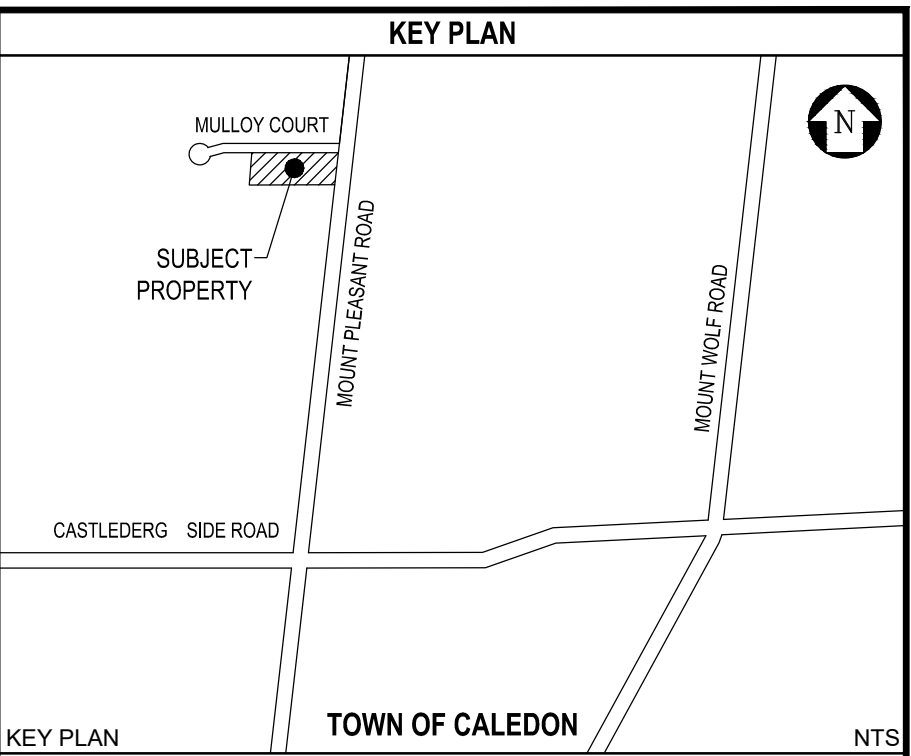




LEGEND	
	PROPERTY LINES (PROPOSED)
	PROPERTY LINES (EXISTING)
	EX. MJR CONTOURS (EACH 1.0m)
	EX. MNR CONTOURS (EACH 0.5m)
	PROP. GRADE CONTOURS
	KEY NATURAL HERITAGE FEATURE
	LIMIT OF STRUCTURE ENVELOPE (PROPOSED)
	PROP. GRASSED SWALE, DET. '1' SHEET 9
	PROP. INFILTRATION SWALE, MIN. 50.0m / LOT DET '2' SHEET 9
	PROP. GRADE ELEVATIONS
	PROP. POST AND WIRE FENCE
	PROP. WATER BOX

CONCEPTUAL DWELLINGS					
LOT	HOUSE TYPE	WALKOUT	GFA (m2)	GFA (ft2)	REFERENCE
1	BUNGALOW	YES	568.5	6,119.3	8 MULLOY COURT
2	BUNGALOW	YES	501.6	5,399.2	10 MULLOY COURT
3	BUNGALOW	NO	432.5	4,655.4	6 MULLOY COURT
4	BUNGALOW	NO	432.5	4,655.4	6 MULLOY COURT
5	BUNGALOW	NO	435.6	4,688.8	10 MULLOY COURT

LOCATION OF RESIDENTIAL UNITS AND SEPTIC FIELDS ARE CONCEPTUAL ONLY. FINAL LOCATIONS TO BE DETERMINED AT THE SITE PLAN APPROVAL / BUILDING PERMIT APPLICATION STAGE

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DESIGNED BY			APPROVED BY		
①	17/JAN/2025	SECOND SUBMISSION	AAF	AAF	RJW
②	26/JAN/2024	DPA APPLICATION	AAF	AAF	RJW
N°	Date	Revisions	Dwn	Dsg'd	Chk'd
Client:					
STELLAR HOMES INC.					
Project Name: STELLAR ESTATES PHASE 2 MULLOY COURT, TOWN OF CALEDON					
Title Name: GRADING PLAN					
Drawing N°: 22-3001-07		Sheet N°: 7 OF 9		Rev. N°: 1	
		Scale: 1:500			

GENERAL NOTES		GRADING NOTES	
1. CONSTRUCTION FOR THIS PROJECT TO COMPLY WITH THE MOST CURRENT VERSION OF THE DEVELOPMENT STANDARDS, POLICIES, AND GUIDELINES OF THE TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEI AND THE ONTARIO BUILDING CODE.	8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVISION, MAINTENANCE AND RESTORATION OF ALL CONSTRUCTION ACCESS REQUIREMENTS.	1. DOWNSPOUTS TO DISCHARGE TO GROUND VIA SPLASH PADS.	
2. ALL PROPOSED CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.	9. THE CONTRACTOR SHALL DELINEATE THE REQUIRED WORKING ARE PRIOR TO THE START OF WORK AND SHALL CONFINE OPERATIONS WITHIN THE DEFINED AREA.	2. DRIVEWAY GRADES TO BE BETWEEN 2 AND 6%.	
3. ALL UNDERGROUND SERVICE MATERIALS AND INSTALLATIONS TO BE IN ACCORDANCE WITH LATEST STANDARDS AND CODES AND TO BE IN GENERAL CONFORMANCE WITH MINISTRY OF ENVIRONMENT, CONSERVATION AND PARKS GUIDELINES.	10. WORKING AREAS, ACCESS REQUIREMENTS AND TEMPORARY MATERIAL STORAGE AREAS TO BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR AT ALL TIMES. AREAS AFFECTED BY THE CONTRACTORS ACTIVITIES ARE TO BE REINSTATED TO THE EXISTING CONDITIONS OR BETTER.	3. ALL SLOPES ARE TO BE 4H:1V MAXIMUM, UNLESS OTHERWISE NOTED.	
4. CONTOURS GENERATED FROM ORTHOPHOTOGRAPHY DEVELOPED IN THE SPRING OF 2002, AND SURVEYED ELEVATIONS BY CALDER ENGINEERING LTD. (2017 & 2019) AND EPLETT WOBORCE RAINES SURVEYING LTD. (2015). ACTUAL ELEVATIONS MAY VARY FROM THOSE SHOWN.	11. NATIVE AND GRANULAR MATERIAL, SUITABLE FOR BACKFILL, SHALL BE COMPACTED TO A MIN. 95% SPMD UNLESS OTHERWISE NOTED.	4. A MINIMUM OF 1.5m CLEARANCE IS TO BE PROVIDED FROM THE LIMIT OF THE DRIVEWAY TO EXISTING UTILITY STRUCTURES WITHIN THE MUNICIPAL RIGHT-OF-WAY. IF THIS CLEARANCE IS NOT MAINTAINED THEY SHALL BE RELOCATED AT THE APPLICANT'S EXPENSE.	
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT AND SURVEY CONTROL DURING CONSTRUCTION.	12. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ON THE SITE AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD TO THE SATISFACTION OF THE TOWN OF CALEDON AND TORONTO AND REGION CONSERVATION AUTHORITY.	5. DISTURBED BOULEVARD AREAS TO BE RESTORED WITH MINIMUM 300mm TOPSOIL AND SOD.	
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND SERVICES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES AND SERVICES WHERE SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. DAMAGES TO EXISTING UTILITIES AND SERVICES TO BE REPAIRED TO THE SATISFACTION OF THE APPROPRIATE UTILITY AT THE CONTRACTORS EXPENSE.	13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEBRIS RELATED TO THE CONSTRUCTION OF THE WORKS.	6. DISTURBED SITE AREAS TO BE RESTORED WITH MINIMUM 100mm TOPSOIL AND EITHER SEED OR SOD.	
7. THE SUPPORT OF ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.	14. ALL ERRORS, OMISSIONS AND OR CHANGE OF CONDITIONS AT THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PERFORMING THE RELATED WORK.	7. ALL GRADING TO BE IN GENERAL CONFORMANCE WITH THE TOWN OF CALEDON "DEVELOPMENT STANDARDS MANUAL" SECTION 1.12 RESIDENTIAL LOT DRAINAGE AND SODDING.	
	15. STORM DRAINAGE TO BE SELF-CONTAINED AND SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. GRADING SHALL NOT EXTEND ONTO ADJACENT PROPERTIES WITHOUT PRIOR WRITTEN CONSENT FROM THE ADJACENT PROPERTY OWNER.		
		FENCING	
		1. ALL FENCING SHALL BE POST AND WIRE FENCE PER OPSD 971.101, UNLESS OTHERWISE NOTED.	
		2. ALL FENCE POSTS AND MESH TO BE LOCATED WITHIN THE LOTS ON PRIVATE PROPERTY, UNLESS OTHERWISE NOTED.	
		3. CHAIN LINK FENCE CONSTRUCTION SHALL CONFORM TO OPSD.MUNI 772, WHERE APPLICABLE.	