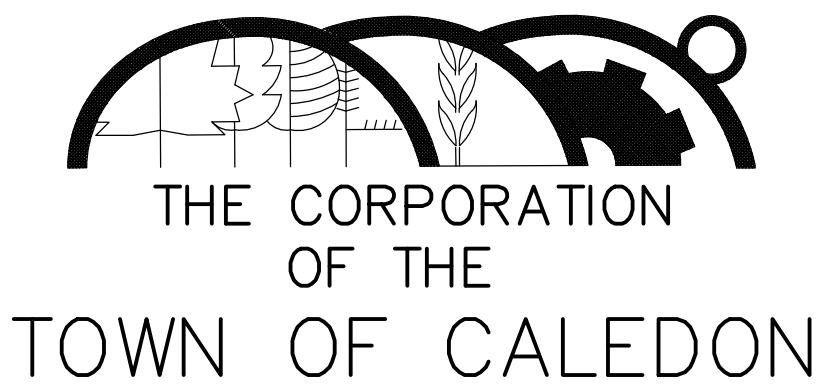


STELLAR ESTATES SUBDIVISION PHASE 2

DRAFT PLAN OF SUBDIVISION APPLICATION

TOWN OF CALEDON
PLANNING
RECEIVED
June 17th, 2025

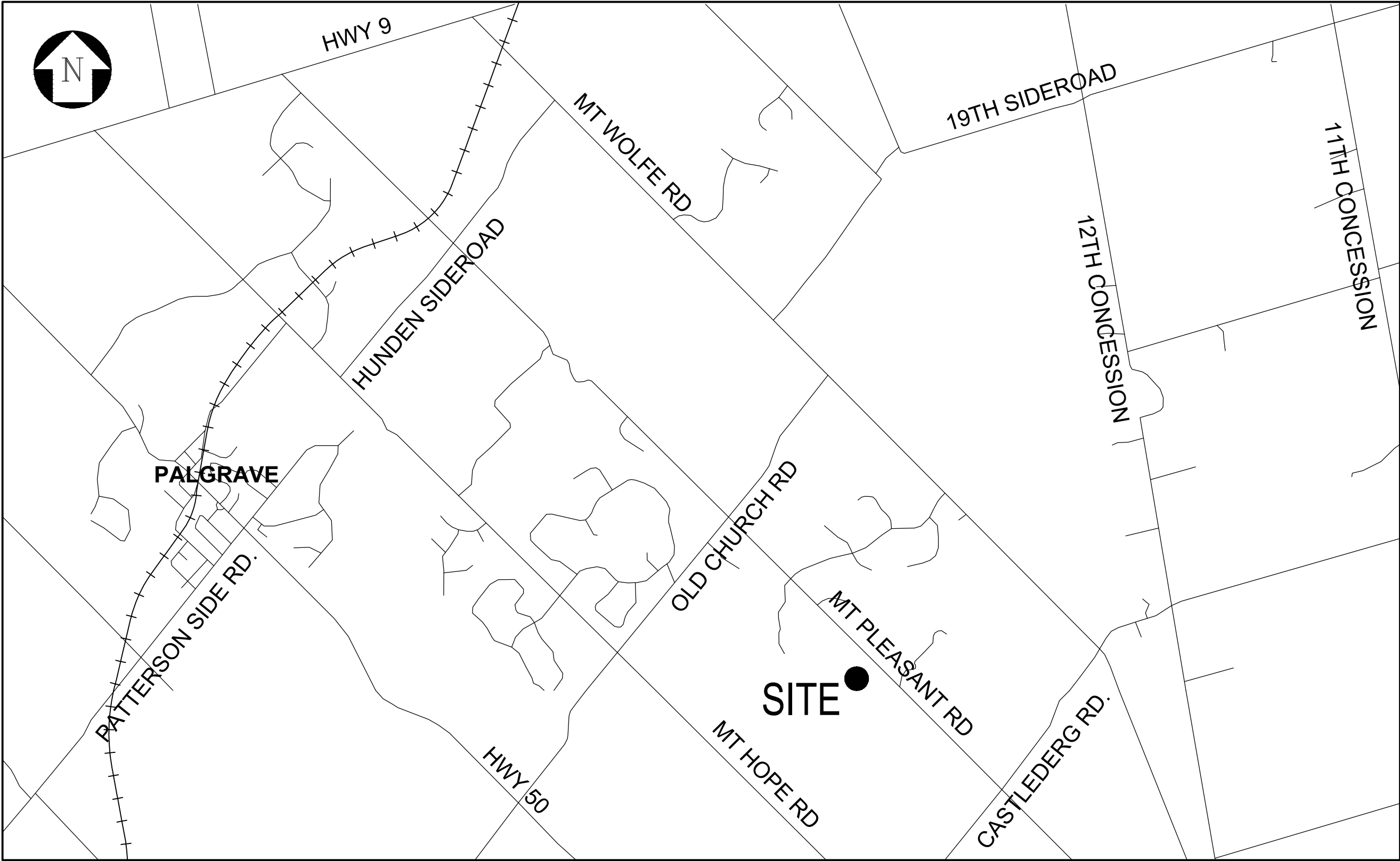


0 MOUNT PLEASANT ROAD

PART OF LOT 18, CONCESSION 8 (ALBION)

TOWN OF CALEDON

REGION OF PEEL



LIST OF DRAWINGS

DRAWING TITLE	DRAWING	SHEET
SITE PLAN	22-3001-01	1
GENERAL ABOVE GROUND SERVICES PLAN	22-3001-02	2
GENERAL BELOW GROUND SERVICES PLAN	22-3001-03	3
WATER DISTRIBUTION PLAN	22-3001-04	4
STORM DRAINAGE PLAN	22-3001-05	5
MULLOY COURT PLAN AND PROFILE	22-3001-06	6
GRADING PLAN	22-3001-07	7
EROSION AND SEDIMENT CONTROL PLAN	22-3001-08	8
CONSTRUCTION DETAILS	22-3001-09	9

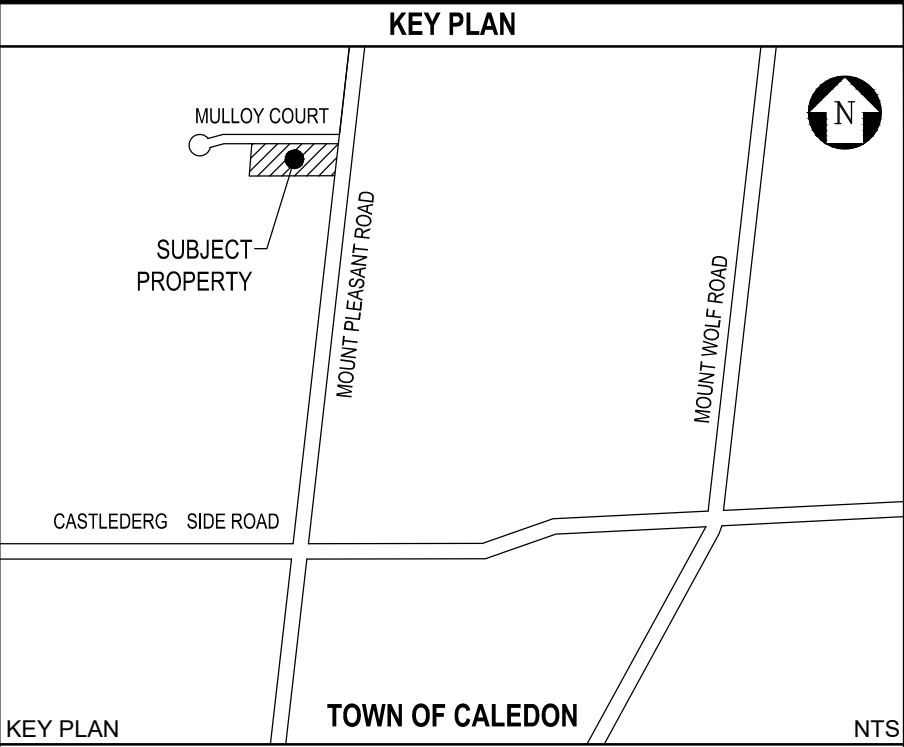
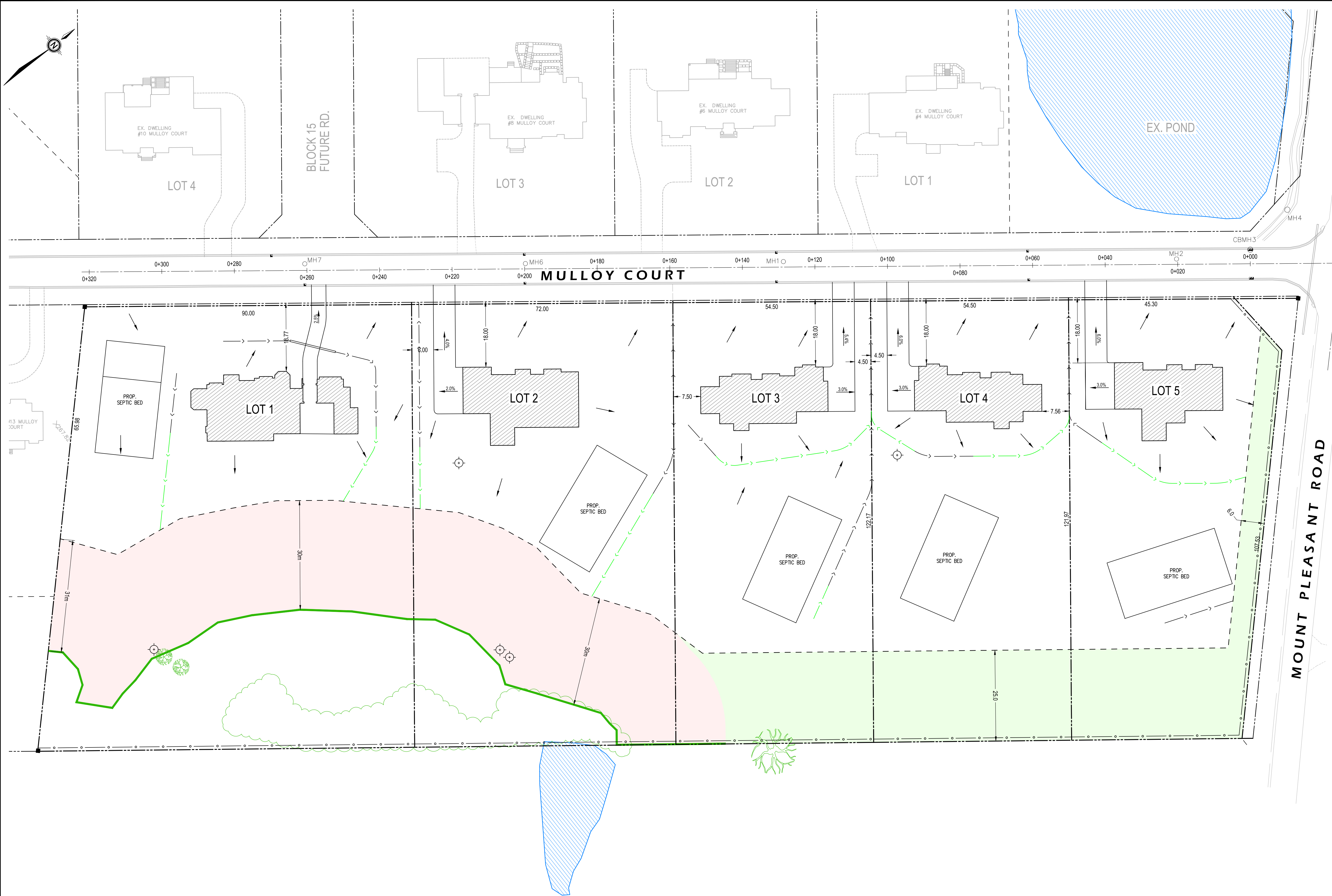
LIST OF TOWN INFRASTRUCTURE

LENGTH OF ROAD	0m
LENGTH OF STORM SEWER	0m
NUMBER OF MANHOLES	0
NUMBER OF CATCH BASINS	0
NUMBER OF STREET LIGHTS	0
NUMBER OF OGS UNITS	1
NUM. OF STORMWATER MANAGEMENT FACILITIES	0



STELLAR HOMES INC.

125 DON HILLOCK DRIVE
UNIT 8 B
AURORA, ONTARIO
L4G 0H8



LEGEND	
	PROPERTY LINES (PROPOSED)
	PROPERTY LINES (EXISTING)
	KEY NATURAL HERITAGE FEATURE
	LIMIT OF PROP. STRUCTURE ENVELOPE
	PROP. GRASSSED SWALE
	PROP. INFILTRATION SWALE, MIN. 50.0m / LOT
	MVPZ REHABILITATION PLANTINGS
	LOT AREA OUTSIDE STRUCTURE ENVELOPE

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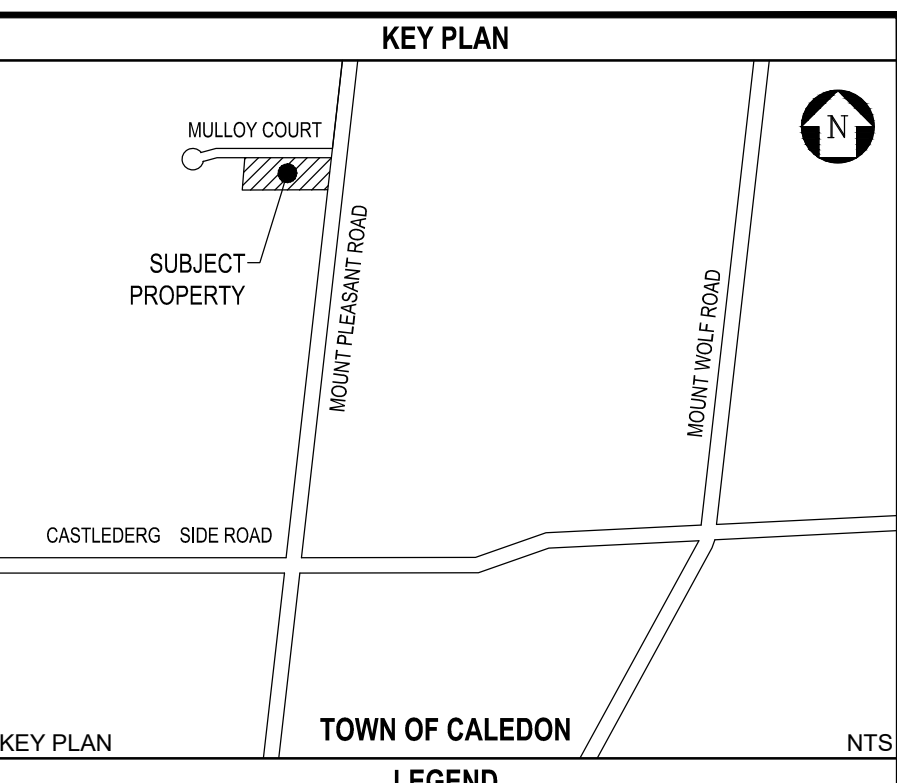
DESIGNED BY			APPROVED BY		
①	17/JAN/2025	SECOND SUBMISSION	AAF	AAF	RJW
②	26/JAN/2024	DPA APPLICATION	AAF	AAF	RJW
N°	Date	Revisions	Dwn.	Dis'd.	Chk'd.

Client: **STELLAR HOMES INC.**

Project Name: **STELLAR ESTATES PHASE 2
MULLOY COURT, TOWN OF CALEDON**

Title Name: **SITE PLAN**

Drawing N°:	22-3001-01	Sheet N°:	1 OF 9	Rev. N°:	①
		Scale:	1:500		



- LOCATION OF RESIDENTIAL UNITS AND SEPTIC FIELDS
ARE CONCEPTUAL ONLY.
FINAL LOCATIONS TO BE DETERMINED AT THE SITE
PLAN APPROVAL / BUILDING PERMIT APPLICATION STAGE

DESIGNED BY		APPROVED BY		
①	17/JAN/2025	SECOND SUBMISSION	AAF	AAF R/JW
②	26/JAN/2024	DPA APPLICATION	AAF	AAF R/JW
N°	Date	Revisions	Dwn.	Dsg'd. Chkd.

Project Name: **STELLAR ESTATES PHASE 2**
MULLOY COURT, TOWN OF CALEDON

Title Name:			
GENERAL ABOVE GROUND SERVICES PLAN			
Drawing N°:	22-3001-02	Sheet N°:	2 OF 9
		Scale:	1:500
			Rev. N°: 2

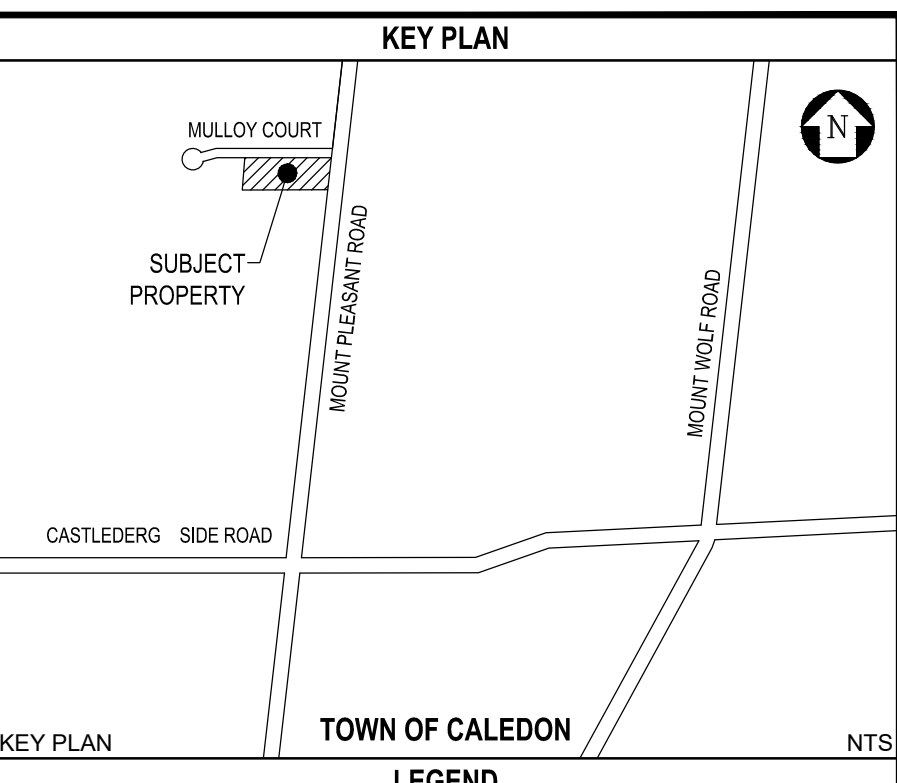
9. AND RESTORATION OF ALL CONSTRUCTION ACCESS REQUIREMENTS. THE CONTRACTOR SHALL DELINEATE THE REQUIRED WORKING AREAS PRIOR TO THE START OF WORK AND SHALL CONFINED OPERATIONS WITHIN THE DEFINED AREA.
10. WORKING AREAS ACCESS REQUIREMENTS AND TEMPORARY MATERIAL STORAGE AREAS TO BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR AT ALL TIMES. AREAS AFFECTED BY THE CONTRACTOR'S ACTIVITIES ARE TO BE REINSTATE TO THE EXISTING CONDITIONS OR BETTER.
11. NATIVE AND GRANULAR MATERIAL, SUITABLE FOR BACKFILL, SHALL BE COMPACTED TO A MIN. 95% SPMD UNLESS OTHERWISE NOTED.
12. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ON THE SITE AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD TO THE SATISFACTION OF THE TOWN OF CALEDON AND TORONTO AND REGION CONSERVATION AUTHORITY.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEBRIS RELATED TO THE CONSTRUCTION OF THE WORKS.
14. ALL ERRORS, OMISSIONS AND OR CHANGE OF CONDITIONS AT THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PERFORMING THE RELATED WORK.
15. STORM DRAINAGE TO BE CONTAINED AND SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. GRADING SHALL NOT EXTEND ONTO ADJACENT PROPERTIES WITHOUT PRIOR WRITTEN CONSENT FROM THE ADJACENT PROPERTY OWNER.

1. A ROAD OCCUPANCY PERMIT MUST BE OBTAINED A MINIMUM OF 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE ROAD ALLOWANCE FROM THE TOWN OF CALEDON AND/OR REGION OF PEEI, AS APPLICABLE. CONTRACTOR TO CONFORM TO REQUIREMENTS OF THE ROAD OCCUPANCY PERMIT.
2. A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION WITHIN THE MUNICIPAL RIGHT OF WAY THE CONTRACTOR MUST CONTACT THE FOLLOWING:
TOWN OF CALEDON PUBLIC WORKS 905-584-2272
FIRE AND EMERGENCY SERVICES 905-584-1111
REGION OF PEEI 905-781-7000
ENRIDGE CONSUMERS GAS 905-785-7924
HYDRO ONE 519-841-1211
BELL CANADA 1-877-487-4872
ROGERS CABLE 905-890-1211
DUFFERN-PNEI CATHOLIC SCHOOL BOARD 905-890-1211
PEEI DISTRICT SCHOOL BOARD 905-890-1211
3. ROAD MUST MAINTAIN TO A MINIMUM OF ONE LANE AT ALL TIMES FOR EMERGENCY ACCESS AS PER THE OHT GUIDELINES.
4. NOTIFICATION TO FIRE AND EMERGENCY SERVICES AND SCHOOL BOARDS REQUIRED TO BE PROVIDED A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK.
5. THE CONTRACTOR, AT THEIR EXPENSE AND TO THE SATISFACTION OF THE TOWN OF CALEDON OR REGION OF PEEI, AS APPLICABLE, SHALL BE RESPONSIBLE FOR THE RESTORATION AND REPAIR OF ALL AREAS BEYOND THE PROPERTY LIMITS DISTURBED DURING CONSTRUCTION.
6. A MINIMUM OF 5m CLEARANCE IS TO BE PROVIDED FROM THE LIMITS OF ALL SIDEWALKS AND DRIVEWAYS TO EXISTING UTILITY STRUCTURES WITHIN THE MUNICIPAL RIGHT OF WAY. IF THIS CLEARANCE IS NOT MAINTAINED, THEY SHALL BE RELOCATED AT THE CONTRACTOR'S EXPENSE.
7. CONTRACTOR IS RESPONSIBLE FOR PROPERLY COMPACTING THE BACKFILL MATERIAL AND REPLACING ALL SURFACES TO ORIGINAL CONDITION OR BETTER.

8. BACKFILL MATERIALS AND PLACEMENT SHALL CONFORM TO THE ROAD OCCUPANCY PERMIT UNLESS OTHERWISE SPECIFIED.
9. AS APPLICABLE, SUBGRADMS MUST REMAIN INTACT AND AT GRADE DURING CONSTRUCTION AND RESTORATION.
10. STREET CLOSURE TO TRAFFIC SHALL BE THROUGH PROPOSED ENTRANCES.
11. THE MINIMUM PAVEMENT DESIGN FOR THE ASPHALT DRIVEWAY APRON WITHIN THE MUNICIPAL ROAD ALLOWANCE SHALL BE AS FOLLOWS:
40mm H1.0 ASPHALT
50mm H1.0 ASPHALT
150mm GRANULAR 'X'
300mm GRANULAR 'B'
12. AS APPLICABLE, MUNICIPAL SIDEWALKS SHALL BE CONTINUOUS THROUGH ALL ENTRANCES TO THE SITE AND THE CURB SHALL BE TAPERED BACK 600mm.
13. ALL BULVDAREDS ARE TO BE RESTORED WITH MINIMUM 300mm TOPSOIL AND SOD.
14. TOP ASPHALT JOINTS TO BE SEALED WITH T-BOND HOT ASPHALT JOINT TAPE FROM MANUFACTURER OF DENSBO BRAND BY DENSBO. THESE SEALANTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH OTM BOOK 7- TEMPORARY CONDITIONS.

1. ALL FENCING SHALL BE POST AND WIRE FENCE PER OPSD 971.101, UNLESS OTHERWISE NOTED.
2. ALL FENCE POSTS AND MESH TO BE LOCATED WITHIN THE LOTS ON PRIVATE PROPERTY, UNLESS OTHERWISE NOTED.
3. CHAIN LINK FENCE CONSTRUCTION SHALL CONFORM TO OPSD.MUNI 772, WHERE APPLICABLE.

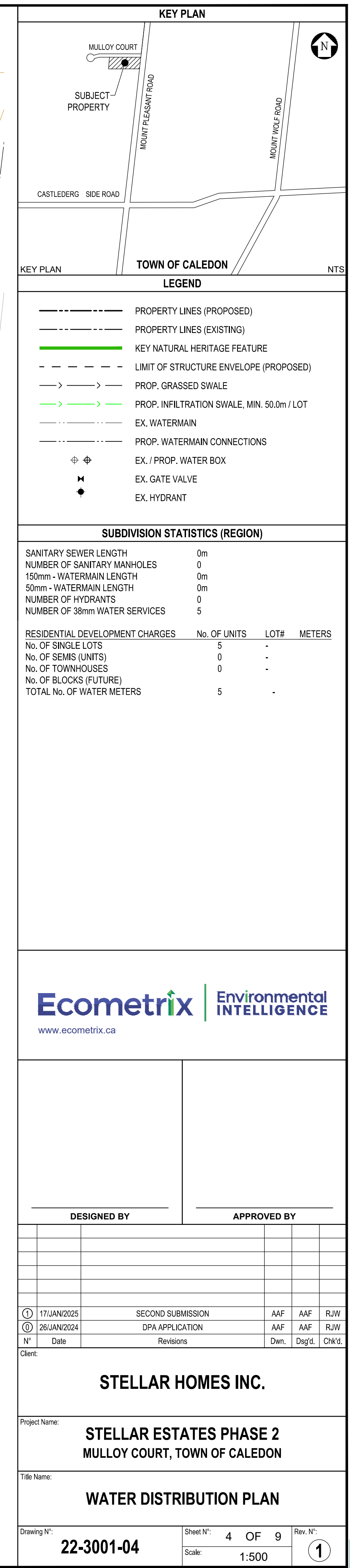
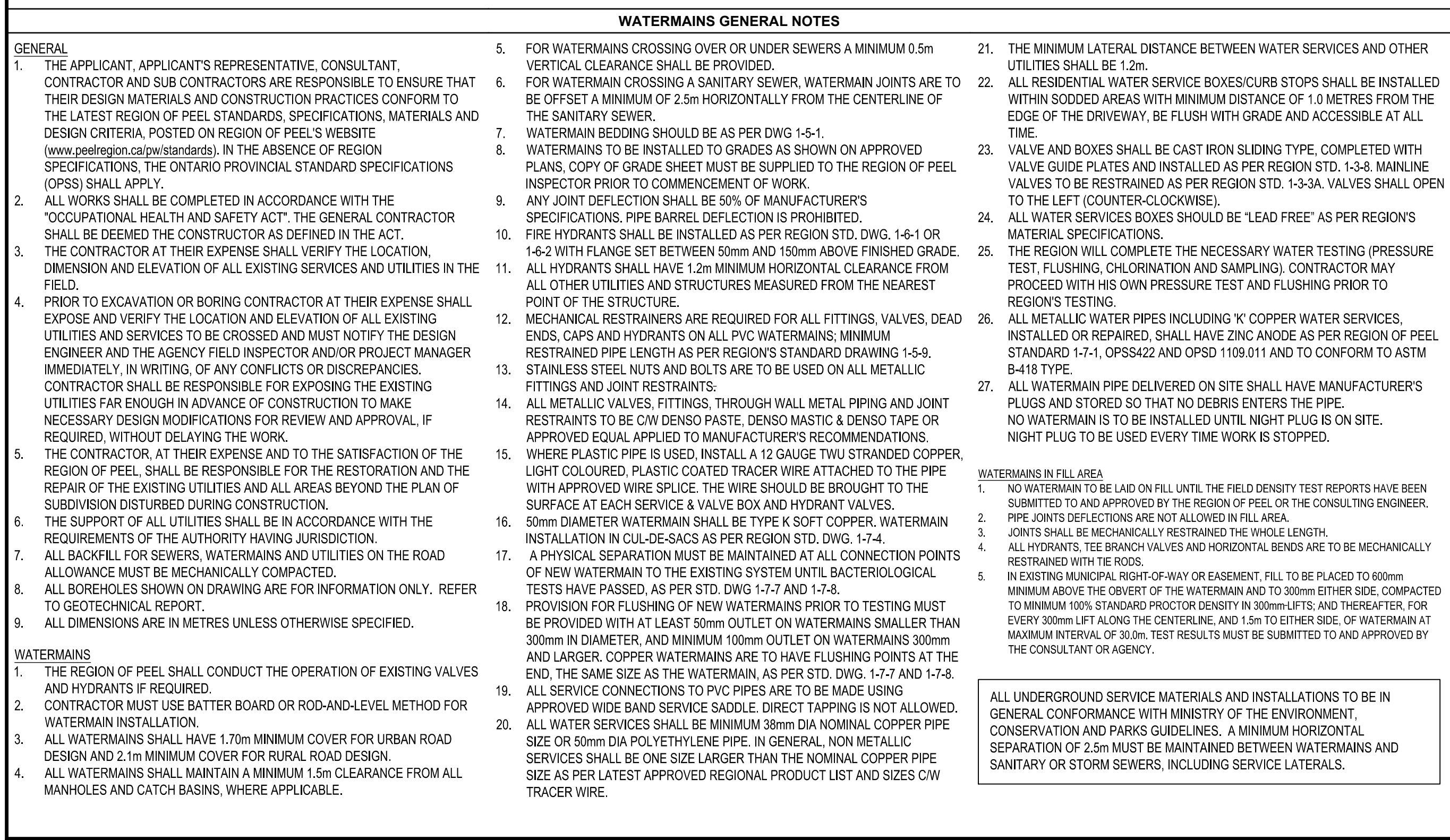
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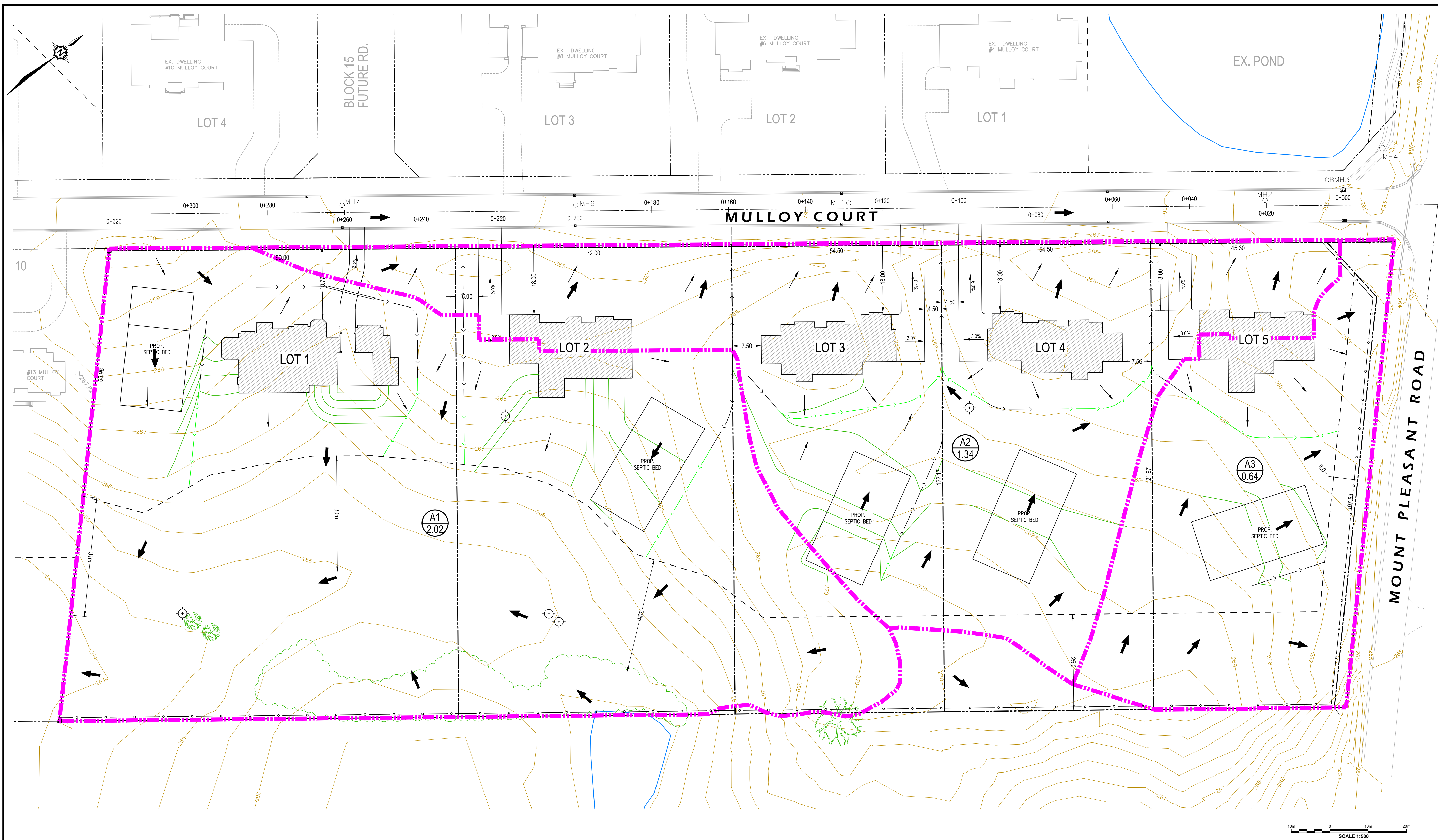
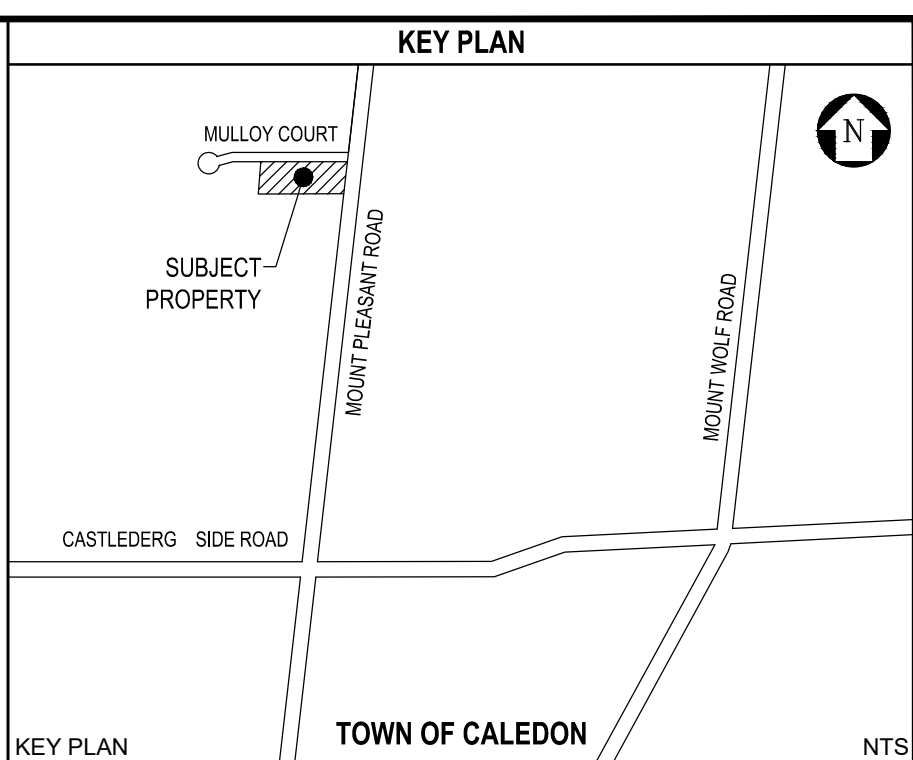


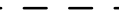
- LOCATION OF RESIDENTIAL UNITS AND SEPTIC FIELDS
ARE CONCEPTUAL ONLY.
FINAL LOCATIONS TO BE DETERMINED AT THE SITE
PLAN APPROVAL / BUILDING PERMIT APPLICATION STAGE

STELLAR HOMES INC

Sheet N°:	3 OF 9	Rev. N°:	
Scale:	1:500		



[illegible]

- | | |
|---|--|
|  | PROPERTY LINES (PROPOSED) |
|  | PROPERTY LINES (EXISTING) |
|  | KEY NATURAL HERITAGE FEATURE |
|  | LIMIT OF STRUCTURE ENVELOPE (PROPOSED) |
|  | PROP. GRASSED SWALE |
|  | PROP. INFILTRATION SWALE, MIN. 50.0m / LOT |
|  | PROP. STORM DRAINAGE BOUNDARY |
|  | PROP. DRAINAGE DIRECTION |
|  | PROP. CATCHMENT ID |
| | PROP. DRAINAGE AREA (HECTARES) |

LOCATION OF RESIDENTIAL UNITS AND SEPTIC FIELDS
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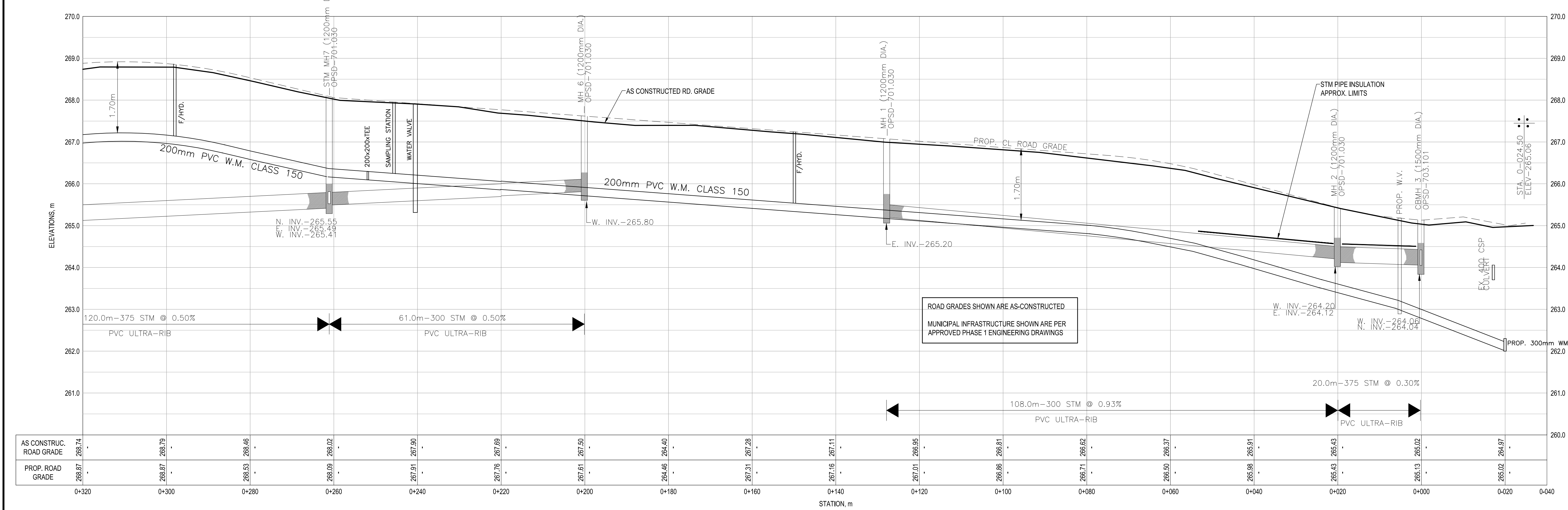
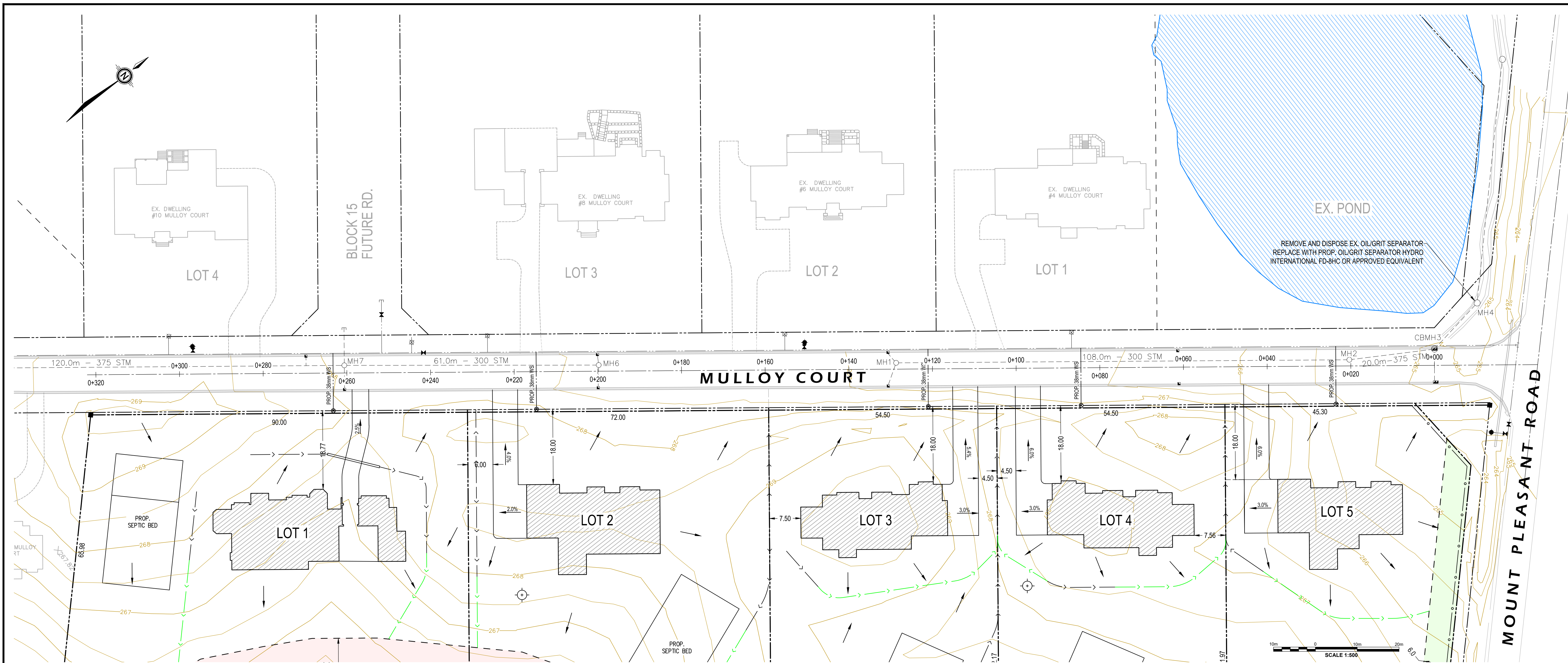
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①	17/JAN/2025	SECOND SUBMISSION	AAF	AAF	R/JW	
②	26/JAN/2024	DPA APPLICATION	AAF	AAF	R/JW	
N°	Date	Revisions	Dwn.	Dsg'd.	Chkd.	

STELLAR HOMES INC

Project Name: **STELLAR ESTATES PHASE 2**
MULLOY COURT, TOWN OF CALEDON

STORM DRAINAGE PLAN

Drawing N°: 22-3001-05	Sheet N°: 5 OF 9 Scale: 1:500	Rev. N°: 1
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KEY PLAN

KEY PLAN

TOWN OF CALEDON

NTS

LEGEND

- PROPERTY LINES (PROPOSED)
- PROPERTY LINES (EXISTING)
- KEY NATURAL HERITAGE FEATURE
- LIMIT OF STRUCTURE ENVELOPE (PROPOSED)
- PROP. GRASSSED SWALE
- PROP. INFILTRATION SWALE, MIN. 50.0m / LOT
- EX. WATERMAIN
- PROP. WATERMAIN CONNECTIONS
- EX. / PROP. WATER BOX
- EX. GATE VALVE
- EX. HYDRANT

DESIGNED BY

APPROVED BY

①	17/JAN/2025	SECOND SUBMISSION	AAF	AAF	RJW
②	26/JAN/2024	DPA APPLICATION	AAF	AAF	RJW
N°	Date	Revisions	Dwn	Dis'd	Chk'd

Client:

STELLAR HOMES INC.

Project Name:

STELLAR ESTATES PHASE 2
MULLOY COURT, TOWN OF CALEDON

Title Name:

MULLOY COURT
PLAN AND PROFILE

Drawing N°:

22-3001-06

Sheet N°:

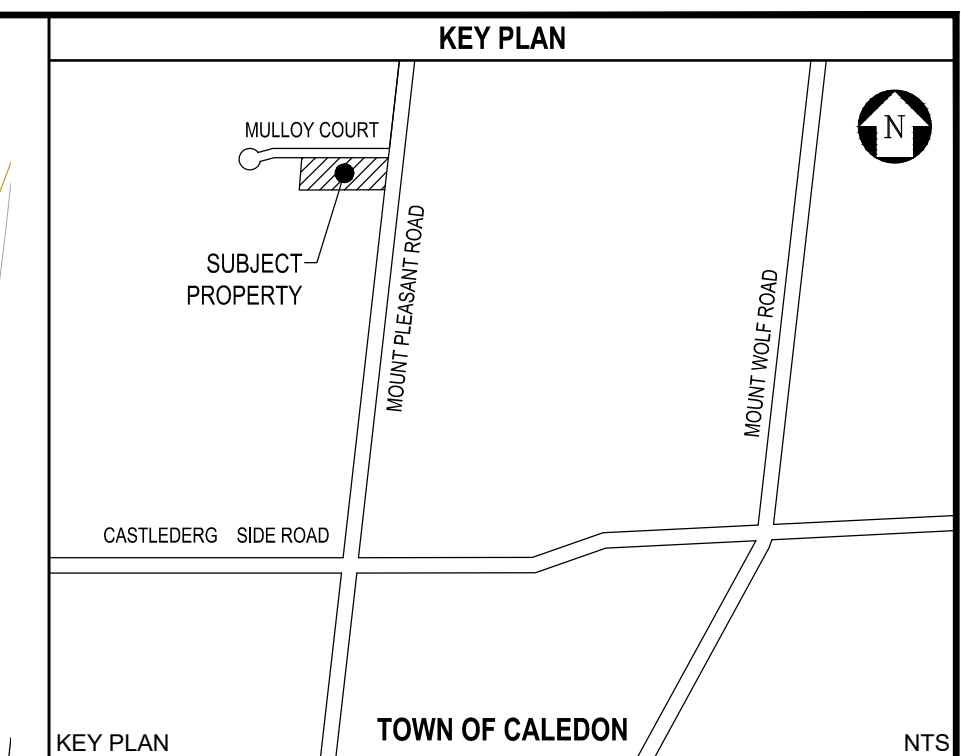
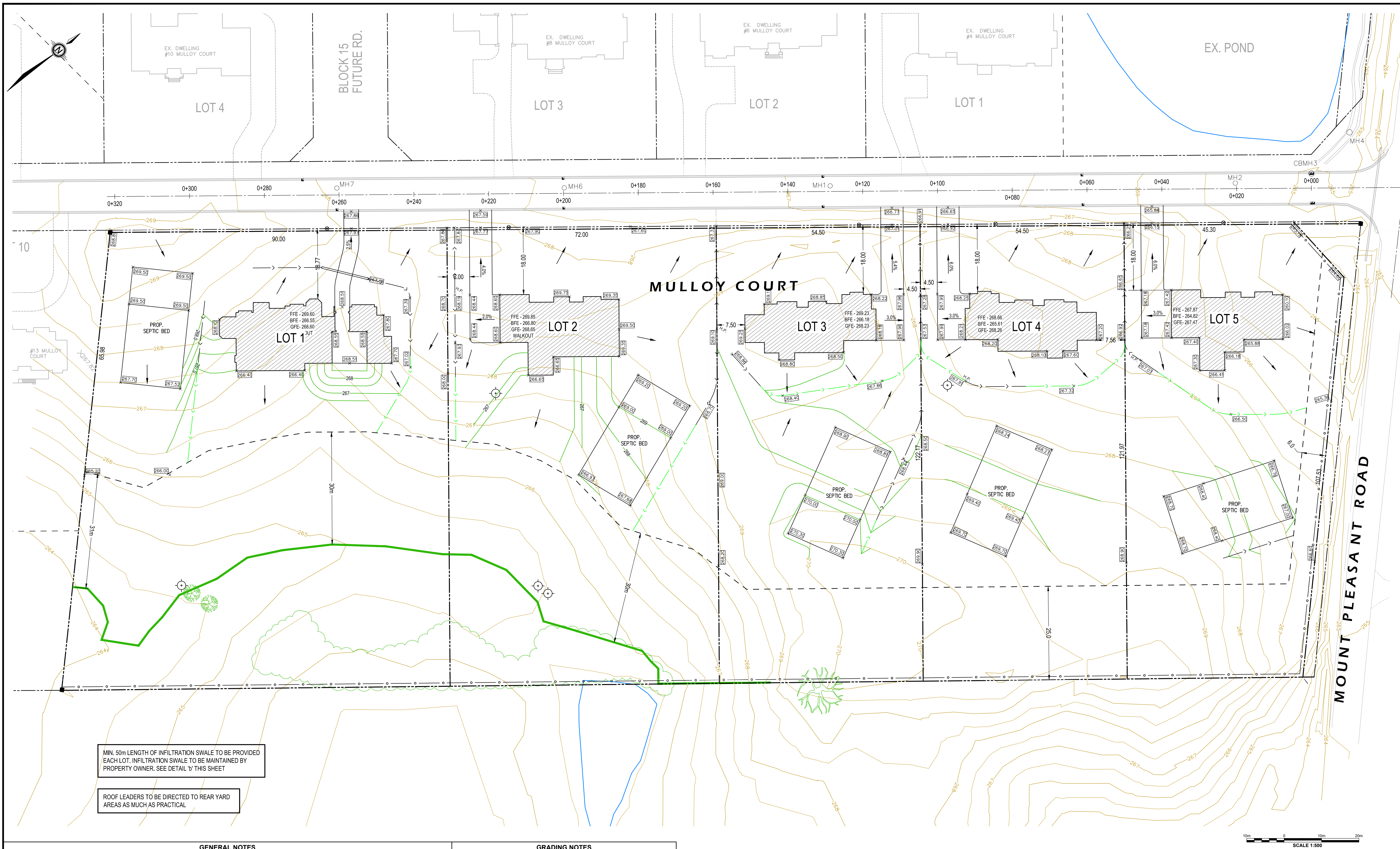
6 OF 9

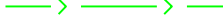
Rev. N°:

1

Scale:

H 1:500 / V 1:50



LEGEND	
	PROPERTY LINES (PROPOSED)
	PROPERTY LINES (EXISTING)
	EX. MJR CONTOURS (EACH 1.0m)
	EX. MNR CONTOURS (EACH 0.5m)
	PROP. GRADE CONTOURS
	KEY NATURAL HERITAGE FEATURE
	LIMIT OF STRUCTURE ENVELOPE (PROPOSED)
	PROP. GRASSSED SWALE, DET. '1' SHEET 9
	PROP. INFILTRATION SWALE, MIN. 50.0m / LOT DET '2' SHEET 9
	PROP. GRADE ELEVATIONS
	PROP. POST AND WIRE FENCE
	PROP. WATER BOX

CONCEPTUAL DWELLINGS						
LOT	HOUSE TYPE	WALKOUT	GFA (m2)	GFA (ft2)	REFERENCE	
1	BUNGALOW	YES	568.5	6,119.3	8	MULLOY COURT
2	BUNGALOW	YES	501.6	5,399.2	10	MULLOY COURT
3	BUNGALOW	NO	432.5	4,655.4	6	MULLOY COURT
4	BUNGALOW	NO	432.5	4,655.4	6	MULLOY COURT
5	BUNGALOW	NO	435.6	4,688.8	10	MULLOY COURT

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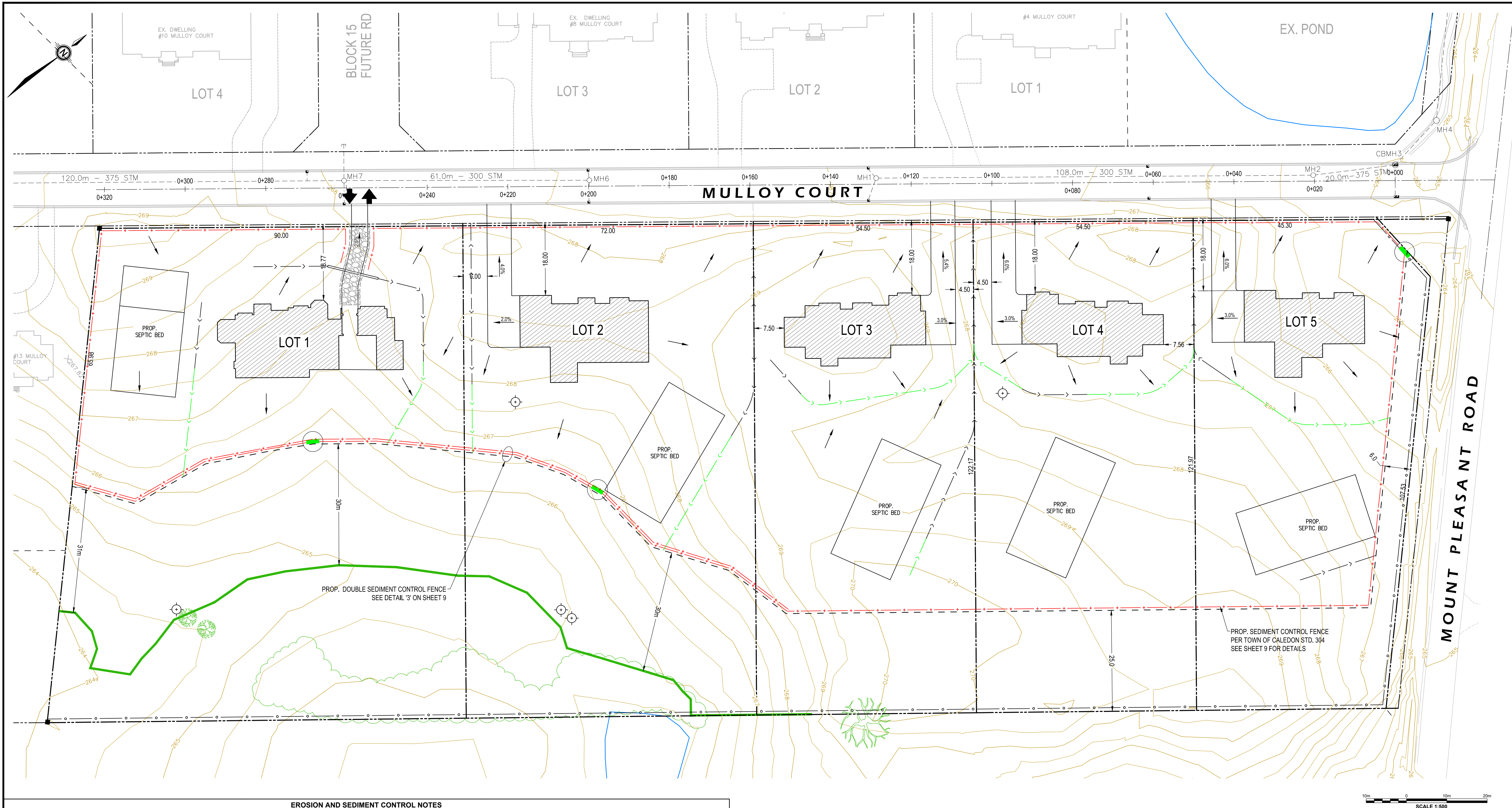
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①	17/JAN/2025	SECOND SUBMISSION	AAF	AAF	R/W
②	26/JAN/2024	DPA APPLICATION	AAF	AAF	R/W
N°	Date	Revisions	Dwn.	Dsg'd.	Chk'd.

STELLAR HOMES INC.

Project Name: **STELLAR ESTATES PHASE 2**
MULLOY COURT, TOWN OF CALEDON

GRADING PLAN

Drawing N°: 22-3001-07	Sheet N°: 7 OF 9	Rev. N°: 1
	Scale: 1:500	



KEY PLAN

KEY PLAN

TOWN OF CALEDON

NTS

LEGEND

PROPERTY LINES (PROPOSED)

PROPERTY LINES (EXISTING)

KEY NATURAL HERITAGE FEATURE

LIMIT OF STRUCTURE ENVELOPE (PROPOSED)

PROP. GRASSED SWALE

PROP. HEAVY DUTY SEDIMENT CONTROL FENCE PER MODIFIED TOWN OF CALEDON STANDARD DRAWING 304

PROP. DOUBLE ROW HEAVY DUTY SEDIMENT CONTROL FENCE c/w STRAW BALES IN BETWEEN

PROP. CONSTRUCTION ACCESS AND EGRESS POINT

PROPOSED MUD MAT ALIGNMENT TO BE FIELD DETERMINED

PROP. SILT/STORM CHECK DAM - 450mm PER DETAIL ON SHEET 23

EREMERGENCY CONTACT LIST

NAME/AGENCY

TOWN OF CALEDON

TORONTO AND REGION CONSERVATION

MINISTRY OF ENVIRONMENT SPILLS REPORTING

OWNER - STELLAR HOMES INC.

PROJECT ENGINEER - ECOMETRIX INCORPORATED

PHONE NUMBER

905-584-2272

416-661-6600

416-325-3000

905-726-7778

905-857-7600

DESIGNED BY

APPROVED BY

① 17/JAN/2025

SECOND SUBMISSION

AAF

AAF

RJW

② 26/JAN/2024

DPA APPLICATION

AAF

AAF

RJW

N°

Date

Revisions

Dwn

Dsg'd

Chk'd

Client:

STELLAR HOMES INC.

Project Name:

STELLAR ESTATES PHASE 2
MULLOY COURT, TOWN OF CALEDON

Title Name:

EROSION AND SEDIMENT
CONTROL PLAN

Drawing N°:

22-3001-08

Sheet N°:

8 OF 9

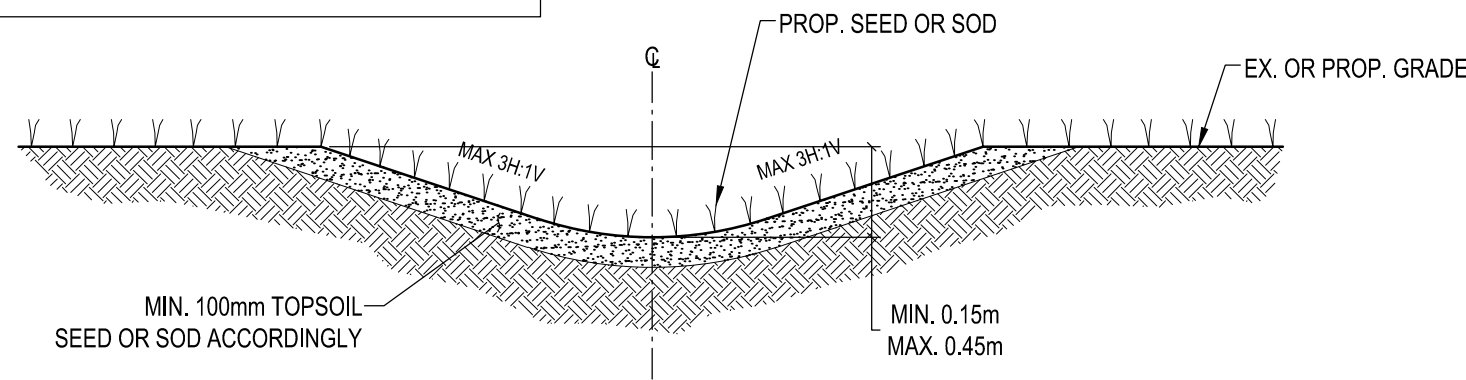
Rev. N°:

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Scale:

AS NOTED

SWALES TO BE MAINTAINED BY OWNER SUCH THAT THEY FUNCTIONS AS INTENDED. SWALES TO BE MAINTAINED CLEAR OF OBSTRUCTIONS



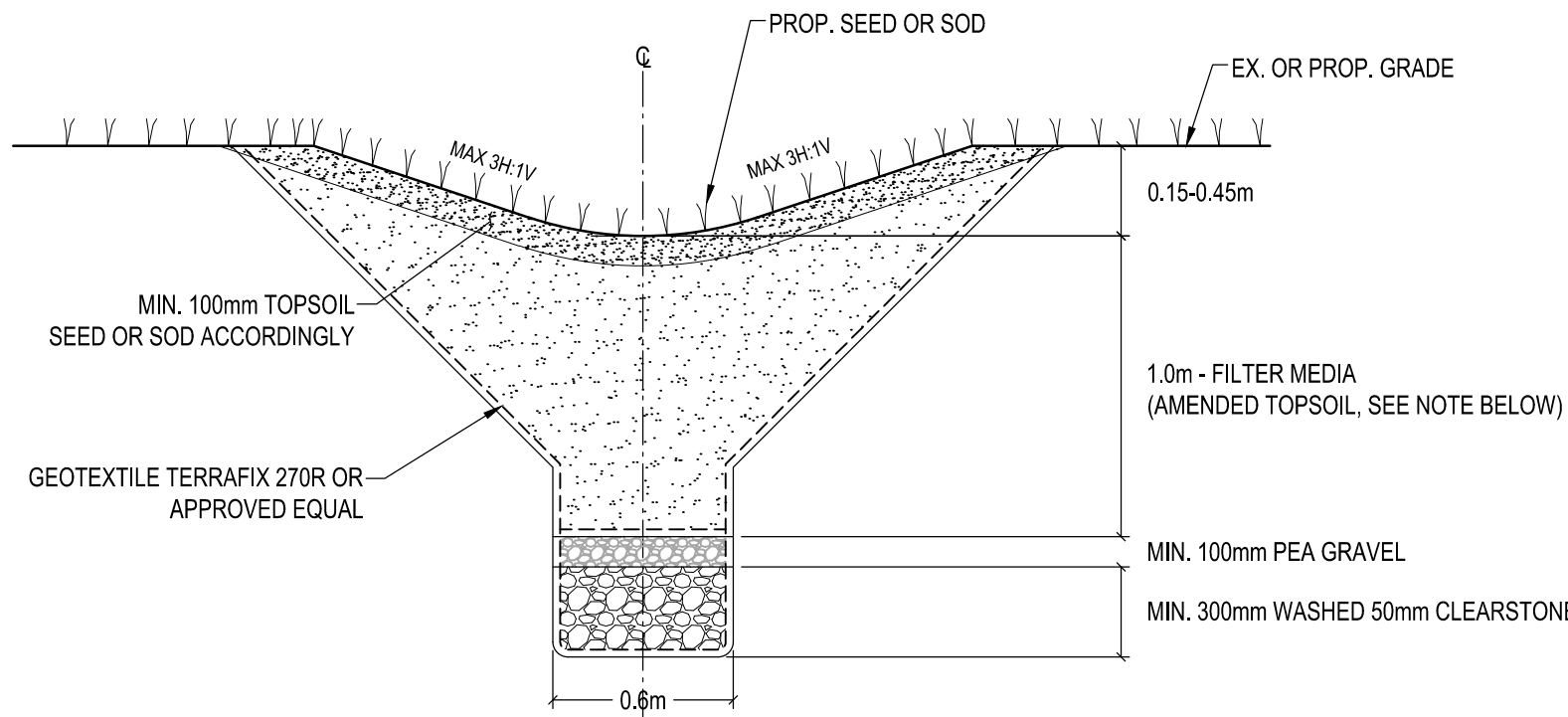
SWALE DETAIL (TYP.)

SCALE: 1:20

1

07

INFILTRATION SWALES TO BE MAINTAINED BY OWNER SUCH THAT THEY FUNCTIONS AS INTENDED. SWALES TO BE MAINTAINED CLEAR OF OBSTRUCTIONS



FILTER MEDIA NOTES

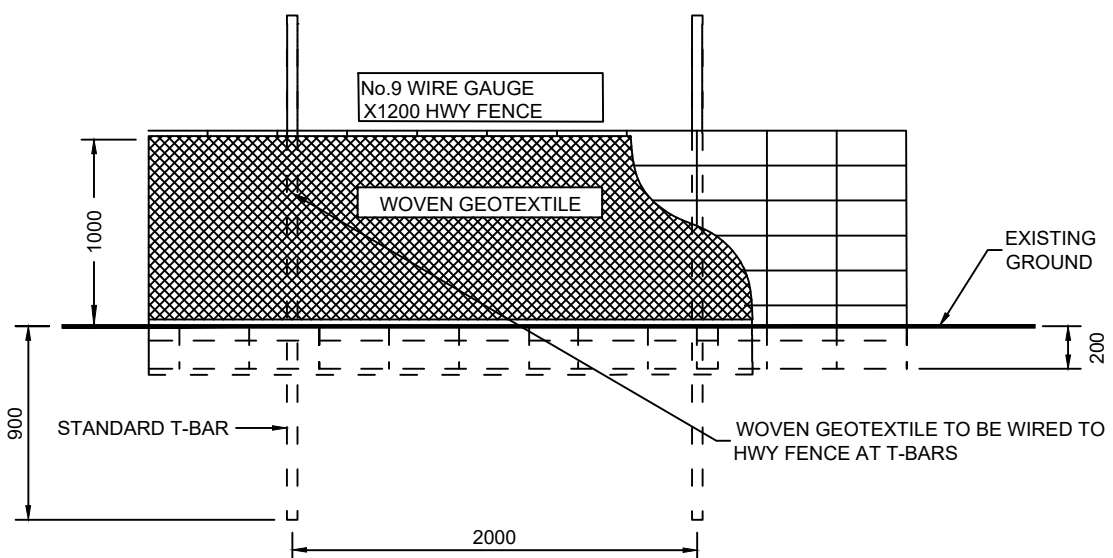
1. SOIL MIXTURE TO CONTAIN:
 - 85 - 88% SAND
 - 8 - 12% SOIL FINES
 - 3 - 5% ORGANIC MATTER (LEAF COMPOST)
2. PHOSPHORUS SOIL TEST INDEX (P-INDEX) VALUE: 10-30 ppm
3. CATIONIC EXCHANGE CAPACITY: GRATER THAN 10 meq/100g
4. FILTER MEDIA FREE OF STONES, STUMPS, ROOTS AND OTHER LARGE DEBRIS
5. pH: 5.5 TO 7.5

PROPOSED INFILTRATION SWALE

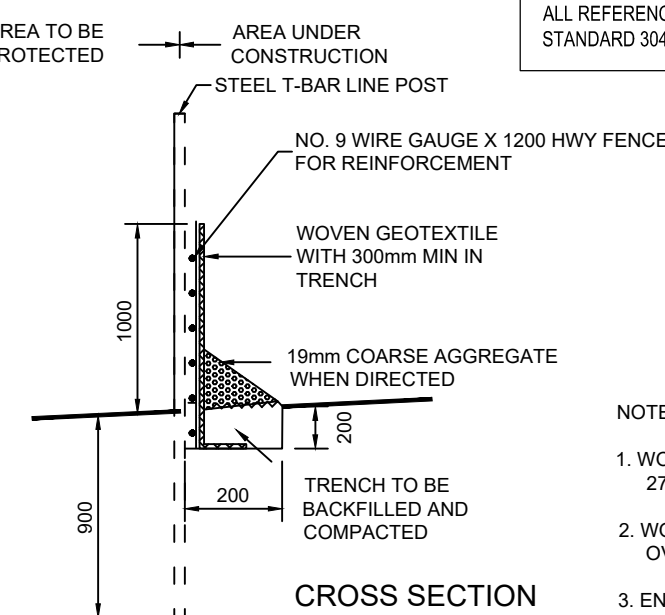
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2

07



ELEVATION

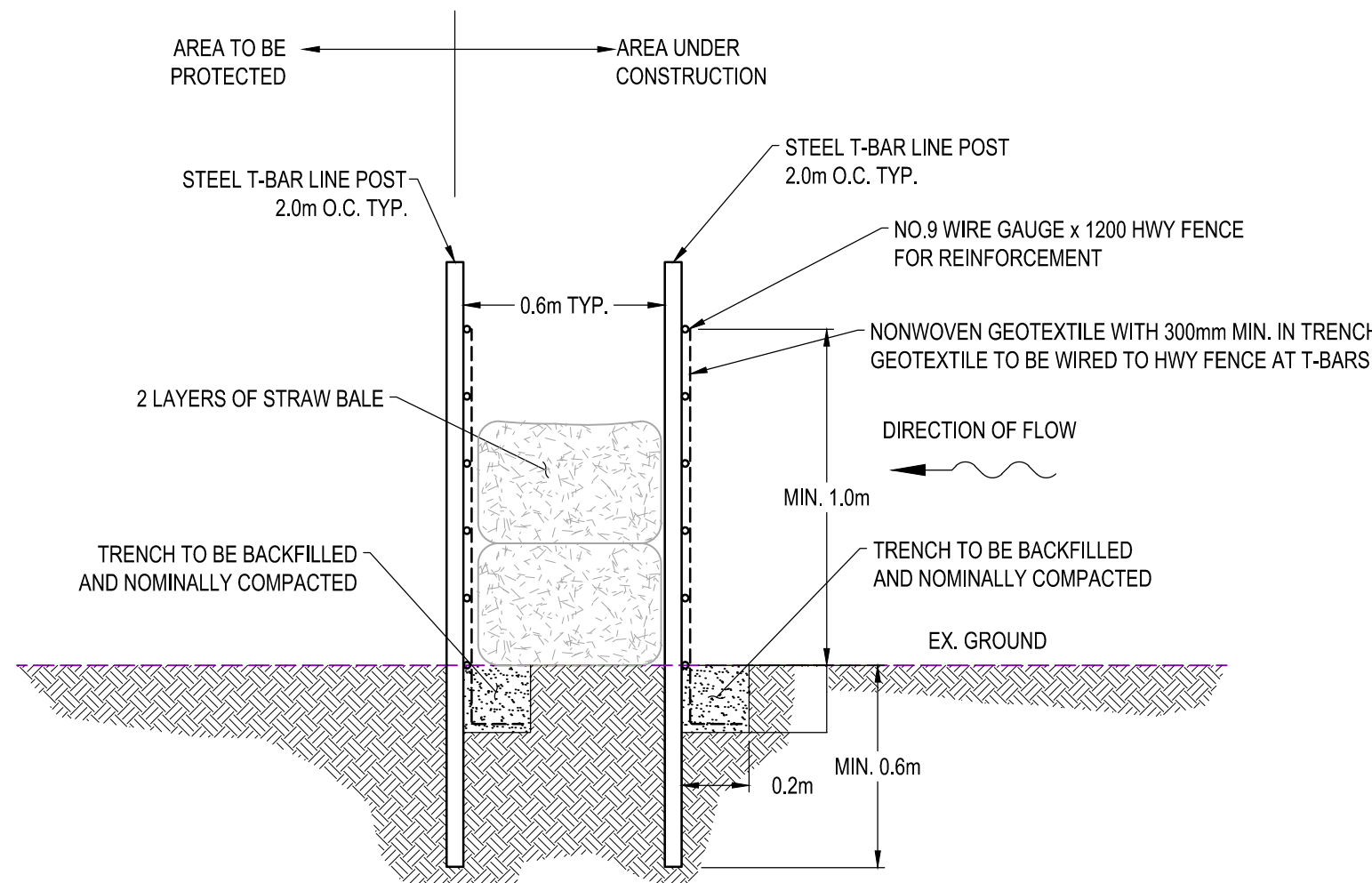


CROSS SECTION

ALL REFERENCES TO WOVEN GEOTEXTILE IN THE TOWN OF CALEDON STANDARD 304 TO BE REPLACE WITH NON-WOVEN GEOTEXTILE

- NOTES:
1. WOVEN GEOTEXTILE TO HAVE A WEAVE DENSITY OF 270R OR EQUIVALENT
 2. WOVEN GEOTEXTILE TO HAVE A HORIZONTAL OVERLAP OF 1000mm AT JOINTS.
 3. END RUNS SHALL BE TURNED UPSTREAM AT 30°

NO.	REVISION		APRD	DATE	
2	NAME CHANGED, STANDARD No. 325.01 NOW 304			JUNE 08	
1	SUPPORT FENCING CHANGED TO HWY FENCE			Oct 02	
TOWN OF CALEDON					
SEDIMENT CONTROL FENCE			APRD:	C.C.	DATE: APRIL 2000
			DRAWN:	BJM	SCALE: N.T.S.
			STANDARD No. 304		



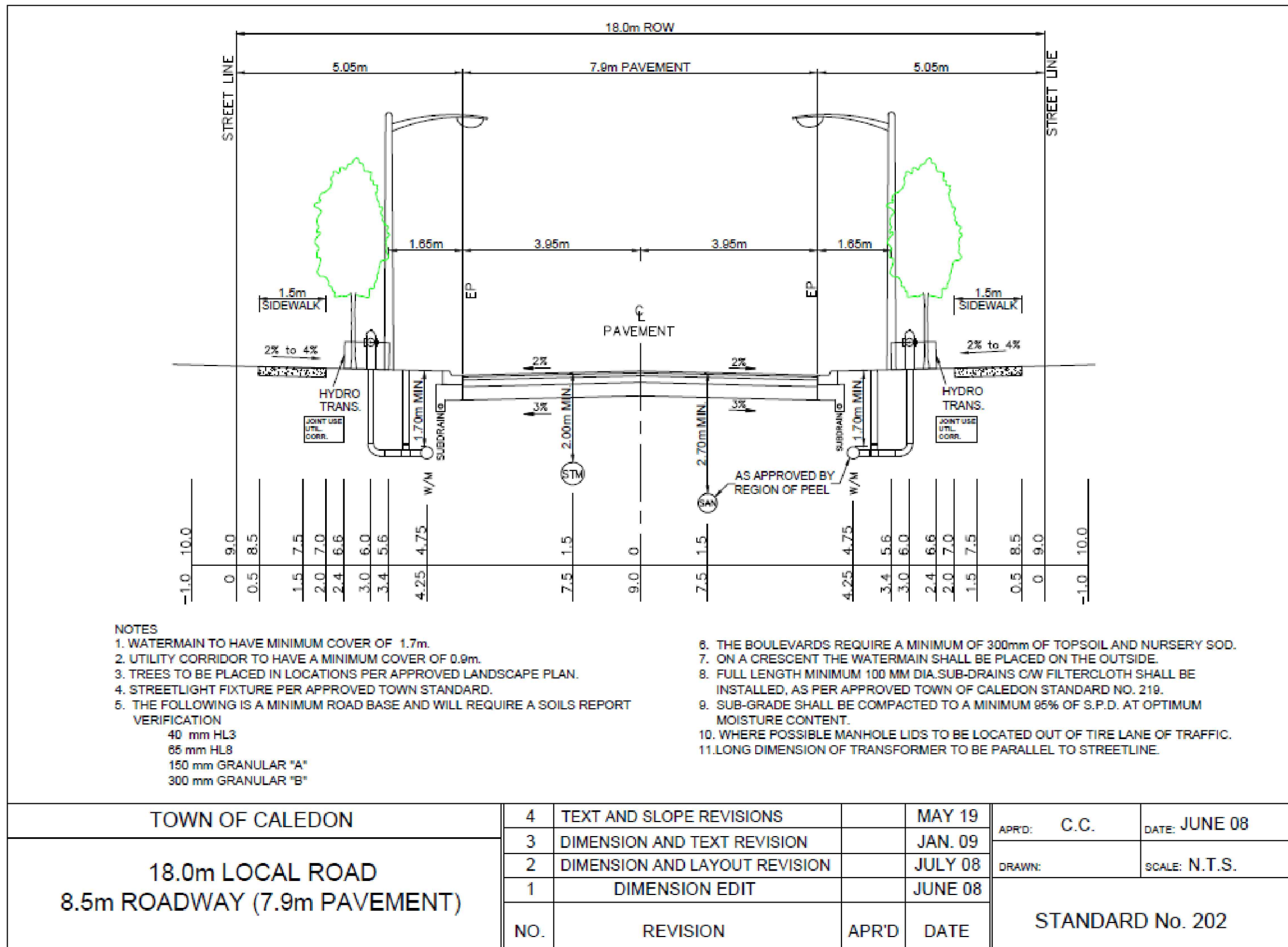
- NOTES:
1. NONWOVEN GEOTEXTILE TO HAVE A HORIZONTAL OVERLAP OF 1000mm AT JOINTS.
 2. END RUNS SHALL BE TURNED UPSTREAM AT 30°.
 3. STRAW BALES TO BE PLACED CONTINUOUSLY END TO END BETWEEN SEDIMENT CONTROL FENCE.

DOUBLE SEDIMENT CONTROL FENCE WITH STRAW BALES (TYP.)

SCALE: NTS

3

08



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1	17/JAN/2025	SECOND SUBMISSION	AAF	AAF	RJW
2	26/JAN/2024	DPA APPLICATION	AAF	AAF	RJW

Client: STELLAR HOMES INC.

Project Name: STELLAR ESTATES PHASE 2
MULLOY COURT, TOWN OF CALEDON

Title Name: CONSTRUCTION DETAILS

Drawing N°: 22-3001-09	Sheet N°: 9 OF 9	Rev. N°: 1
Scale: AS NOTED		