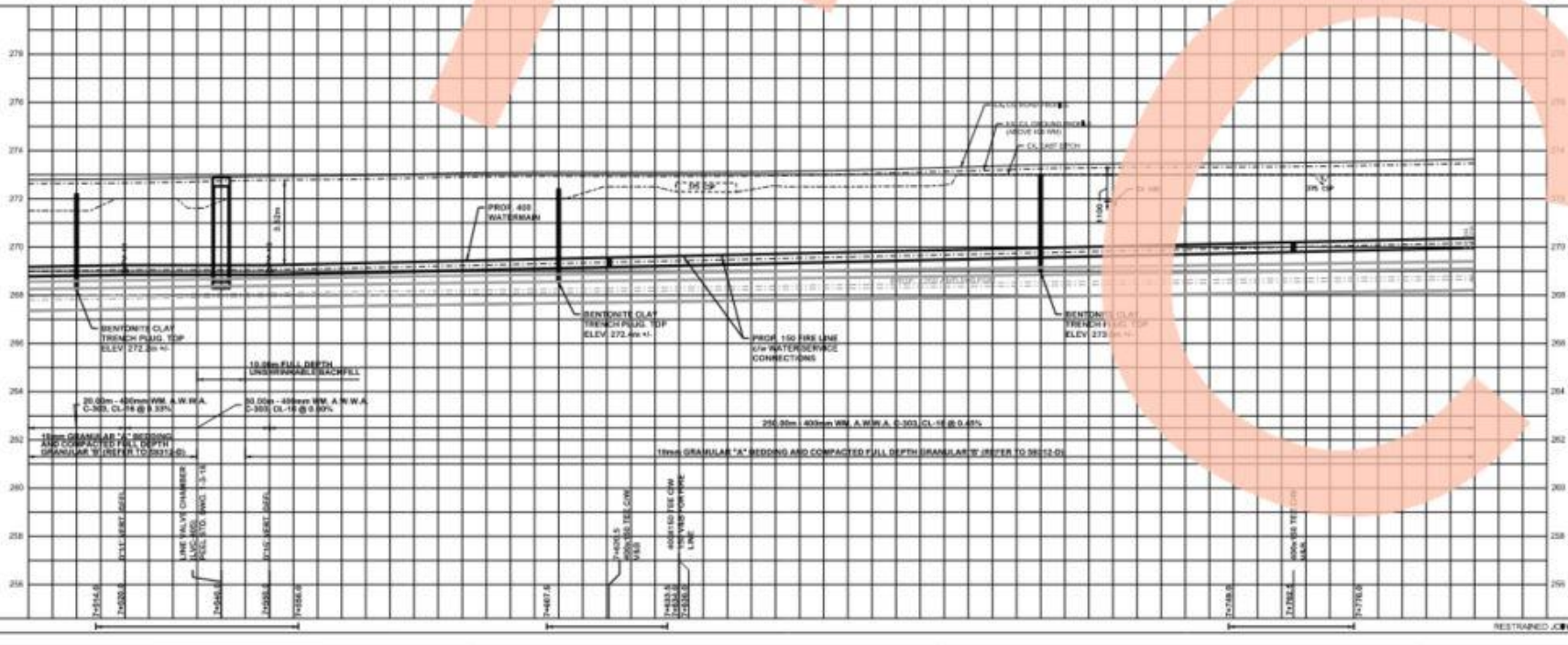


- NOTES:**
- FOR GENERAL NOTES, SEE PLAN 59274-L
  - EXISTING UTILITIES TO BE LOCATED VIA DAYLIGHTING AT ALL PROPOSED WATER SERVICE LOCATIONS PRIOR TO CONSTRUCTION.
  - EXISTING DRIVEWAY CULVERTS TO BE REMOVED AND REPLACED WITH 1800mm Ø OF 300mm INTERNAL DIAMETER, OR WITH SAME INTERNAL DIAMETER IF THE EXISTING SIZE IS LARGER THAN 300mm. INTERNAL DIAMETER, HOPE SMOOTH WALL (BOSS 2000) PIPE TO MATCH EXISTING INVERTS AND GRADE.
  - ALL DRIVEWAYS ARE TO BE RESTORED TO EXISTING CONDITION OR BETTER, WITH MATCHING MATERIAL, I.E. ASPHALT FOR ASPHALT, GRAVEL FOR GRAVEL, TO THE PROPERTY LINE. EXISTING DRIVEWAY RETAINING WALLS TO BE REMOVED AND REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.

**HATCH**

**General Notes**

- 1. All work to be done in accordance with the specifications of the Province of Ontario.
- 2. All work to be done in accordance with the specifications of the Province of Ontario.
- 3. All work to be done in accordance with the specifications of the Province of Ontario.



**NOTICE TO CONTRACTOR**

48 HOURS PRIOR TO COMMENCING WORK NOTIFY THE FOLLOWING:

- THE PERSONAL RESPONSIBILITY OF THE CONTRACTOR TO THE REGION OF PEEL.
- THE PERSONAL RESPONSIBILITY OF THE CONTRACTOR TO THE REGION OF PEEL.
- THE PERSONAL RESPONSIBILITY OF THE CONTRACTOR TO THE REGION OF PEEL.

1:500 HORIZONTAL SCALE  
1:100 VERTICAL SCALE

**Region of Peel**  
Working for you

**HEART LAKE ROAD**  
(FROM OLD SCHOOL RD. TO NORTH BRAMPTON PWD)  
VICTORIA FEEDERMEN - CONTRACT 2  
PROP. 400MM WATERMAIN

STA. 7+500 TO STA. 7+800

Drawn by: N.J. Lobo, Date: 04/26/2017, Project No: 13-1210, 13-1390  
Checked by: M.J. Lobo, Date: 05/01/2017, Project No: 13-1210, 13-1390  
Rev: SEPTEMBER 2015, Sheet: 42 of 142, Project No: 59318-D



## Appendix B – Water Demand Calculations



**Fire Flow Calculation**

PROJECT: **12505 Heart Lake Road**

PROJECT No: **ALL-22008701-A0**

CREATED BY: **28-Jul-22**

CHECKED BY: **28-Jul-22**

1 *Fire Underwriters Survey 1999 Water Supply for Public Fire Protection - Page 17*  
**Estimate of the required fire flow for a given area can be determined by the formula:**

$$F = 220C\sqrt{A}$$

Where F = required fire flow in litres/minute  
C = coefficient related to the type of construction  
A = total floor area in square meters

For non-combustible construction: C = 0.7  
Total area : A = 16,992 m<sup>2</sup>

Therefore F = 220 x 0.8 x (4405) <sup>1/2</sup> =	<b>20,075</b> L/m
---	-------------------

2 *Fire Underwriters Survey 1999 Water Supply for Public Fire Protection - Page 18*  
**Reduction for fire hazard**

Non-combustible 25%  
(1) - 25% = **15,055.92 L/m**

3 **Reduction for Sprinkler protection**

Sprinkler 30%  
Fully Supervised system 10%  
**6,022 L/m**

4 **Addition for Structures exposed within 45m**

20.1 to 30m 10%  
**1,506 L/m**

5 **Total Estimated Fire flow 10,539 L/m**

<b>The estimated fire flow is approx.</b>	<b>11,000</b> L/m
	<b>183</b> L/s



## Domestic Water Demand Calculations

### West Parcel Demands

#### Average Day

Region of Peel Public Works Design, Specifications & Procedures Manual, 2010  
Average day Domestic demand 300 L/caps/d

PROJECT: 12505 Heart Lake Road  
PROJECT No: ALL-22008701-A0  
CREATED BY: 28-Jul-22  
CHECKED BY: 28-Jul-22

0.003472222 L/cap/s

Region of Peel Public Works Design, Specifications & Procedures Manual, 2017

Unit Type	Population Density (persons/Hectare)
Industrial	70

Region of Peel Public Works Design, Specifications & Procedures Manual, 2010

Max Day Factor	1.4
----------------	-----

Region of Peel Public Works Design, Specifications & Procedures Manual, 2010

Building	Area	Population	Rounded Pop.	Average Day Flow (L/s)	Max. Day Flow (L/s)
Building 1	1.09	76.3	77	0.267	0.374
Building 2	1.70	119	119	0.413	0.578
Building 3	1.19	83.3	84	0.292	0.408
Building 4	1.66	116.2	117	0.406	0.569
Building 5	1.95	136.5	137	0.476	0.666
Building 6	2.11	147.7	148	0.514	0.719
<b>Totals:</b>	<b>9.7</b>	<b>679</b>	<b>682</b>	<b>2.368</b>	<b>3.315</b>

## Appendix C – Sanitary Demand Calculations



**Sanitary Flow Calculations**

**Residential Buliding West**

**Average Day**

Region of Peel Public Works Deisgn, Specifications & Procedures Manual, 2017  
 Average Wastewater flow= 302.8 L/caps/d

0.00350 L/cap/s

Region of Peel Public Works Deisgn, Specifications & Procedures Manual, 2017

Unit Type	litres/cap/s	Population Density (persons/Hectare)
Industrial	0.00350	70

Site Stats taken from Architect Drawing

Building	Area	Population	Rounded Pop.
Building 1	1.09	76.3	77
Building 2	1.70	119	119
Building 3	1.19	83.3	84
Building 4	1.66	116.2	117
Building 5	1.95	136.5	137
Building 6	2.11	147.7	148
<b>Total:</b>			<b>682</b>

1	<b>Average Flow</b>	<b>2.39</b> L/s
---	---------------------	-----------------

Region of Peel Public Works Deisgn, Specifications & Procedures Manual, 2017

Peak Factor =  $1 + (14 / (4 + (P / 1000)^{1/2}))$

2	<b>Peaking Factor</b>	<b>4.00</b>
---	-----------------------	-------------

Region of Peel Public Works Deisgn, Specifications & Procedures Manual, 2017

Infiltration allowance 0.2 L/s/ha  
 Total Area 29.4 ha

3	<b>Infiltration</b>	<b>5.880</b> L/s
---	---------------------	------------------

Design Flow = average flow x peaking factor + infiltration allowance

4	<b>Design Flow =</b>	<b>15.44</b> L/s
---	----------------------	------------------

PROJECT: 12505 Heart Lake Road

PROJECT No: ALL-22008701-A0

CREATED BY: 28-Jul-22

CHECKED BY: 28-Jul-22

## Appendix D – Background External Sanitary Correspondence

## Scott Passmore

---

**From:** Borowiec, Laura <laura.borowiec@peelregion.ca>  
**Sent:** Monday, May 30, 2022 1:50 PM  
**To:** Scott Passmore  
**Cc:** Leslie Marlowe; Joshua Marlowe; Nicholas Melatti; Masley, Aleksander; Motamedi, Kolsoom  
**Subject:** RE: 12505 Heart Lake Road, Caledon - Trunk Sanitary



**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon Scott,

Thank for you providing this latest memo.

We acknowledge the sewer depth issues you have raised with projects ST-193 and ST-194 as they appear in the 2020 Master Plan. Based on our previous discussions, our infrastructure planning team was going to review the wastewater servicing strategy in this area. We have done that considering a few other things such as the adoption of the new Regional Official Plan to 2051 and the Settlement Area Boundary Expansion (awaiting provincial approval).

Realigning projects ST-193 and ST-194 along Speirs Giffen Ave extension and Heart Lake Rd, respectively, appears feasible from a servicing perspective. The size of this sewer will have to account for future flows and as I mentioned in our earlier discussions, we do have to be mindful of the planned GTA West corridor between Heart Lake Rd and Dixie Rd and how that could affect route selection and timing. We will continue to discuss this and other issues as part of formalizing any changes to planned infrastructure projects through the Master Plan update, if not earlier through the annual budget process.

I also note that you included a conceptual site plan for 6 industrial buildings on the 12505 Heart Lake Road site. Are you preparing to submit a formal development application for the Town/Region's review?

Thanks,

**Laura Borowiec, P.Eng.**  
Program Manager, Infrastructure Planning - Growth  
Region of Peel  
10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)  
Brampton, ON L6T 4B9  
905-791-7800 Ext. 7681



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---

**From:** Scott Passmore <Scott.Passmore@exp.com>

**Sent:** May 27, 2022 4:03 PM

**To:** Borowiec, Laura <laura.borowiec@peelregion.ca>; Masley, Aleksander? <alex.masley@peelregion.ca>

**Cc:** Leslie Marlowe <lmarlowe@berkshireaxis.com>; Joshua Marlowe <jmarlowe@berkshireaxis.com>; Nicholas Melatti <Nicholas.Melatti@exp.com>

**Subject:** RE: 12505 Heart Lake Road, Caledon - Trunk Sanitary

**CAUTION: EXTERNAL MAIL. DO NOT CLICK ON LINKS OR OPEN ATTACHMENTS YOU DO NOT TRUST.**

Hi Laura, I hope all is well. We have prepared the attached technical design brief to provide Region staff with some preliminary profiles that we have prepared for the proposed Heart Lake Road sanitary sewer alignment. This brief gives consideration to the possible future development of lands on the west side of Heart Lake Road and south of the Campbell Cross Creek as discussed. We have included some of the key background information so that this document can be circulated to other Region staff who may not have been involved to date. So please feel free to circulate this as necessary, and we would be pleased to set up another meeting to discuss next steps at your earliest convenience.

As always, if you have any questions please feel free to contact us with questions anytime.

Thanks very much,

**Scott Passmore, P.Eng.**

EXP | Vice President, Land Development, Central Canada E&E

t : +1.905.695.3217, 63697 | m : +1.905.512.7542 | e : [scott.passmore@exp.com](mailto:scott.passmore@exp.com)

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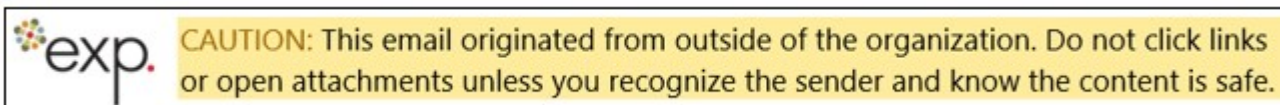
**From:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>

**Sent:** Wednesday, April 13, 2022 10:10 AM

**To:** Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>; Masley, Aleksander <[alex.masley@peelregion.ca](mailto:alex.masley@peelregion.ca)>

**Cc:** Leslie Marlowe <[lmarlowe@berkshireaxis.com](mailto:lmarlowe@berkshireaxis.com)>; Joshua Marlowe <[jmarlowe@berkshireaxis.com](mailto:jmarlowe@berkshireaxis.com)>

**Subject:** RE: 12505 Heart Lake Road, Caledon - Trunk Sanitary



Good morning Scott,

We have reviewed the proposed sanitary sewer alignment, shown in dark blue below, to service the lands northwest of Mayfield Road and Dixie Road.

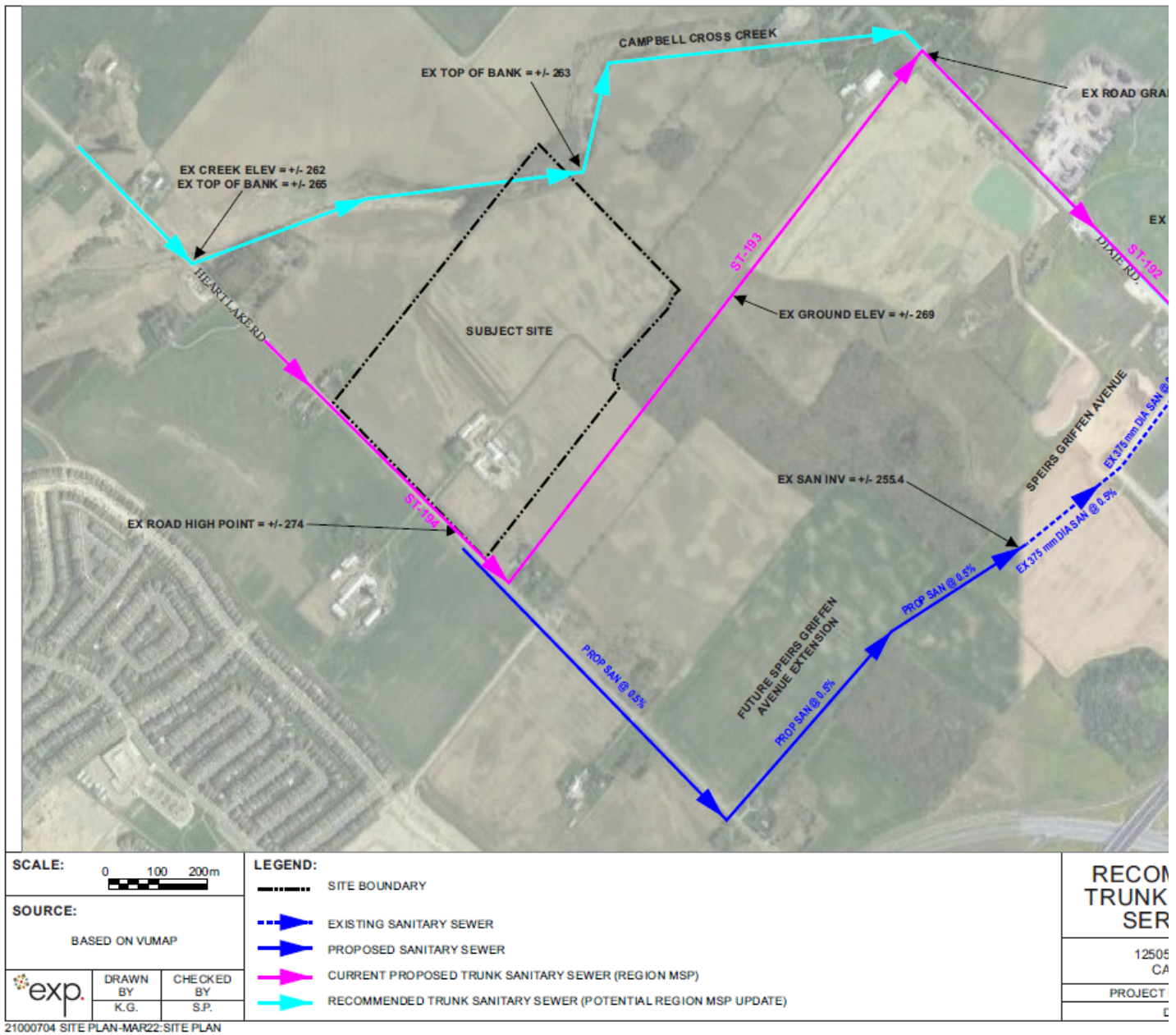
Our preliminary analysis suggests that a 375-mm sanitary sewer along Heart Lake Road and a 450-mm/525-mm sanitary sewer along Spiers Giffen Avenue, from Heart Lake Road to Dixie Road would be required to service the lands south of Campbell Cross Creek. This would include upgrading the existing 375-mm sewer to a 450-mm/525-mm sanitary sewer.

As you are aware, the wastewater projects as shown in dark blue below, are not included in the current wastewater DC program.



At this stage, we would appreciate receiving more details about the development to determine infrastructure sizing and timing. We will have to update our DC program to reflect the revised servicing strategy and seek Council approval.

At this time, we have no objection to the conceptual servicing strategy proposed but will need to work through details as this materializes through a formal development application review process.



Thanks,

**Laura Borowiec, P.Eng.**

Program Manager, Infrastructure Planning - Growth

Region of Peel

10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)

Brampton, ON L6T 4B9

905-791-7800 Ext. 7681

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---

**From:** Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>

**Sent:** April 5, 2022 2:48 PM

**To:** Masley, Aleksander <[alex.masley@peelregion.ca](mailto:alex.masley@peelregion.ca)>

**Cc:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>; Leslie Marlowe <[lmrlowe@berkshireaxis.com](mailto:lmrlowe@berkshireaxis.com)>; Joshua Marlowe <[jmarlowe@berkshireaxis.com](mailto:jmarlowe@berkshireaxis.com)>

**Subject:** 12505 Heart Lake Road, Caledon - Trunk Sanitary

**CAUTION: EXTERNAL MAIL. DO NOT CLICK ON LINKS OR OPEN ATTACHMENTS YOU DO NOT TRUST.**

Hi Alex,

I was great to meet with you and Region staff recently to discuss the 12505 Heart Lake Road project in Caledon and the corresponding trunk sanitary servicing. We have prepared the attached figure to assist with our discussions about the Region's trunk sanitary servicing alignment in this area. On the figure you will see the Region's current alignment is roughly shown in purple with the Region project number labelled as well.

We believe that the elevation of the sanitary sewer crossing under the creek (Campbell Cross Creek) will drive the elevations downstream to the Dixie Road connection point at Speirs Griffen Avenue. In looking at the topographic elevations of Heart Lake Road south of the creek, the existing road high point is approx 9 m higher than the creek crossing road elevation. This current alignment could incur cuts over 16m in depth along Heart Lake Road depending on the creek crossing elevation. So we believe that if the Region pursued an alignment such as along the creek bank towards Dixie Road (shown in light blue), this would greatly assist in avoiding unnecessary extra excavation/costs and assist in the land acquisition/access requirements.

We hope this information helps in your review and as always, please feel free to contact me with any questions. We have a meeting tomorrow with the consultant team and would like to know if you have had any progress on your end on this inquiry. So any update would be appreciated when you have a moment.

Thanks very much,

Regards,



**Scott Passmore, P.Eng.**

EXP | Vice President, Land Development, Central Canada E&E

t : +1.905.695.3217, 63697 | m : +1.905.512.7542 | e : [scott.passmore@exp.com](mailto:scott.passmore@exp.com)

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May 26<sup>th</sup>, 2022

Project No. ALL-22008701-A0

Laura Borowiec, Program Manager  
Region of Peel  
10 Peel Centre Drive, Suite A (4<sup>th</sup> floor)  
Brampton, ON L6T 4B9

Project: 12505 Heart Lake Road, Caledon (Berkshire Axis)  
Subject: External Sanitary Technical Design Brief

---

Dear Ms. Borowiec:

We are pleased to provide this technical design brief (“brief”) to advance our discussions with Region staff regarding the external sanitary servicing requirements for the property located at 12505 Heart lake Road (“site”) in the Town on Caledon. The primary objectives behind this brief is to provide Region staff with the following:

- Description of existing site conditions & available municipal sanitary servicing;
- Background on correspondence to date with Region staff regarding the Region’s Master Servicing Plan (MSP);
- Overview of the Owner’s development vision & preliminary sanitary demands; and,
- Preliminary sanitary sewer profiles & corresponding catchment areas.

Once Region staff had reviewed this information, we would be pleased to meet to discuss sanitary sewer sizing, construction details and next steps for detailed design requirements.

### **Existing Conditions**

The subject site is approximately 29.40 hectares in gross area and bound by Heart Lake Road to the west and agricultural lands to the north, east and south. The site is currently occupied by a farm that has driveway access to Heart Lake Road. Please refer to Figure 1 for the Site Location Plan.

Available record drawings show that there is no existing municipal sanitary system along Heart Lake Road adjacent to the site. Record drawings show the closest sanitary sewer is an existing 375 mm diameter sewer located approximately 2 km away from the south limit of the site along Speirs Giffen Avenue. Currently the Region’s Master Plan shows a future sewer (project ST-193) located to the south of the site to service the subject catchment towards Dixie Road. Please see Figure 2 for reference.

### **Background Correspondence on Region Master Servicing Plan**

As previously mentioned, the Region of Peel's Master Servicing Plan (2020 Master Plan Volume 4) identified the need for future sanitary infrastructure surrounding the subject site. Section 5.3.3.7 of the MSP (Mayfield West Community Areas) recommended new sanitary sewers on various roads from Heart Lake Road to Dixie Road (project numbers ST-194, ST-193 and ST-192) to service future development phases of Mayfield West.

EXP staff then completed a detailed review of the record plan and profile drawings including a site visit to review the possible impact from the sewer crossing under Campbell Cross Creek at Heart Lake Road. After the review it was determined that the elevations of the creek crossing may drive the elevations of the sewer downstream lower than desirable considering the proposed sewer alignment showing in the MSP. A preliminary assessment showed that the current sewer alignment in the MSP may unnecessarily incur increased excavation depths in the range of 10m in some areas before connecting to Dixie Road.

EXP staff then provided a recommendation to Region staff that the future sewer alignment be positioned along the north side of Campbell Cross Creek with the creek crossing location positioned at Dixie Road. This recommended sewer alignment would also assist in land acquisition needs for the Region when compared to the MSP alignment. Please refer to Figure 2 for the recommended alignment of the future sanitary sewer for consideration in the MSP update.

Finally, through various meetings and correspondence with Region staff, it was recommended that EXP move forward with a technical design brief for a separate municipal sanitary sewer along Heart Lake Road to the existing sanitary sewer location on Speirs Giffen Avenue. The details of that proposed sewer are discussed further in this brief.

### **Development Vision and Sanitary Demands**

Based on the Owner's current development concept, 6 industrial style buildings with above ground parking are proposed including an allowance for a potential highway extension to Highway 410. Should the highway proceed, the site would be split by the highway with corresponding MTO setbacks with road access required along the east side of the site to Dixie Road. Sanitary servicing for the east side of the site would potentially require a sanitary sewer placed inside a steel liner under the highway to be coordinated with the future highway design. Please refer to Figure 3 for the site concept plan.

Using Region of Peel sanitary design criteria, the preliminary sanitary demand calculations are summarized below:

#### **Proposed Sanitary Demands:**

As per Section 2, the design wastewater flow is calculated as follows:

$$\text{Wet Peak Wastewater Flow} = (\text{Average Dry Weather Flow}) * (\text{Average Peak Flow Factor}) + (\text{Inflow/Infiltration Allowance})$$

Using conservative equivalent population estimates from the Region of Peel Public Works Design Criteria Manual for sanitary sewers based on industrial areas, the following average dry weather flow was calculated:

Equivalent Population: 70 pers/ha x 19 ha (developable area) = 1,330 persons  
Average Dry Weather Flow: 1,330 pers x 302.8 L/c/day = 402,724 L/day or 4.66 L/s  
Gives an Average Dry Weather Flow = 4.66 L/s

Using Section 2.2 Peak Sanitary Flow Factor for peaking factors and the corresponding land use and populations:

Peaking Factor:  $M = (1 + 14/(4 + (1.33)^{1/2}))$   
Gives a Peaking Factor:  $M = 3.71$   
Therefore, the Average Peak Wastewater Flow =  $3.71 \times 4.66 \text{ L/s} = 17.29 \text{ L/s}$

Using Section 2.1.3 for applying the allowance for infiltration of 0.28 L/ha/s,  
Gives an Inflow/Infiltration Allowance:  $0.26 \text{ L/s/ha} \times 19 \text{ ha} = 4.94 \text{ L/s}$

Therefore, the Wet Peak Sanitary Design Flow =  $17.29 \text{ L/s} + 4.94 \text{ L/s} = \mathbf{22.23 \text{ L/s}}$

However, please note that as the detailed design advance for the site, it is recommended that the peaking factor be re-assessed through a site-specific approach, as the calculated 3.71 factor may not be representative of the proposed uses for the site.

### **Preliminary Sanitary Profiles and Catchment Areas**

The sanitary profile along Heart Lake Road carefully considered the following as part of preparing the preliminary design:

- 1) Site specific requirements (12505 Heart Lake Road); and,
- 2) Future developments located to the west of Heart Lake Road and south of Campbell Cross Creek.

The preliminary design for the sanitary sewer consists of the following:

- Connection to existing sanitary sewer at Speirs Giffen Avenue (chainage 0+000)
- Slopes along Speirs Giffen Avenue at approx 0.5%
- A creek crossing along Speirs Giffen Avenue (chainage 0+220) approx 4 m below the future culvert crossing
- Slopes along Heart Lake Road at approx 0.5% without any creek crossings or utility

- conflicts
- Termination point adjacent to the southwest corner of the site (chainage 1+850) with a sewer depth of approx 8 m
- Allowance for a future 450 m extension to the north on Heart Lake Road for possible future developments located west of Heart Lake Road and south of Campbell Cross Creek showing a sewer depth of approx 5 m at the future termination point

For the preliminary sewer profile information please refer to the attached Figure 4.

### **Summary**

In summary, we believe the proposed sanitary sewer along Heart Lake Road can provide the servicing requirements for the subject site and future developments located to the west of Heart Lake Road south of Campbell Cross Creek. Therefore, we would like to request that the Region review this information provide their approval in principle to the preliminary sanitary sewer alignment to advance the design discussions (sewer sizing, catchment limits, upgrades, etc) with Region staff. Should you have any questions over the course of your review, please always feel free to contact us anytime.

Sincerely,

EXP Services Inc.

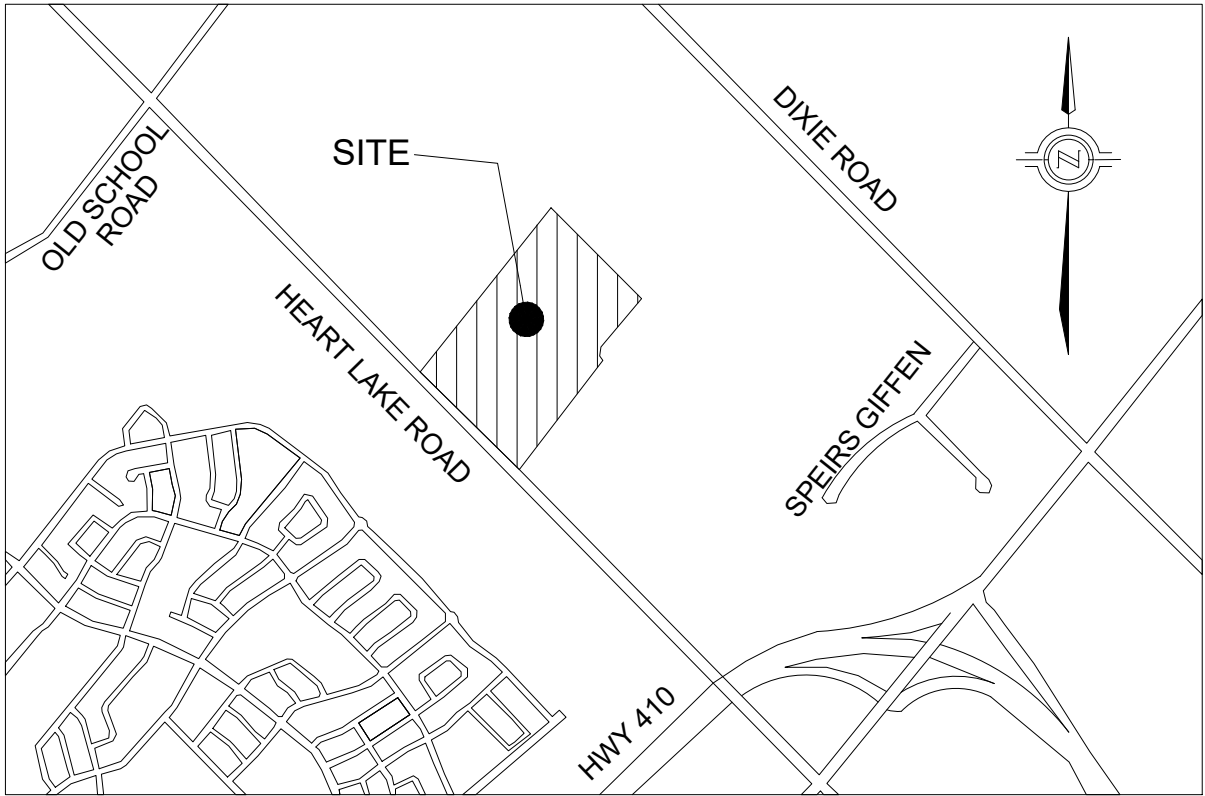


Scott W. Passmore, P.Eng.  
Vice President, Land Development

#### Attachments:

- Figure 1 – Site Location Plan
- Figure 2 – Recommended Trunk Sanitary Servicing
- Figure 3 – Site Concept Plan
- Figure 4 – Plan and Profile Sanitary Sections

c.c. Region of Peel – Alex Masley  
Berkshire Axis – Leslie Marlowe, Josh Marlowe  
EXP - Nicholas Melatti

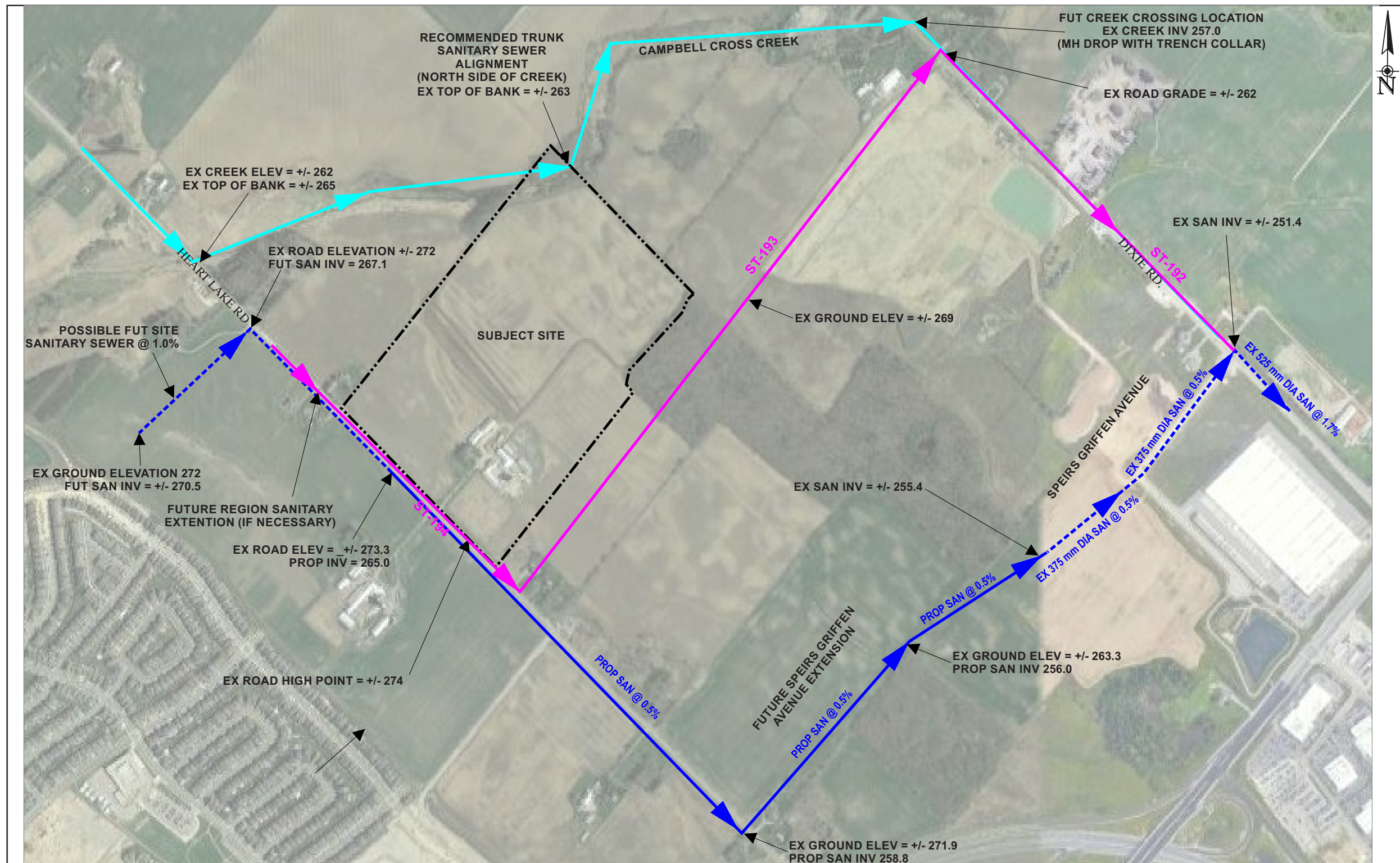


E:\MRKALL-22008701-A0\60 Execution\65 Drawings\Civil\22008701-FIG-01 LOCATION PLAN.dwg



Project:		12505 HEART LAKE ROAD TOWN OF CALEDON	
Title:		LOCATION PLAN	
Approved by:	S.P	Date:	APR, 2022
Project No.:	ALL-22008701-A0		
Drawn by:	N.M	Scale:	N.T.S.
Figure no.:	FIG-01		





**SCALE:** 0 100 200m

**SOURCE:** BASED ON VUMAP

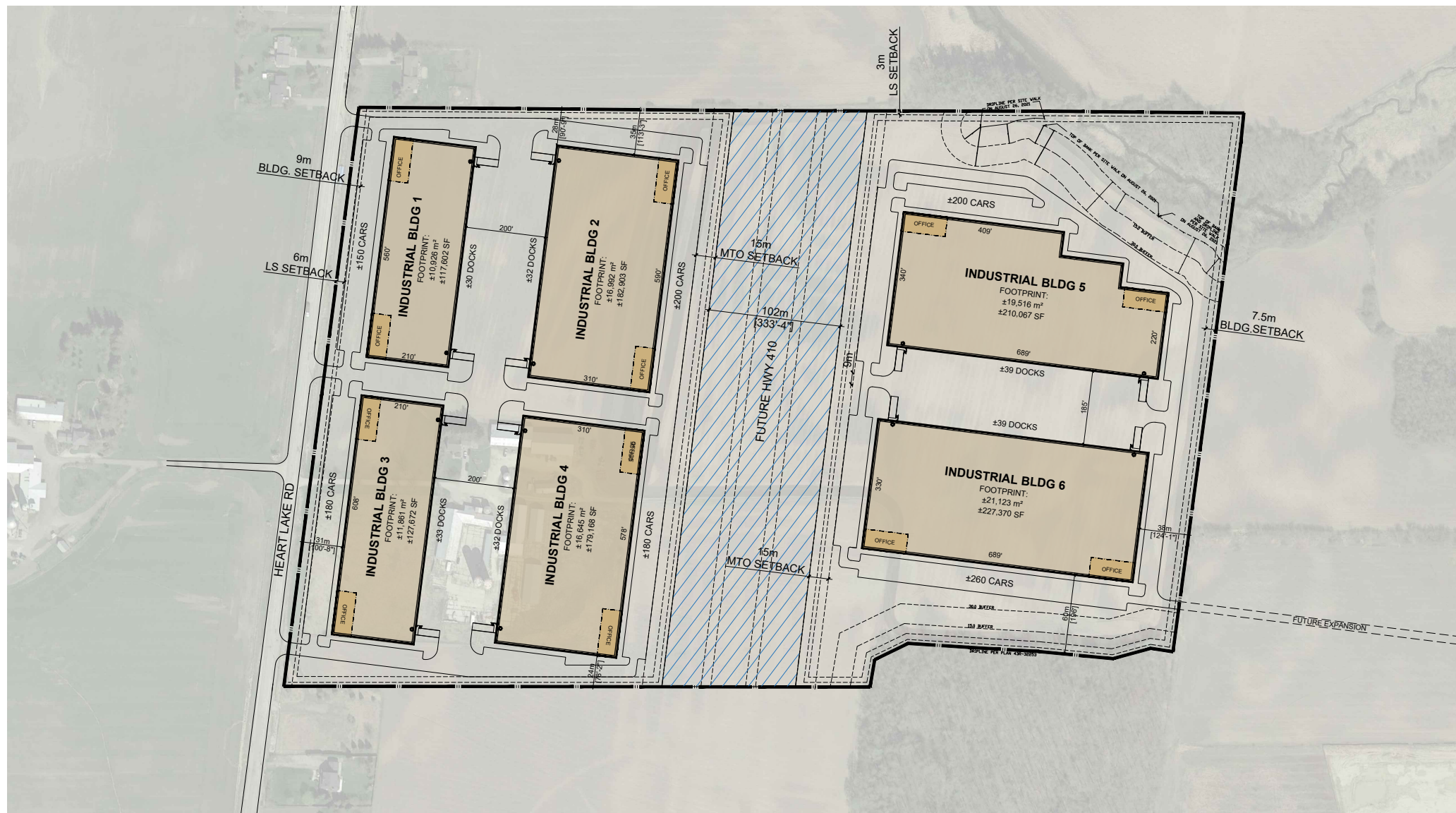
	DRAWN BY	CHECKED BY
	K.G.	S.P.

**LEGEND:**

- SITE BOUNDARY
- > EXISTING SANITARY SEWER
- > PROPOSED SANITARY SEWER
- > RECOMMENDED TRUNK SANITARY SEWER (POTENTIAL REGION MSP UPDATE)
- > CURRENT TRUNK SANITARY SEWER (REGION MSP)

FOR PRELIMINARY PROP SEWER PLAN AND PROFILE DRAWING REFER TO EXP DRAWING PP-01

<b>RECOMMENDED TRUNK SANITARY SERVICING</b>	<b>FIGURE 2</b>
12505 HEART LAKE ROAD, CALEDON, ONTARIO	
PROJECT NUMBER: ALL-220008701-A0	
DATE: MAY 2022	



<b>PROJECT DATA:</b>			<b>DEVELOPMENT STANDARDS:</b>		
TOTAL SITE AREA:	72.64 AC	29.40 HA	ZONING:	MP	
GROSS:	3,164,261 SF	293,970 m²	MAX. COVERAGE:	50%	
			MAX. HEIGHT:	18 m	
<b>PARKING REQUIREMENTS:</b>			<b>BUILDING SETBACKS:</b>		
WAREHOUSE			FRONT:	9 m	
< 7000 m²	1/90	m²	SIDE:	7.5 m	
7000-20000 m²	1/145	m²	REAR:	7.5 m	
> 20000 m²	1/170	m²	<b>LANDSCAPE SETBACKS:</b>		
OFFICE	1/30	m²	FRONT:	6 m	
			SIDE:	3 m	
			REAR:	3 m	
<b>SITE AREA 1:</b>			<b>LANDSCAPE REQ.:</b> 10%		
GROSS:	31.62 AC	12.80 HA	<b>OFF-STREET PARKING:</b>		
	1,377,507 SF	127,975 m²	STANDARD:	2.75X6 m	
			DRIVE AISLE:	6 m	
<b>BUILDING 1</b>	117,602 SF	10,926 m²	<b>REQ. PARKING RATIO BY USE:</b>		
<b>BUILDING 2</b>	182,903 SF	16,992 m²	WAREHOUSE:	1/90 sq m <sup>1</sup>	
<b>BUILDING 3</b>	127,672 SF	11,861 m²	MANUF	1/60 sq m <sup>2</sup>	
<b>BUILDING 4</b>	179,168 SF	16,645 m²	OFFICE:	1/30 sq m	
<b>TOTAL:</b>	607,345 SF	56,424 m²			
<b>FAR:</b>					
GROSS:		0.44			
NET:		0.44			
<b>COVERAGE:</b>					
GROSS:		44%			
NET:		44%			

<b>BUILDING 1</b>		
▲ DOCK-HIGH DOORS		30
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	3,379 m²	23 STALLS
OFFICE @ 5%	546 m²	18 STALLS
<b>TOTAL</b>		<b>119 STALLS</b>
<b>PARKING PROVIDED:</b> 150 STALLS		
	@1.28/1000 SF	@1.37/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

<b>BUILDING 2</b>		
▲ DOCK-HIGH DOORS		32
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	9,143 m²	63 STALLS
OFFICE @ 5%	850 m²	28 STALLS
<b>TOTAL</b>		<b>169 STALLS</b>
<b>PARKING PROVIDED:</b> 200 STALLS		
	@1.09/1000 SF	@1.18/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

<b>BUILDING 3</b>		
▲ DOCK-HIGH DOORS		33
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	4,268 m²	29 STALLS
OFFICE @ 5%	593 m²	20 STALLS
<b>TOTAL</b>		<b>127 STALLS</b>
<b>PARKING PROVIDED:</b> 180 STALLS		
	@0.98/1000 SF	@1.06/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

<b>BUILDING 4</b>		
▲ DOCK-HIGH DOORS		32
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	8,813 m²	61 STALLS
OFFICE @ 5%	832 m²	28 STALLS
<b>TOTAL</b>		<b>166 STALLS</b>
<b>PARKING PROVIDED:</b> 180 STALLS		
	@0.98/1000 SF	@1.06/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

<b>SITE AREA 2:</b>		
GROSS:	29.79 AC	12.06 HA
	1,297,740 SF	120,564 m²
EASEMENT:	@ 22%	26,358 m²
NET:	23.28 AC	9.42 HA
	1,014,028 SF	94,206 m²
<b>BUILDING 5</b>	210,067 SF	19,516 m²
<b>BUILDING 6</b>	227,370 SF	21,123 m²
<b>TOTAL:</b>	<b>437,437 SF</b>	<b>40,639 m²</b>
<b>FAR:</b>		
GROSS:		0.34
NET:		0.43
<b>COVERAGE:</b>		
GROSS:		34%
NET:		43%

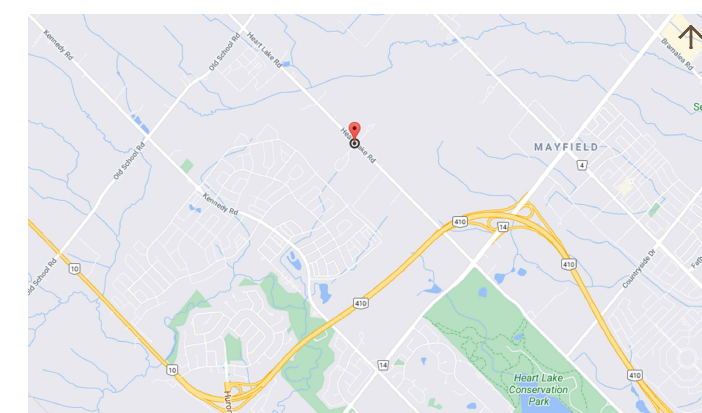
<b>BUILDING 5</b>		
▲ DOCK-HIGH DOORS		39
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	12,516 m²	86 STALLS
OFFICE @ 5%	976 m²	33 STALLS
<b>TOTAL</b>		<b>194 STALLS</b>
<b>PARKING PROVIDED:</b> 200 STALLS		
	@0.95/1000 SF	@1.02/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

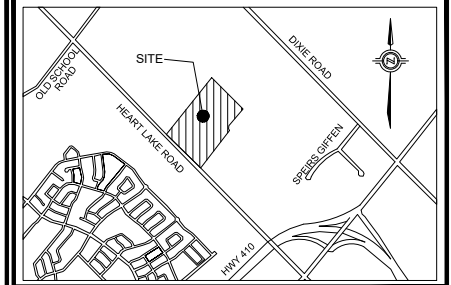
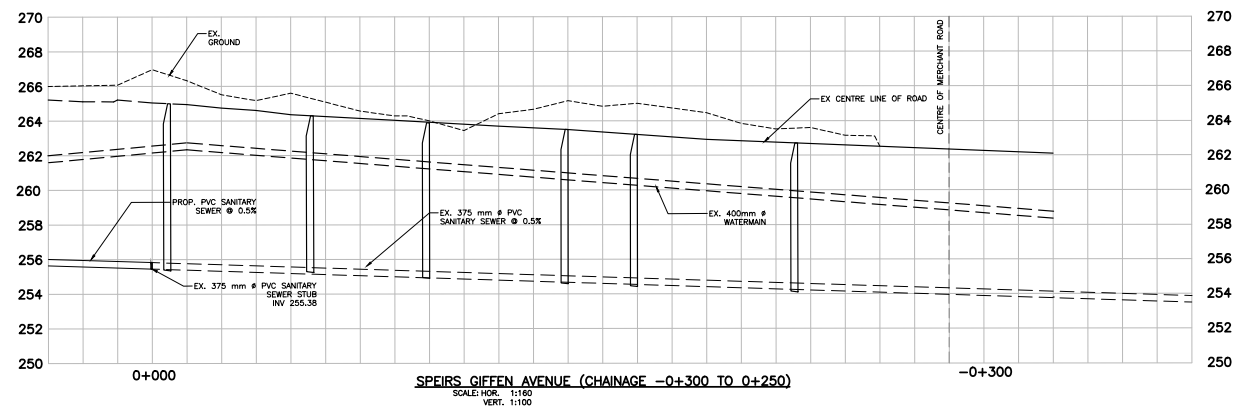
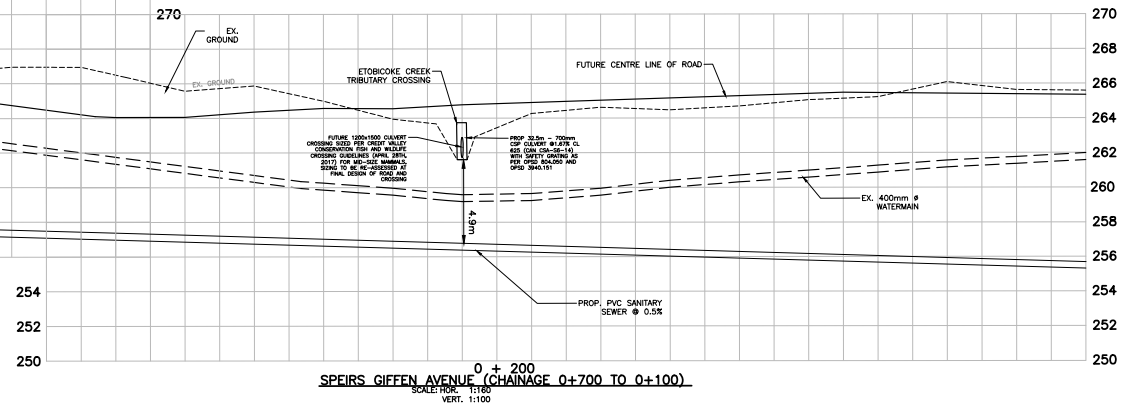
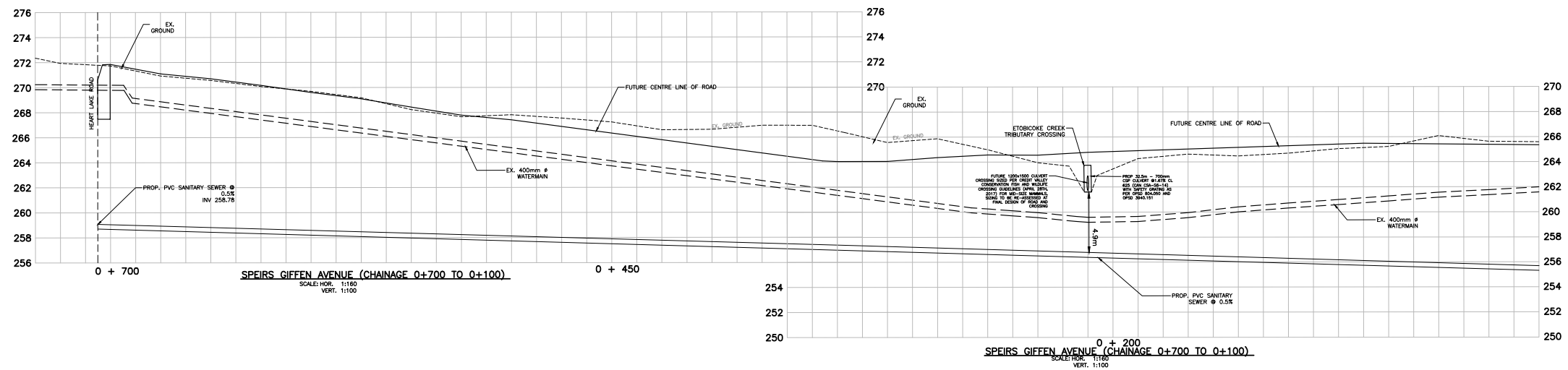
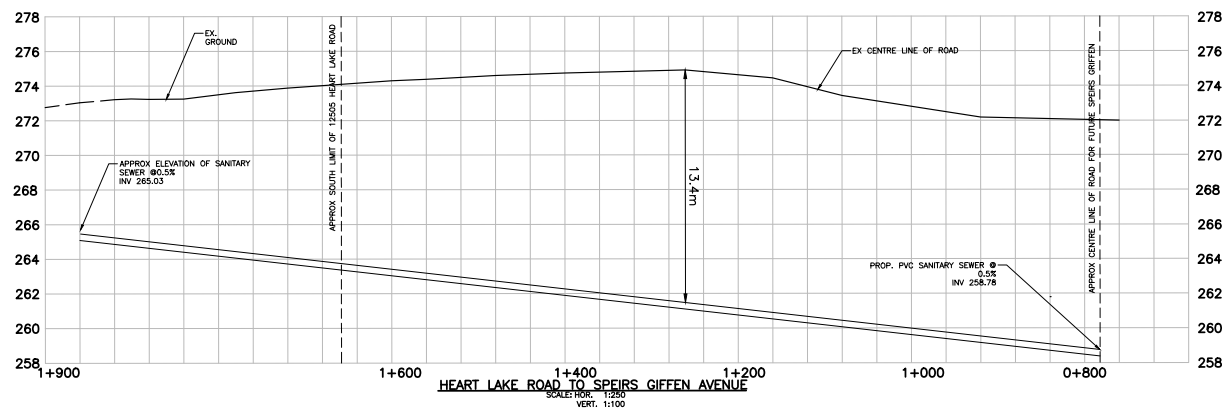
<b>BUILDING 6</b>		
▲ DOCK-HIGH DOORS		39
● GRADE-LEVEL DOORS		2
<b>PARKING REQUIRED:</b>		
WAREHOUSE		
< 7000 m²	7,000 m²	78 STALLS
7000-20000 m²	13,000 m²	90 STALLS
> 20000 m²	1,123 m²	7 STALLS
OFFICE @ 5%	1,056 m²	35 STALLS
<b>TOTAL</b>		<b>209 STALLS</b>
<b>PARKING PROVIDED:</b> 260 STALLS		
	@1.14/1000 SF	@1.23/100 m²
<i>REQ. ACCESSIBLE To be confirmed by City</i>		

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design: AVERAGE REGIONAL REQUIRED PROVIDED

Boundary Source: CIVIL CAD FILE





No.	REVISIONS	Date	By	App.
A	TECHNICAL BRIEF	MAY 6 2022	NM	SP

exp Services Inc.  
 t: +1 905.695-3217 | f: +1 289. 695-2411  
 220 Commerce Valley Drive West, Suite 110  
 Markham, ON L3T 0A5  
 Canada



- BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
- INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

Owner/Client:  
 BERKSHIRE AXIS

Location:  
 12505 HEART LAKE ROAD  
 CALEDON, ONTARIO

Title:  
 PRELIMINARY EXTERNAL SANITARY SEWER  
 DESIGN - PLAN AND PROFILE

Designed By: NM	Drawn By: NM	Checked By: SP
Scale:	Date: May 2022	Drawing No.:
Project No.: ALL-22008701-A0	PP-01	

## Scott Passmore

---

**From:** Borowiec, Laura <laura.borowiec@peelregion.ca>  
**Sent:** Wednesday, April 13, 2022 10:10 AM  
**To:** Scott Passmore; Masley, Aleksander  
**Cc:** Leslie Marlowe; Joshua Marlowe  
**Subject:** RE: 12505 Heart Lake Road, Caledon - Trunk Sanitary



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Good morning Scott,

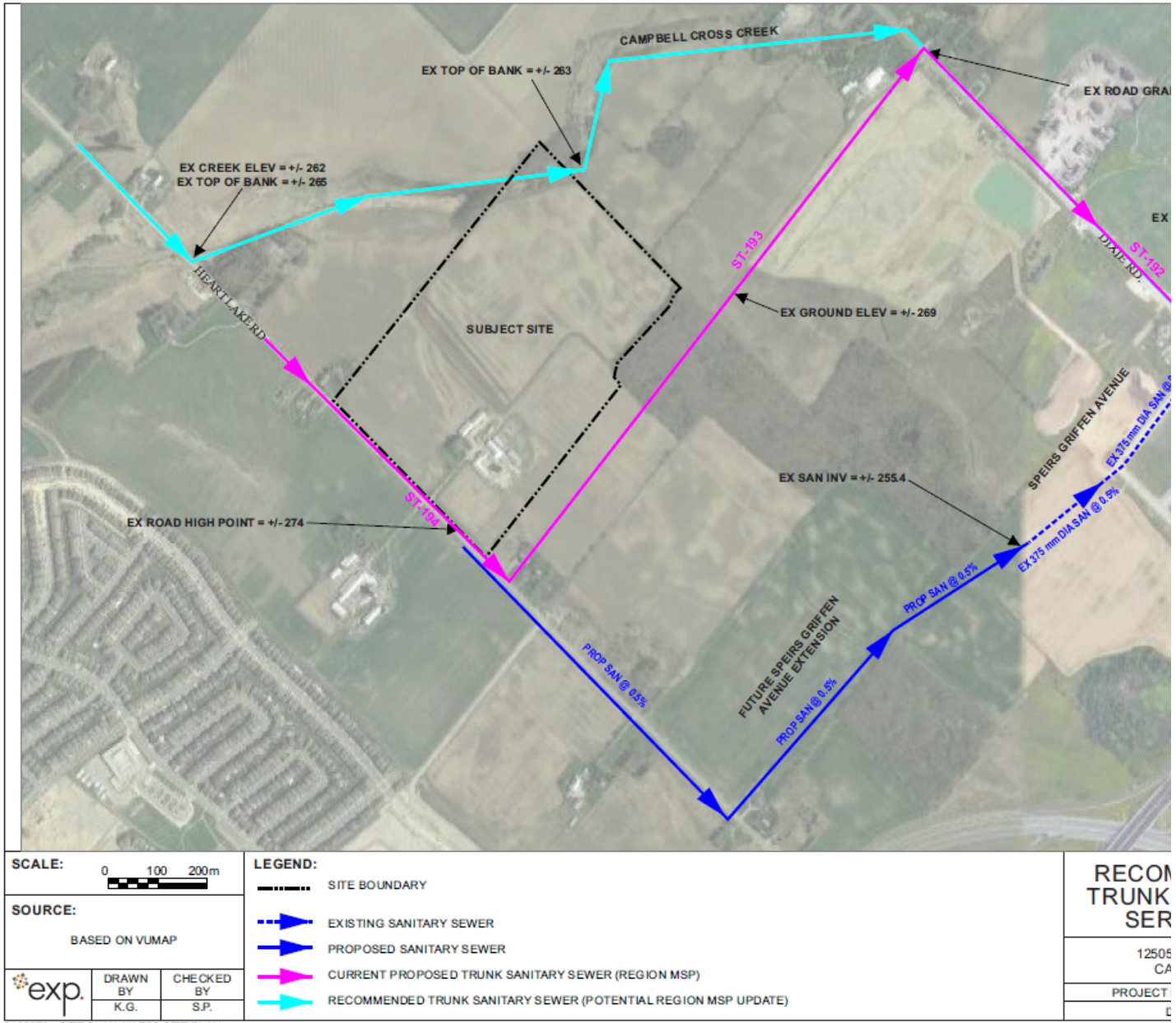
We have reviewed the proposed sanitary sewer alignment, shown in dark blue below, to service the lands northwest of Mayfield Road and Dixie Road.

Our preliminary analysis suggests that a 375-mm sanitary sewer along Heart Lake Road and a 450-mm/525-mm sanitary sewer along Spiers Giffen Avenue, from Heart Lake Road to Dixie Road would be required to service the lands south of Campbell Cross Creek. This would include upgrading the existing 375-mm sewer to a 450-mm/525-mm sanitary sewer.

As you are aware, the wastewater projects as shown in dark blue below, are not included in the current wastewater DC program.

At this stage, we would appreciate receiving more details about the development to determine infrastructure sizing and timing. We will have to update our DC program to reflect the revised servicing strategy and seek Council approval.

At this time, we have no objection to the conceptual servicing strategy proposed but will need to work through details as this materializes through a formal development application review process.



Thanks,

**Laura Borowiec, P.Eng.**

Program Manager, Infrastructure Planning - Growth

Region of Peel

10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)

Brampton, ON L6T 4B9

905-791-7800 Ext. 7681



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---

**From:** Scott Passmore <Scott.Passmore@exp.com>

**Sent:** April 5, 2022 2:48 PM

**To:** Masley, Aleksander <alex.masley@peelregion.ca>

**Cc:** Borowiec, Laura <laura.borowiec@peelregion.ca>; Leslie Marlowe <lmarlowe@berkshireaxis.com>; Joshua Marlowe <jmarlowe@berkshireaxis.com>

**Subject:** 12505 Heart Lake Road, Caledon - Trunk Sanitary

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Hi Alex,

I was great to meet with you and Region staff recently to discuss the 12505 Heart Lake Road project in Caledon and the corresponding trunk sanitary servicing. We have prepared the attached figure to assist with our discussions about the Region's trunk sanitary servicing alignment in this area. On the figure you will see the Region's current alignment is roughly shown in purple with the Region project number labelled as well.

We believe that the elevation of the sanitary sewer crossing under the creek (Campbell Cross Creek) will drive the elevations downstream to the Dixie Road connection point at Speirs Griffen Avenue. In looking at the topographic elevations of Heart Lake Road south of the creek, the existing road high point is approx 9 m higher than the creek crossing road elevation. This current alignment could incur cuts over 16m in depth along Heart Lake Road depending on the creek crossing elevation. So we believe that if the Region pursued an alignment such as along the creek bank towards Dixie Road (shown in light blue), this would greatly assist in avoiding unnecessary extra excavation/costs and assist in the land acquisition/access requirements.

We hope this information helps in your review and as always, please feel free to contact me with any questions. We have a meeting tomorrow with the consultant team and would like to know if you have had any progress on your end on this inquiry. So any update would be appreciated when you have a moment.

Thanks very much,

Regards,



**Scott Passmore, P.Eng.**

EXP | Vice President, Land Development, Central Canada E&E

t : +1.905.695.3217, 63697 | m : +1.905.512.7542 | e : [scott.passmore@exp.com](mailto:scott.passmore@exp.com)

220 Commerce Valley Drive West

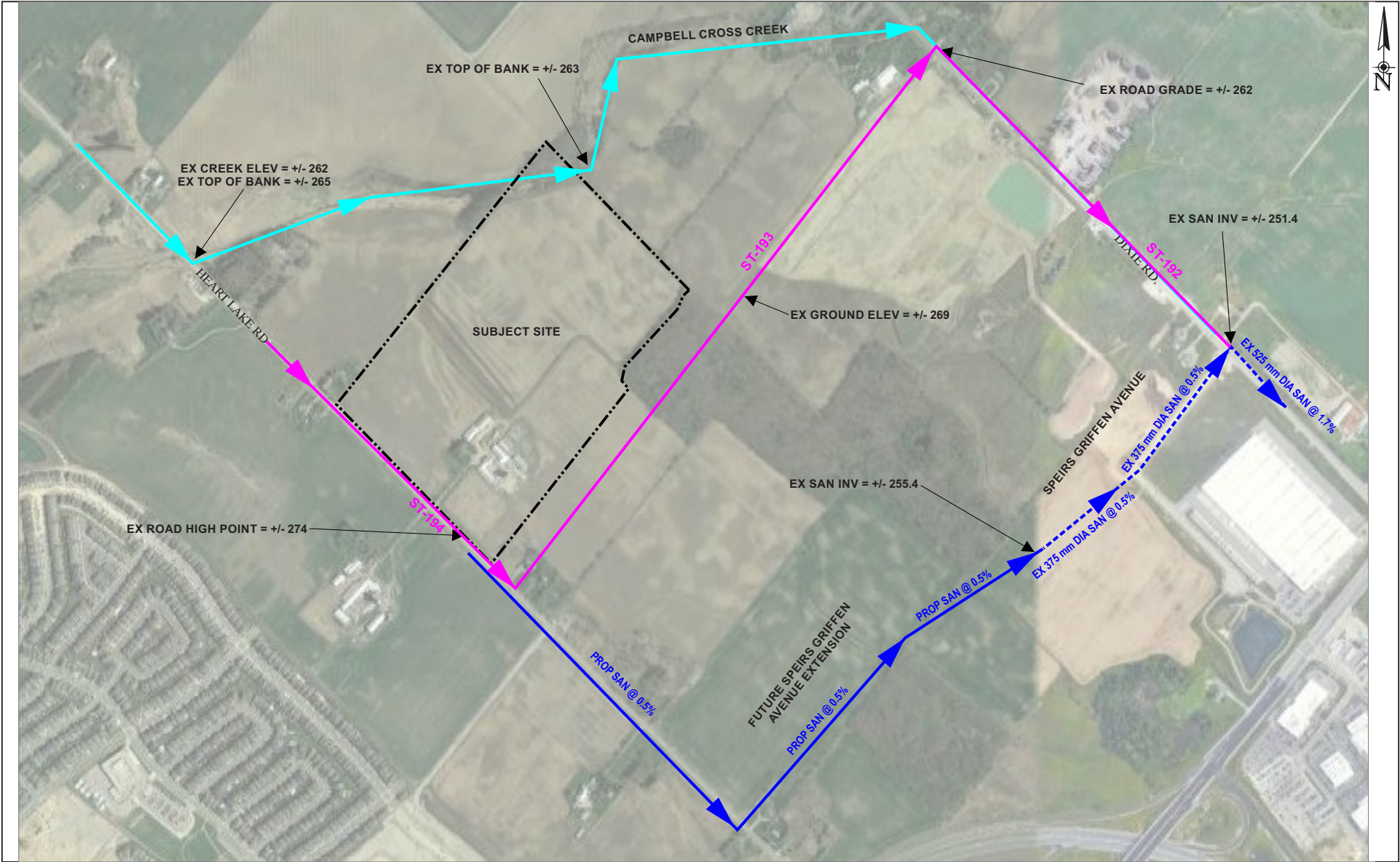
Suite 110

Markham, ON L3T 0A8

CANADA

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<b>SCALE:</b>	0 100 200m	
<b>SOURCE:</b>	BASED ON VUMAP	
	DRAWN BY	CHECKED BY
	K.G.	S.P.

<b>LEGEND:</b>	--- · ---	SITE BOUNDARY
	- - - - -	EXISTING SANITARY SEWER
	— — — — —	PROPOSED SANITARY SEWER
	— — — — —	CURRENT PROPOSED TRUNK SANITARY SEWER (REGION MSP)
	— — — — —	RECOMMENDED TRUNK SANITARY SEWER (POTENTIAL REGION MSP UPDATE)

<h2>RECOMMENDED TRUNK SANITARY SERVICING</h2> <p>12505 HEART LAKE ROAD, CALEDON, ONTARIO</p> <p>PROJECT NUMBER: ALL-220008701-A0</p> <p>DATE: MARCH 2022</p>	FIGURE
	1

## Scott Passmore

---

**From:** Borowiec, Laura <laura.borowiec@peelregion.ca>  
**Sent:** Friday, February 25, 2022 3:54 PM  
**To:** Scott Passmore  
**Cc:** Leslie Marlowe  
**Subject:** RE: 12505 Heart Lake Road



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Hi Scott,

Thank you for reaching out again. I think it might be beneficial to set up another meeting to discuss your proposal.

Let me know what day works for you and I will set up the invite on MS Teams.

Thanks,

**Laura Borowiec, P.Eng.**

Program Manager, Infrastructure Planning - Growth and Water Resources  
Region of Peel  
10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)  
Brampton, ON L6T 4B9  
905-791-7800 Ext. 7681



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**From:** Scott Passmore <Scott.Passmore@exp.com>  
**Sent:** February 24, 2022 2:46 PM  
**To:** Borowiec, Laura <laura.borowiec@peelregion.ca>  
**Cc:** Leslie Marlowe <lmarlowe@berkshireaxis.com>  
**Subject:** FW: 12505 Heart Lake Road

**CAUTION: EXTERNAL MAIL. DO NOT CLICK ON LINKS OR OPEN ATTACHMENTS YOU DO NOT TRUST.**

Hi Laura, Hope you are doing well. I left you a voice message yesterday in regards to my previous letter and recommendation on Jan 13<sup>th</sup>. The weather is warming and I would like to coordinate the survey and pre-consultation



with TRCA staff. If you can get back to me that you have no objections to this recommended approach that would be appreciated.

Regards,

**Scott Passmore, P.Eng.**

EXP | Vice President, Land Development, Central Canada E&E

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**From:** Scott Passmore

**Sent:** Thursday, January 13, 2022 6:44 AM

**To:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>

**Cc:** Motamedi, Kolsoom <[kolsoom.motamedi@peelregion.ca](mailto:kolsoom.motamedi@peelregion.ca)>; Polga, Miriam <[miriam.polga@peelregion.ca](mailto:miriam.polga@peelregion.ca)>; Leslie Marlowe <[lmrLOWE@berkshireaxis.com](mailto:lmrLOWE@berkshireaxis.com)>; Joshua Marlowe <[jmarLOWE@berkshireaxis.com](mailto:jmarLOWE@berkshireaxis.com)>; Scott Arbuckle <[scott.arbuckle@ibigroup.com](mailto:scott.arbuckle@ibigroup.com)> <[scott.arbuckle@ibigroup.com](mailto:scott.arbuckle@ibigroup.com)>

**Subject:** RE: 12505 Heart Lake Road

Good Morning Laura,

Thank you again to you and Region staff for your recent attention to the sanitary servicing inquiry for this site located at 12505 Heart Lake Road. We have prepared this brief memo outlining our recommendations for next steps which includes providing some information to Region that we believe would be necessary for their review to service this site and the surrounding lands. If you could please forward this onto staff and confirm back that would be appreciated. If you have any questions please do not hesitate to contact me anytime.

Thanks very much,

Regards,

**Scott Passmore, P.Eng.**

EXP | Vice President, Land Development, Central Canada E&E

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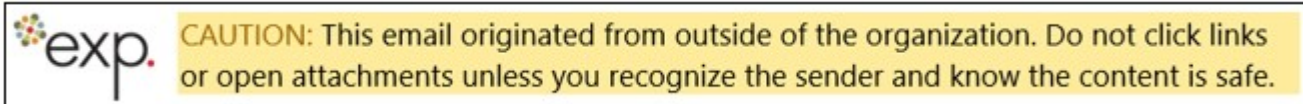
**From:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>

**Sent:** Thursday, December 16, 2021 11:05 AM

**To:** Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>

**Cc:** Motamedi, Kolsoom <[kolsoom.motamedi@peelregion.ca](mailto:kolsoom.motamedi@peelregion.ca)>; Polga, Miriam <[miriam.polga@peelregion.ca](mailto:miriam.polga@peelregion.ca)>

**Subject:** RE: 12505 Heart Lake Road



Good morning Scott,

Thank you for your patience. We took a closer look at servicing options for this area to convey flows to the receiving sewer on Dixie Road. I have copied Kolsoom, one of our Senior PMs who led the analysis for this area.

As previously discussed, we would not prefer sending flows west to Kennedy Road. All options to Dixie will need to consider the alignment of the future GTA West highway. We also see merits in splitting the drainage area by the Humber River located to the north of the subject site. As it shows in the Master Plan, project ST-193 will need to consider easement/property requirements which will still need to be resolved but it may be easier to cross along this route than south along Spier Giffen/Abbotside Way, given future plans for the GTA West highway. Depending what our preferred solution is, we may also need to upsize the existing 375-mm sanitary sewer on Abbotside Way depending on the final tributary drainage area.

As we prepare to undertake our next Master Plan update, we will take this and other area analyses into account. Appreciate your input and we will stay in touch.

Happy holidays and all the best in the new year.

Thanks,

**Laura Borowiec, P.Eng.**

Program Manager, Infrastructure Planning - Growth and Water Resources  
Region of Peel  
10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)  
Brampton, ON L6T 4B9  
905-791-7800 Ext. 7681



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---

**From:** Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>  
**Sent:** November 10, 2021 10:00 AM  
**To:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>  
**Subject:** RE: 12505 Heart Lake Road

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Hi Laura, just a friendly check in to see if you had any feedback on this sanitary review? Any update would be appreciated. Thanks,

**Scott Passmore, P.Eng.**

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---

**From:** Scott Passmore  
**Sent:** Friday, October 22, 2021 7:27 AM  
**To:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>  
**Subject:** RE: 12505 Heart Lake Road

Yes that would be great thanks Laura

**Scott Passmore, P.Eng.**

EXP | Vice President, Land Development, Central Canada E&E

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**From:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>

**Sent:** Thursday, October 21, 2021 4:48 PM

**To:** Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>

**Subject:** Re: 12505 Heart Lake Road



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Hi Scott,

Thanks for your email and voicemail.

I have some time tomorrow morning to discuss. Let me know if 9:15 works for you and I will send an invite.

Cheers,

Laura Borowiec, P.Eng.

Program Manager, Water and Wastewater Infrastructure Planning - Growth

Region of Peel

10 Peel Centre Drive, Suite A (4th Floor)

Brampton, ON L6T 4B9

905-791-7800 Ext. 7681

---

**From:** Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>

**Sent:** Wednesday, October 20, 2021 4:01:51 PM

**To:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>; Marzo, Christina <[christina.marzo@peelregion.ca](mailto:christina.marzo@peelregion.ca)>; Rob Hughes <[Rob.Hughes@caledon.ca](mailto:Rob.Hughes@caledon.ca)>; Prowse, Dylan <[dylan.prowse@peelregion.ca](mailto:dylan.prowse@peelregion.ca)>; Joshua Marlowe <[jmarlowe@berkshireaxis.com](mailto:jmarlowe@berkshireaxis.com)>; Leslie Marlowe <[lmarlowe@berkshireaxis.com](mailto:lmarlowe@berkshireaxis.com)>; Victoria Blake <[victoria@sajekiplanning.com](mailto:victoria@sajekiplanning.com)>; Leo Palozzi <[leo@sajekiplanning.com](mailto:leo@sajekiplanning.com)>; David Sajecki <[david@sajekiplanning.com](mailto:david@sajekiplanning.com)>

**Subject:** RE: 12505 Heart Lake Road

**Subject:** RE: 12505 Heart Lake Road

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Our review also included looking at the Region's master plan where we have identified some requirements that we believe should be considered by Region staff (such as the Campbell Cross Creek crossing location associated with project WW-ST-194). But I will be in contact you directly to discuss those findings.

In the meantime, please feel free to share this prelim review with Region staff and as always, please contact me anytime with questions where I am best reached at (905) 512-7542.

Thanks very much,

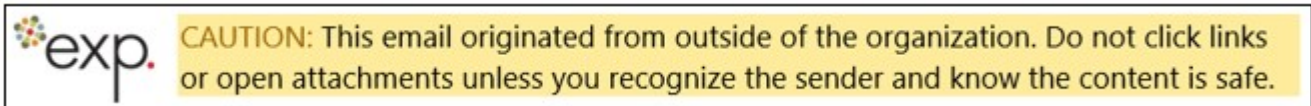
**Scott Passmore, P.Eng.**

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---

**From:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>  
**Sent:** Wednesday, September 22, 2021 4:05 PM  
**To:** Marzo, Christina <[christina.marzo@peelregion.ca](mailto:christina.marzo@peelregion.ca)>; Rob Hughes <[Rob.Hughes@caledon.ca](mailto:Rob.Hughes@caledon.ca)>; Prowse, Dylan <[dylan.prowse@peelregion.ca](mailto:dylan.prowse@peelregion.ca)>; Joshua Marlowe <[jmarlowe@berkshireaxis.com](mailto:jmarlowe@berkshireaxis.com)>; Leslie Marlowe <[lmrlowe@berkshireaxis.com](mailto:lmrlowe@berkshireaxis.com)>; Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>; Victoria Blake <[victoria@sajekiplanning.com](mailto:victoria@sajekiplanning.com)>; Leo Palozzi <[leo@sajekiplanning.com](mailto:leo@sajekiplanning.com)>; David Sajeci <[david@sajekiplanning.com](mailto:david@sajekiplanning.com)>  
**Subject:** RE: 12505 Heart Lake Road



Good afternoon Scott and team,

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I hope this helps.

Thanks,

**Laura Borowiec, P.Eng.**  
Program Manager, Infrastructure Planning - Growth and Water Resources  
Region of Peel

10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)  
Brampton, ON L6T 4B9  
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---

**From:** Marzo, Christina <[christina.marzo@peelregion.ca](mailto:christina.marzo@peelregion.ca)>  
**Sent:** August 30, 2021 10:14 AM  
**To:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>; Rob Hughes <[Rob.Hughes@caledon.ca](mailto:Rob.Hughes@caledon.ca)>; Prowse, Dylan <[dylan.prowse@peelregion.ca](mailto:dylan.prowse@peelregion.ca)>; Joshua Marlowe <[jmarlowe@berkshireaxis.com](mailto:jmarlowe@berkshireaxis.com)>; Leslie Marlowe <[lmrlowe@berkshireaxis.com](mailto:lmrlowe@berkshireaxis.com)>; Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>; Victoria Blake <[victoria@sajekiplanning.com](mailto:victoria@sajekiplanning.com)>; Leo Palozzi <[leo@sajekiplanning.com](mailto:leo@sajekiplanning.com)>; David Sajecki <[david@sajekiplanning.com](mailto:david@sajekiplanning.com)>  
**Subject:** 12505 Heart Lake Road

Hi all,

I am resharing the link to the Region's Settlement Area Boundary Expansion website which now has updated mapping and information that is being shared this week with the Region's Planning & Growth Management Committee.

[Settlement Area Boundary Expansion - 2051 Official Plan review - Region of Peel \(peelregion.ca\)](#)

Thank you,

**Christina Marzo MCIP RPP**  
**Manager**  
Development Services,  
Public Works, Region of Peel

T: 905-791-7800 x4362  
C: 905-867-3431  
E: [christina.marzo@peelregion.ca](mailto:christina.marzo@peelregion.ca)

10 Peel Centre Drive Suite A, 6<sup>th</sup> Floor  
Brampton, Ontario L6T 4B9



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January 13<sup>th</sup>, 2022

Laura Borowiec, Program Manager, Infrastructure Planning  
Region of Peel  
10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)  
Brampton, ON L6T 4B9

Project: 12505 Heart Lake Road, Caledon (Berkshire Axis)  
Subject: External Sanitary Servicing - Memo

---

Dear Ms Borowiec:

Thank you for taking the time recently to discuss the external sanitary servicing requirements for the property located at 12505 Heart Lake Road ("site") in the Town of Caledon. We received the Region of Peel's comments in the email of December 16<sup>th</sup>, 2021 and offer this memo to further advance the discussions. Some of the primary objectives behind this memo are to provide Region staff with the following:

- A brief overview of the preliminary findings to date;
- Additional comments for servicing the lands south of the Humber River (Campbell Cross Creek); and,
- Recommendations for next steps to move forward.

### **Preliminary Findings to Date**

Some of the key findings to date can be summarized below:

- It is the Region's preference that the site stay within the sanitary drainage catchment directed to Dixie Road
- The contemplated sanitary project ST-193 may not be feasible due to complex expropriation requirements and MTO approvals (future highway expansion area)
- The contemplated sanitary project ST-194 may not be feasible due to the elevations of Campbell Cross Creek ("creek crossing") pulling the sewer elevation too low along Heart Lake Road
- A future sanitary sewer along Heart Lake Road can service future development lands located south of the creek crossing with a connection to the future Speirs Griffen Avenue Extension

### **Servicing Lands South of Campbell Cross Creek**

Based on our findings to date, we believe that if it is eventually confirmed that contemplated sanitary project ST-194 is not possible, then there will be no need for project ST-193 and the Region's servicing strategy for all future development lands located south of the creek crossing will need to be revisited. We believe this servicing strategy would then incorporate a new, shallower municipal sanitary sewer south along Heart Lake Road to the Speirs Griffen Avenue extension.

### **Recommendations for Moving Forward**

We can appreciate the Region's need to consider all aspects of the master servicing plan study area as part of the review for servicing this subject site. Therefore, to assist the Region in their review we would like to recommend the following next steps:

- Coordinate the topographic survey of the existing inverts of the Campbell Cross Creek crossing Heart Lake Road (geodetic survey by OLS)
- Consult with TRCA staff regarding the required sanitary invert elevation at the TRCA regulated creek crossing location
- Prepare preliminary profiles of the sanitary sewer to simulate contemplated projects ST-194 and ST-193 for the Region's review

### **Summary**

As you know, the timing requirements for servicing the subject site are urgent for the Owner. Therefore, we would like to request that Region staff consider our recommendations outlined in this memo and confirm back as soon as possible.

As always, should you have any questions at any time please feel free to contact me where I am best reached at (905) 512-7542.

Sincerely,

EXP Services Inc.



Scott W. Passmore, P.Eng.  
Vice President, Land Development



## Scott Passmore

---

**From:** Borowiec, Laura <laura.borowiec@peelregion.ca>  
**Sent:** Thursday, December 16, 2021 11:05 AM  
**To:** Scott Passmore  
**Cc:** Motamedi, Kolsoom; Polga, Miriam  
**Subject:** RE: 12505 Heart Lake Road



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Good morning Scott,

Thank you for your patience. We took a closer look at servicing options for this area to convey flows to the receiving sewer on Dixie Road. I have copied Kolsoom, one of our Senior PMs who led the analysis for this area.

As previously discussed, we would not prefer sending flows west to Kennedy Road. All options to Dixie will need to consider the alignment of the future GTA West highway. We also see merits in splitting the drainage area by the Humber River located to the north of the subject site. As it shows in the Master Plan, project ST-193 will need to consider easement/property requirements which will still need to be resolved but it may be easier to cross along this route than south along Spier Giffen/Abbotside Way, given future plans for the GTA West highway. Depending what our preferred solution is, we may also need to upsize the existing 375-mm sanitary sewer on Abbotside Way depending on the final tributary drainage area.

As we prepare to undertake our next Master Plan update, we will take this and other area analyses into account. Appreciate your input and we will stay in touch.

Happy holidays and all the best in the new year.

Thanks,

**Laura Borowiec, P.Eng.**

Program Manager, Infrastructure Planning - Growth and Water Resources  
Region of Peel  
10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)  
Brampton, ON L6T 4B9  
905-791-7800 Ext. 7681



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---

**From:** Scott Passmore <Scott.Passmore@exp.com>  
**Sent:** November 10, 2021 10:00 AM

**To:** Borowiec, Laura <laura.borowiec@peelregion.ca>

**Subject:** RE: 12505 Heart Lake Road

**CAUTION: EXTERNAL MAIL. DO NOT CLICK ON LINKS OR OPEN ATTACHMENTS YOU DO NOT TRUST.**

Hi Laura, just a friendly check in to see if you had any feedback on this sanitary review? Any update would be appreciated. Thanks,

**Scott Passmore, P.Eng.**

EXP | Vice President, Land Development, Central Canada E&E

t : +1.905.695.3217, 3697 | m : +1.905.512.7542 | e : [scott.passmore@exp.com](mailto:scott.passmore@exp.com)

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**From:** Scott Passmore

**Sent:** Friday, October 22, 2021 7:27 AM

**To:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>

**Subject:** RE: 12505 Heart Lake Road

Yes that would be great thanks Laura

**Scott Passmore, P.Eng.**

EXP | Vice President, Land Development, Central Canada E&E

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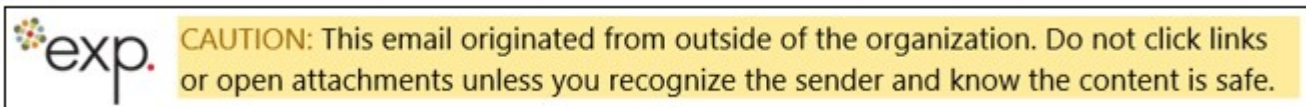
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**From:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>

**Sent:** Thursday, October 21, 2021 4:48 PM

**To:** Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>

**Subject:** Re: 12505 Heart Lake Road



Hi Scott,

Thanks for your email and voicemail.

I have some time tomorrow morning to discuss. Let me know if 9:15 works for you and I will send an invite.

Cheers,

Laura Borowiec, P.Eng.

Program Manager, Water and Wastewater Infrastructure Planning - Growth

Region of Peel

10 Peel Centre Drive, Suite A (4th Floor)

Brampton, ON L6T 4B9  
905-791-7800 Ext. 7681

---

**From:** Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>  
**Sent:** Wednesday, October 20, 2021 4:01:51 PM  
**To:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>; Marzo, Christina <[christina.marzo@peelregion.ca](mailto:christina.marzo@peelregion.ca)>; Rob Hughes <[Rob.Hughes@caledon.ca](mailto:Rob.Hughes@caledon.ca)>; Prowse, Dylan <[dylan.prowse@peelregion.ca](mailto:dylan.prowse@peelregion.ca)>; Joshua Marlowe <[jmarlowe@berkshireaxis.com](mailto:jmarlowe@berkshireaxis.com)>; Leslie Marlowe <[lmарlowe@berkshireaxis.com](mailto:lmарlowe@berkshireaxis.com)>; Victoria Blake <[victoria@sajekiplanning.com](mailto:victoria@sajekiplanning.com)>; Leo Palozzi <[leo@sajekiplanning.com](mailto:leo@sajekiplanning.com)>; David Sajecki <[david@sajekiplanning.com](mailto:david@sajekiplanning.com)>  
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Thanks very much,

**Scott Passmore, P.Eng.**

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**Sent:** Wednesday, September 22, 2021 4:05 PM  
**To:** Marzo, Christina <[christina.marzo@peelregion.ca](mailto:christina.marzo@peelregion.ca)>; Rob Hughes <[Rob.Hughes@caledon.ca](mailto:Rob.Hughes@caledon.ca)>; Prowse, Dylan <[dylan.prowse@peelregion.ca](mailto:dylan.prowse@peelregion.ca)>; Joshua Marlowe <[jmarlowe@berkshireaxis.com](mailto:jmarlowe@berkshireaxis.com)>; Leslie Marlowe <[lmарlowe@berkshireaxis.com](mailto:lmарlowe@berkshireaxis.com)>; Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>; Victoria Blake <[victoria@sajekiplanning.com](mailto:victoria@sajekiplanning.com)>; Leo Palozzi <[leo@sajekiplanning.com](mailto:leo@sajekiplanning.com)>; David Sajecki <[david@sajekiplanning.com](mailto:david@sajekiplanning.com)>  
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Thanks,

**Laura Borowiec, P.Eng.**

Program Manager, Infrastructure Planning - Growth and Water Resources  
Region of Peel  
10 Peel Centre Drive, Suite A (4<sup>th</sup> Floor)  
Brampton, ON L6T 4B9  
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**From:** Marzo, Christina <[christina.marzo@peelregion.ca](mailto:christina.marzo@peelregion.ca)>

**Sent:** August 30, 2021 10:14 AM

**To:** Borowiec, Laura <[laura.borowiec@peelregion.ca](mailto:laura.borowiec@peelregion.ca)>; Rob Hughes <[Rob.Hughes@caledon.ca](mailto:Rob.Hughes@caledon.ca)>; Prowse, Dylan <[dylan.prowse@peelregion.ca](mailto:dylan.prowse@peelregion.ca)>; Joshua Marlowe <[jmarlowe@berkshireaxis.com](mailto:jmarlowe@berkshireaxis.com)>; Leslie Marlowe <[lmrlowe@berkshireaxis.com](mailto:lmrlowe@berkshireaxis.com)>; Scott Passmore <[Scott.Passmore@exp.com](mailto:Scott.Passmore@exp.com)>; Victoria Blake <[victoria@sajeckiplanning.com](mailto:victoria@sajeckiplanning.com)>; Leo Palozzi <[leo@sajeckiplanning.com](mailto:leo@sajeckiplanning.com)>; David Sajecki <[david@sajeckiplanning.com](mailto:david@sajeckiplanning.com)>

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Thank you,

**Christina Marzo MCIP RPP**

**Manager**

Development Services,  
Public Works, Region of Peel

T: 905-791-7800 x4362

C: 905-867-3431

E: [christina.marzo@peelregion.ca](mailto:christina.marzo@peelregion.ca)

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Brampton, Ontario L6T 4B9



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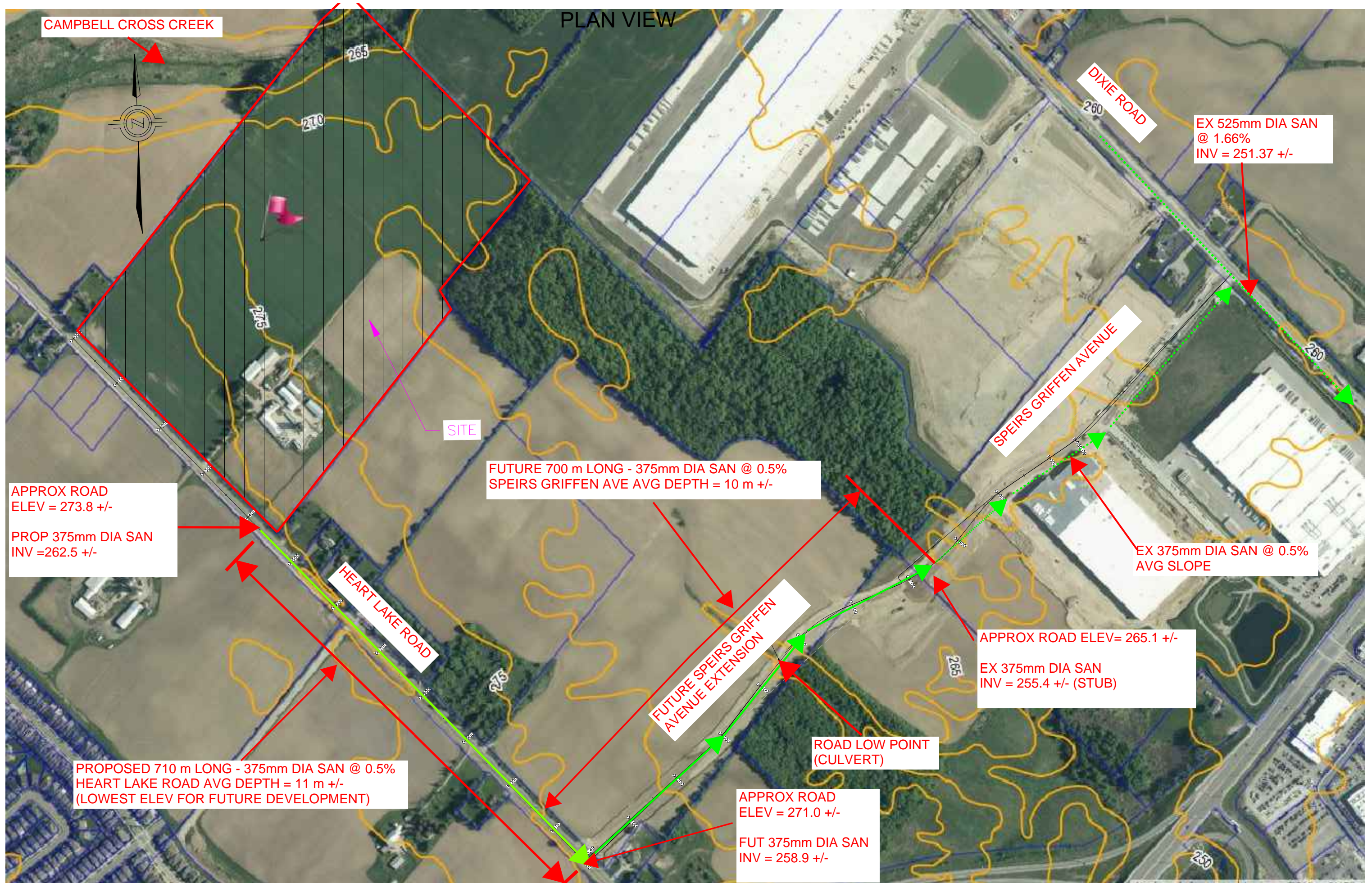
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**FIGURE 1 - PRELIM REVIEW OF SANITARY FOR FUTURE DEVELOPMENT REQUIREMENTS**



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