

\_\_\_\_\_

Proposed

Planting Area

Reference Key

Property Line

inhibit germination.

**Existing Coniferous** 

Tree Canopy

Tree Protection

Zone (TPZ)

Tree Protection

Fencing

not too deep to germinate

Proposed Coniferous Tree **Proposed Plant Material List** 

ACB 3 Amelancier canadensis 'Ballerina'

CONIFEROUS TREES

PGL | 16 | Picea glauca

PSB 11 Pinus strobus

Plant Material Reference Key

Prop. 1.8m HT Wood

Chain Link Fence

Prop. 1.5mHT

## HT/CAL SPREAD ROOT DROUGHT NATIVE REMARKS KEY QNTY BOTANICAL NAME COMMON NAME **DECIDUOUS TREES** ASC 3 Acer saccharum Sugar Maple 70 mm High Yes Full Form AXF 5 Acer x freemanii 'Jeffersred 70 mm Yes Yes Full Form Jeffersred Freeman Maple B.&B. High Yes Full Form 17 Gleditsia triacanthos 'Skyline Skyline Honey-Locust 70 mm QRB 3 Quercus rubra 70 mm Red Oak Med. Yes Full Form TCO 11 Tilia cordata 'Greenspire' 70 mm B.&B. High No Full Form Greenspire Linden SPECIMENS

Ballerina Serviceberry

White Spruce

White Pine

200 cm

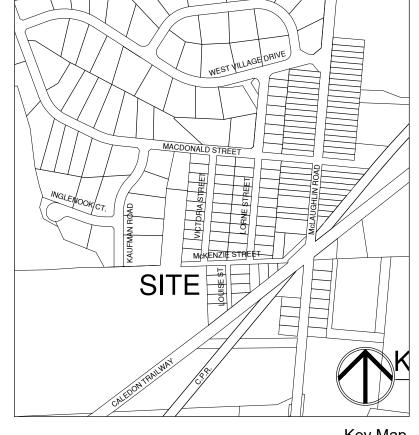
200 cm

200 cm

B.&B. Yes Yes Multi Stem

B.&B. High Yes Full Form

B.&B. High Yes Full Form





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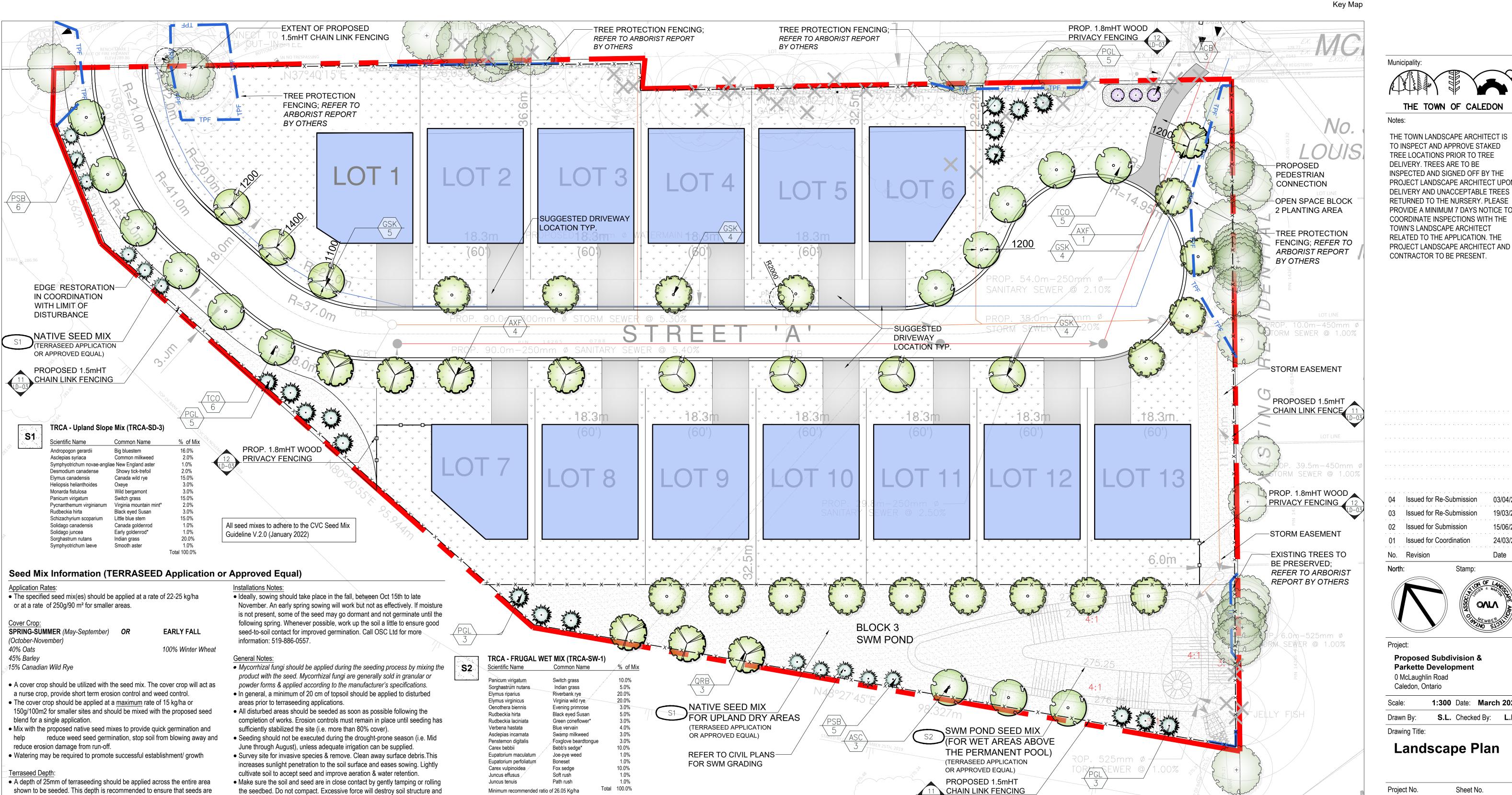
Architect:

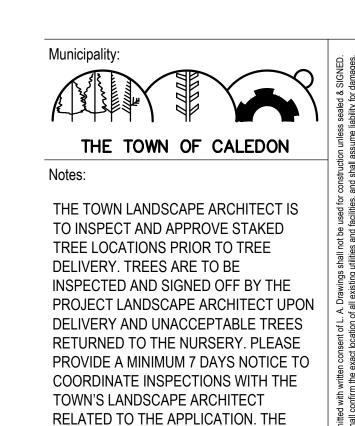
CONSULTING ENGINEERS AND PLANNERS

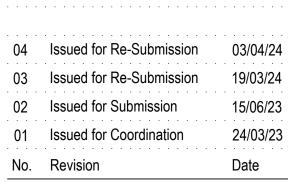
FAX (905) 794-0611

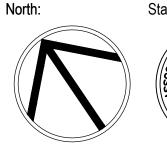
TEL. (905) 794-0600

Client/Owner:











Project:

**Proposed Subdivision & Parkette Development** 0 McLaughlin Road

**1:300** Date: **March 2023** S.L. Checked By: L.M. Drawn By:

Drawing Title:

Caledon, Ontario

Landscape Plan

L1-01

MARTON SMITH LANDSCAPE ARCHITECTS

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Architect:

TEL. (905) 794-0600 FAX (905) 794-0611

Client/Owner:



Legend

Proposed Deciduous Tree

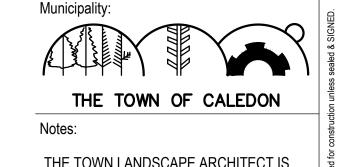
Coniferous Tree

Property Line

Prop. Sodded

Proposed

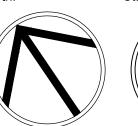
Planting Area



THE TOWN LANDSCAPE ARCHITECT IS TO INSPECT AND APPROVE STAKED TREE LOCATIONS PRIOR TO TREE DELIVERY. TREES ARE TO BE INSPECTED AND SIGNED OFF BY THE PROJECT LANDSCAPE ARCHITECT UPON DELIVERY AND UNACCEPTABLE TREES RETURNED TO THE NURSERY. PLEASE PROVIDE A MINIMUM 7 DAYS NOTICE TO COORDINATE INSPECTIONS WITH THE TOWN'S LANDSCAPE ARCHITECT RELATED TO THE APPLICATION. THE PROJECT LANDSCAPE ARCHITECT AND CONTRACTOR TO BE PRESENT.

04 Issued for Re-Submission 03 Issued for Re-Submission 02 Issued for Submission

01 Issued for Coordination No. Revision



15/06/23

Project:

Proposed Subdivision & Parkette Development 0 McLaughlin Road Caledon, Ontario

1:300 Date: March 2023

S.L. Checked By: L.M. Drawn By: Drawing Title:

**Soil Volume** Plan

Project No. 23113 L1-02

# GENERAL NOTES - LANDSCAPING

DEPICTED ON THIS PLAN ARE THE SPECIES AND THE APPROXIMATE LOCATION OF STREET TREE. ONCE DRIVEWAYS, UTILITIES AND LIGHT STANDARDS HAVE BEEN INSTALLED, THE EXACT LOCATION OF STREET TREES WILL BE DETERMINED ON SITE BY THE LANDSCAPE CONSULTANT AND APPROVED BY THE MUNICIPALITY

MINIMUM CLEARANCES FOR STREET TREES (WHEN TREES ARE PLANTED 1.5M FROM THE CURB):

- 2M FROM WATER HYDRANTS
- 2M FROM NEIGHBOURHOOD MAILBOXES
- 3M FROM HYDRO TRANSFORMERS
- 15M MINIMUM FROM STREET LINE (STREET INTERSECTION AS MEASURED FROM BACK OF CURB) AND BEHIND THE DAYLIGHT TRIANGLE AS
- PER THE GEOMETRIC DESIGN STANDARDS FOR ONTARIO HIGHWAYS 18M FROM FACE OF ALL WARNING AND REGULATORY SIGNS

THE TREE PITS AND PLANTING BEDS FOR ALL TREES AND SHRUBS LOCATED WITHIN 1 METRE OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.

GENERAL LANDSCAPING NOTES	1 NO.	STANDARD No. 130 NOW 103  REVISION	APR'D	JUNE 08	STANDARD No. 700		
	2	TEXT REVISION, STD103 NOW 700		(1.145/24 St. 24 (2.05)	drawn: BJM	scale: NTS	
TOWN OF CALEDON				3	APR'D:	C.C.	DATE: APRIL 200

SCALE: N.T.S.

SPECIFICATIONS continued from previous panel

# C. BED PREPARATION

i) The Contractor shall scarify the sides and bottom of excavated tree pits and shrub beds prior to backfilling. in areas with heavy clay soils, tree and planting beds shall be backfilled to the specified

# 2 Parts "triple mix," delivered to the site, to be well-

mixed with . 1 Part local topsoil (viz., subdivision topsoil that has been removed and stockpiled.) If topsoil is unavailable, topsoil with clay content shall be

imported and mixed with triple mix.

ii) Tree pits shall be constructed with saucers and mulch as detailed.

# D. PRELIMINARY ACCEPTANCE

i) When landscaping is completed, the Consulting Landscape Architect shall submit a Certificate of Completion for preliminary acceptance to the Town of Caledon certifying that all landscape works have been 100% completed in accordance with the approved

ii) The Consulting Landscape Architect shall prepare a Summary Chart, indicating the plant species, quantity, location, planting date(s), and any other relevant information, as requested by the Municipality.

iii) Upon receipt of the Certificate of Completion, Town Staff will conduct a preliminary inspection of the site and, provided that the works are in satisfactory condition, will grant preliminary acceptance of the landscaping.

# E. INTERIM ACCEPTANCE

- i) One year after Preliminary Acceptance is granted by the Town, the Consulting Landscape Architect shall submit a Certificate of Completion for Interim Acceptance to the Town of Caledon certifying that all maintenance requirements as outlined in Section I and in accordance with the approved plans have been
- ii) The Consulting Landscape Architect shall update the Summary Chart, indicating any modifications to approved substitutions, maintenance information, and any other relevant information as requested by the Municipality.
- iii) Upon the receipt of the Certification of Completion, Town Staff will conduct an interim inspection of the site and, provided the works are in satisfactory condition, will grant Interim Acceptance of the landscaping.

# F. GUARANTEE

i) All streetscape landscaping shall carry a guarantee/maintenance of **TWO** (2) years, commencing from the date that written preliminary acceptance is granted by the Town of Caledon. In each of the next two years, the Consulting Landscape Architect shall conduct an inspection and prepare a report, recommending the replacements and/or works needed to achieve the intent of the approved landscape plan. All replacements shall be recorded in the inspection Summary Chart. The Consulting Landscape Architect shall file a copy of the report and/or Summary Chart with the Municipality.

specifications continue on next panel . .

TOWN OF CALEDON					APR'D:	C.C.	DATE: JUNE 08
STREETSCAPE SPECIFICATIONS	2	STANDARD No. 713 NOW 702	2	JAN 18	DRAWN:	abal	scale: NTS
STANDARD NOTES	1	STANDARD No. 1170.02 NOW 713		JUNE 08			•
PART 2	NO.	REVISION	APR'D	DATE	s	D No. 702	

**SPECIFICATIONS** 

i) These Specifications are to be read in conjunction with the General Conditions of the contract, as prepared by and available at the offices

## ii) Prior to commencing work, the Contractor shall: 1. Become familiar with the plans, details, and

- specifications of this project, 2. Visit the site to ascertain and take account of existing conditions and any deviations from the
- plans in work by others, and 3. Finalize all design alternatives in consultation with the Landscape Architect.
- iii) Prior to excavating, the Contractor shall verify the location of all underground utilities. In the event of a conflict between a proposed tree location and an underground service, the exact location of the tree shall be determined on site by the landscape architect and/or the Town's representative.
- iv) The Contractor shall, at his or her own expense, repair any damage to existing utilities, structures, facilities, etc. done in the performance of
- v) All site work shall conform to the Canadian National Master Construction Specifications, a copy of which can be obtained from Construction Specifications Canada, 100 Lombard St., Suite 200, Toronto, Ontario M5C 1M3; Tel. (416) 777-2198; Fax (416) 777-2197. It is the responsibility of the Contractor to be thoroughly familiar with these specifications and their implications for this project.

## B. PLANT MATERIAL

- i) All plants shall be installed true to specified names, sizes, grades, etc., and shall conform to the standards of the Canadian Nursery Landscapes Association.
- ii) All plants shall be nursery grown in a hardiness zone appropriate to site conditions, as published by Agriculture Canada, titled 'Map of Plant Hardiness Zones in Canada'.
- iii) In the event of a discrepancy in plant quantity between the Planting Plan and the Plant List, the Planting Plan shall govern.
- iv) The Contractor shall make plants available for inspection by the Landscape Architect and/or the Town's representative prior to shipping to the site. This does not limit the right of the Landscape Architect and/or the Town's representative to later reject plant material that is of poor quality, damaged during shipping or installation, performing poorly while the guarantee period is still in effect, or otherwise does not conform to the specifications.
- v) Plant substitutions must be approved in writing by the Town and the Landscape Architect prior to delivery of the material to the site. All substitutions shall be recorded on the as-recorded drawings and planting chart.
- vi) The Contractor shall use standard industry methods for planting trees and shrubs. Trees shall be turned to give the best appearance; they shall also be guyed or staked immediately after planting and as detailed on the drawings.

end of specifications

any additional requirements and submission items.

Refer to the most recent version of the Development standards for

specifications continued on next panel

TOWN OF CALEDON  STREETSCAPE SPECIFICATIONS  STANDARD NOTES  PART 1					4.00.00	C.C.	DATE: JUNE 08	
	3	STANDARD No. 712 NOW 701		JUNE 08	APR'D:	0.0.	DATE: JUINE 00	
	2	STANDARD No. 1170.01 NOW 712		JUNE 08	DRAWN:	abal	SCALE: NTS	
	1	CHANGES TO NOTES VI & VII.		MARCH 08				
	NO.	REVISION	APR'D	DATE	S	D No. 701		

SCALE: N.T.S.

SPECIFICATIONS continued from previous panel

ii) Replacement plant material and repaired work shall be

- i) At the end of the guarantee period, the Contractor shall remove all tree stakes, and bark wrap, and shall add extra mulch where
- ii) When these final tasks have been completed, the Consulting in the Development Standards. All landscape work will then be completed in accordance with the approved landscape plans, will issue a Certificate of Assumption and release any outstanding

TOWN OF CALEDON					APR'D:	C.C.	DATE: JUNE 08
STREETSCAPE SPECIFICATIONS STANDARD NOTES PART 3	2	STANDARD No. 714 NOW 703 STANDARD No. 1170.03 NOW 714		JAN 18 JUNE 08	DRAWN:	abal	SCALE: NTS
	NO.	REVISION	APR'D	DATE	s	RD No. 703	

I. Additional Notes:

guaranteed for a minimum TWO (2) years from the date of replacement, and will not be granted final acceptance until the guarantee has expired or as otherwise determined by Town

# G. MAINTENANCE

i) The maintenance of all landscape installations throughout the guarantee period shall include but not limited to the following:

1) proper irrigation to ensure optimum growth of trees and shrubs, 2) cultivation and weeding of tree pits and planting beds, 3) insect and disease control, and 4) pruning and fertilizing, as required or as directed by the Municipality or Consulting Landscape Architect. 5) replace all dead plant materials as identified by the Municipality.

# H. CERTIFICATE OF ASSUMPTION

- necessary. And/Or additional items as directed by the Municipality.
- Landscape Architect will provide the Town with all items as outlined inspected by the Municipality and, if satisfied that all work has been

				APR'D:	C.C.	DATE: JUNE 08
2	STANDARD No. 714 NOW 703		JAN 18	DRAWN:	abal	scale: NTS
1	STANDARD No. 1170.03 NOW 714		JUNE 08			-
NO.	REVISION	APR'D	DATE	STANDARD No. 703		

SCALE: N.T.S.



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THE TOWN OF CALEDON

04 Issued for Re-Submission 03/04/24 03 Issued for Re-Submission 08/03/24 02 Issued for Submission 15/06/23 24/03/23 01 Issued for Coordination

No. Revision



Date

Project:

**Proposed Subdivision &** Parkette Development 15544 McLaughlin Road Caledon, Ontario

Scale: As Shown Date: March 2023

Drawn By: S.L. Checked By: L.M. Drawing Title:

Landscape **Details** 

Project No.

SCALE: N.T.S.

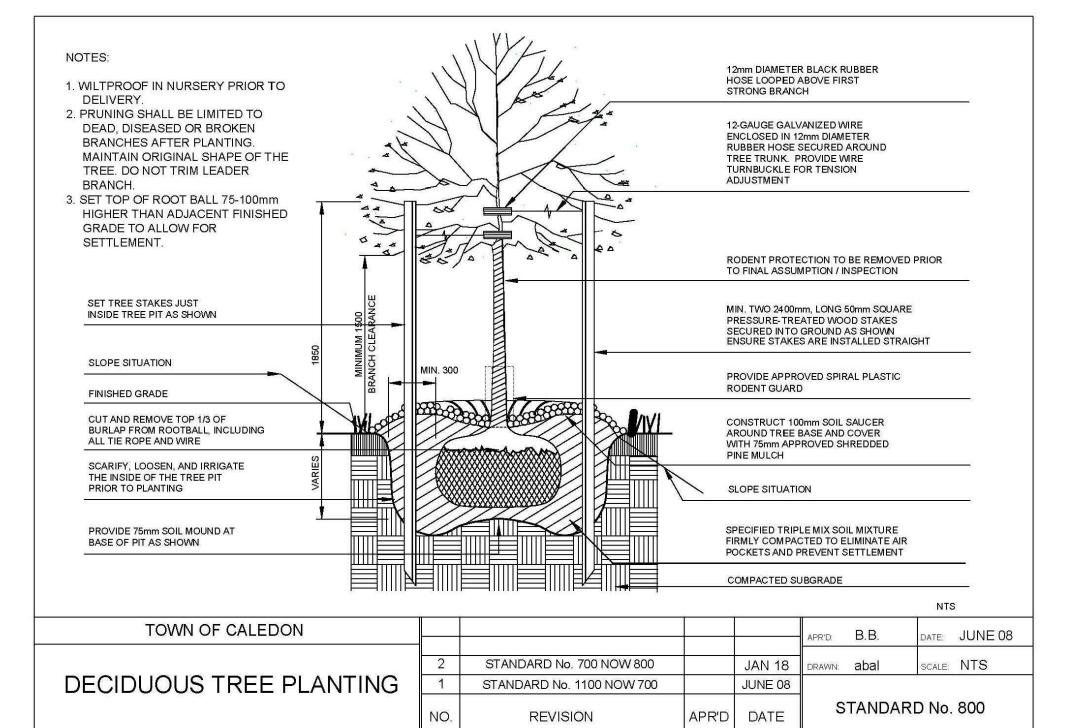
SCALE: N.T.S.

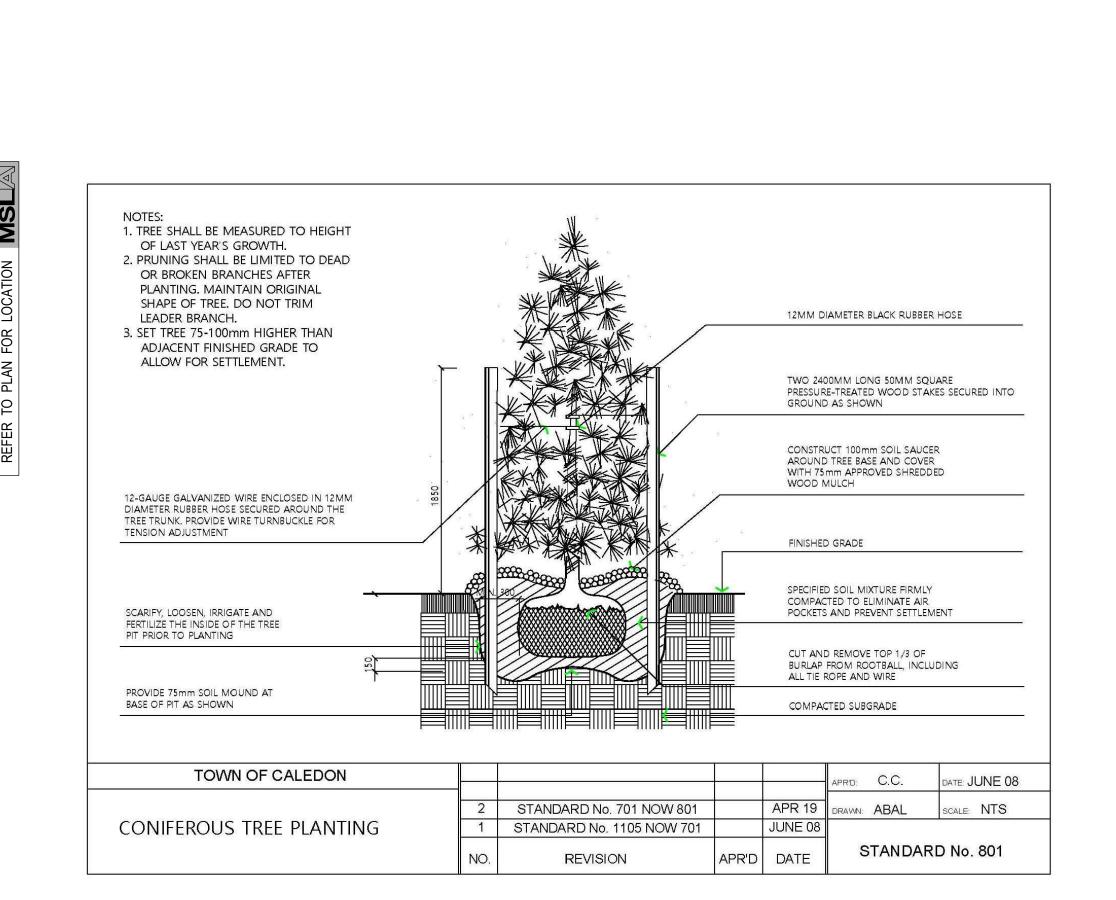
- THE CONTRACTOR SHALL REVIEW ALL INFORMATION IN THE DRAWINGS, DETAILS AND SPECIFICATIONS FOR THIS PROJECT, AND REPORT ANY DISCREPANCY OR SUBSTITUTION TO THE CONTRACT ADMINISTRATOR IN WRITING PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANTING MATERIAL AND OPERATIONS TO MEET OR EXCEED THE HORTICULTURAL STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION AND LANDSCAPE ONTARIO. ALL PLANT MATERIAL TO BE No. 1 GRADE NURSERY STOCK. THE TOWN OF CALEDON RETAINS THE RIGHT TO REFUSE ANY UNSATISFACTORY
- SOD TO BE CANADA No.1 NURSERY SOD, MEETING THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO STANDARDS. ALL AREAS TO RECEIVE A MINIMUM 200mm DEPTH OF TOPSOIL AND SOD UNLESS OTHERWISE INDICATED. SEE DRAWINGS AND SPECIFICATIONS FOR AREAS TO BE MULCHED OR HYDROSEEDED.
- 4. CONIFEROUS TREES SHALL HAVE A STRAIGHT CENTRAL LEADER AND DENSELY BRANCHED WITHIN 300mm OF THE TOP OF ROOT BALL AND THE FIRST WURL (NOT LEADER HEIGHT). REFER TO STANDARD No. 801.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO SERVICES, EXISTING VEGETATION, OR ANY OTHER
- 6. THE CONTRACTOR SHALL STAKE OUT ALL PLANTING LOCATIONS FOR APPROVAL BY THE CONTRACT ADMINISTRATOR, AND/OR TOWN STAFF PRIOR TO PLANTING.
- 7. FOR ALL LANDSCAPE PLANS, ALL DIMENSIONS ARE TO BE SHOWN IN MILLIMETRES UNLESS OTHERWISE INDICATED.
- 8. ALL MASS PLANTINGS OF CONIFERS AND SHRUBS SHALL BE IN CONTINUOUS BEDS AND MULCHED WITH SHREDDED MULCH.
- 9. SCHEDULE AND PERFORM OPERATIONS FOR OPTIMUM PLANTING CONDITIONS, AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE HEALTHY, VIGOROUS
- 10. ALL PLANT MATERIAL AND WORKMANSHIP WILL BE INSPECTED AND IS UNDER WARRANTY FOR A MINIMUM OF TWO YEARS FROM THE DATE OF WRITTEN ACCEPTANCE. ALL PLANT MATERIAL MUST BE IN HEALTHY, VIGOROUS GROWING CONDITION SATISFACTORY TO THE CONTRACT ADMINISTRATOR AND TOWN AT THE END OF THE WARRANTY PERIOD, OR TO BE REPLACED AT THE CONTRACTORS EXPENSE.
- 11. WATER AT THE TIME OF PLANTING AND WHENEVER DEEMED NECESSARY TO MAINTAIN THE PLANT MATERIAL IN A HEALTHY CONDITION.
- 12. INSTALLATION OF PLANT MATERIAL PRIOR TO THE INSPECTION BY THE TOWN OF CALEDON WILL BE THE CONTRACTOR'S RESPONSIBILITY. THE TOWN RESERVES THE RIGHT TO REJECT ANY PLANTS, WHETHER INSTALLED OR NOT, WHICH DO NOT CONFORM TO THE SPECIFICATIONS AND/OR SITE DRAWING(S). REMOVE ALL REJECTED PLANTS FROM THE SITE IMMEDIATELY. DO NOT REMOVE ANY LABELS FROM PLANTS UNTIL THE PLANTS HAVE BEEN INSPECTED AND APPROVED BY THE TOWN LANDSCAPE ARCHITECT.
- 13. ALL PLANT MATERIAL WHICH CANNOT BE PLANTED IMMEDIATELY UPON ARRIVAL ON SITE SHALL BE PROPERLY HEELED IN OR WELL PROTECTED WITH SOIL OR SIMILAR MATERIALS TO PREVENT DRYING OUT, AND SHALL BE KEPT MOIST UNTIL COMMENCEMENT OF PLANTING.
- 14. ALL NEW WORK TO BLEND NEATLY AND SMOOTHLY WITH EXISTING CONDITIONS.
- 15. NO GRADING OR SODDING SHALL BE DONE WITHIN THE LIMIT OF PRESERVATION AREAS.
- 16. IN THE EVENT OF A DISCREPANCY BETWEEN A PLANT LIST AND DRAWING, THE DRAWING WILL BE ASSUMED TO BE CORRECT.

TOWN OF CALEDON					APR'D:	B.B	DATE:	JAN 18
GENERAL PARK					DRAWN:	H.L	SCALE:	NTS
PLANTING NOTES	NO	DEVISION	APPID	DATE	s	TANDA	RD No.	708

REVISION

APR'D DATE





Minimum soil depth of 300mm of clean topsoil. Kentucky Bluegrass, Certified No. 1 grade turf grass nursery sod, as per the Ontario Sod Growers Association of Ontario. EXTEND SOD BEYOND TOP OF SLOPE. COUNTER SINK LAST ROW OF SOD TO - EDGE OF SOD MATCH ADJACENT GRADES. JOINTS TO BE STAGGERED -WOOD STAKE 19 x 19 x 300mm STAKE TO BE DRIVEN -FLUSH (BUT NOT DEEPER) SOD ALL AREAS OF INTENSIVE USE, GRASS SWALES, AND PATCHWORK IN ESTABLISHED TURF.
 EXTEND SOD 1m OUT FROM EDGE OF TRAILS. ON SLOPES OF 3:1, BOTTOM 3 ROWS AND **EVERY 3RD ROW SHALL** 3. EXTEND SOD 5m OUT FROM CENTER LINE IN GRASS SWALES. BE PEGGED TOWN OF CALEDON TE: AUGUST 17 avn: B.M. CALE: N.T.S. SOD INSTALLATION DETAIL STANDARD No. 709 APR'D DATE REVISION

**SPECIFICATIONS** 

MARTON SMITH LANDSCAPE ARCHITECTS

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THE TOWN OF CALEDON

Architect:

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Client/Owner:

04 Issued for Re-Submission 03 Issued for Re-Submission 02 Issued for Submission

Issued for Coordination

No. Revision North:

03/04/24

08/03/24

15/06/23

24/03/23

Date

Project: Proposed Subdivision & Parkette Development 15544 McLaughlin Road

Scale: As Shown Date: March 2023

**S.L.** Checked By: **L.M.** Drawn By:

Drawing Title:

Caledon, Ontario

Landscape **Details** 

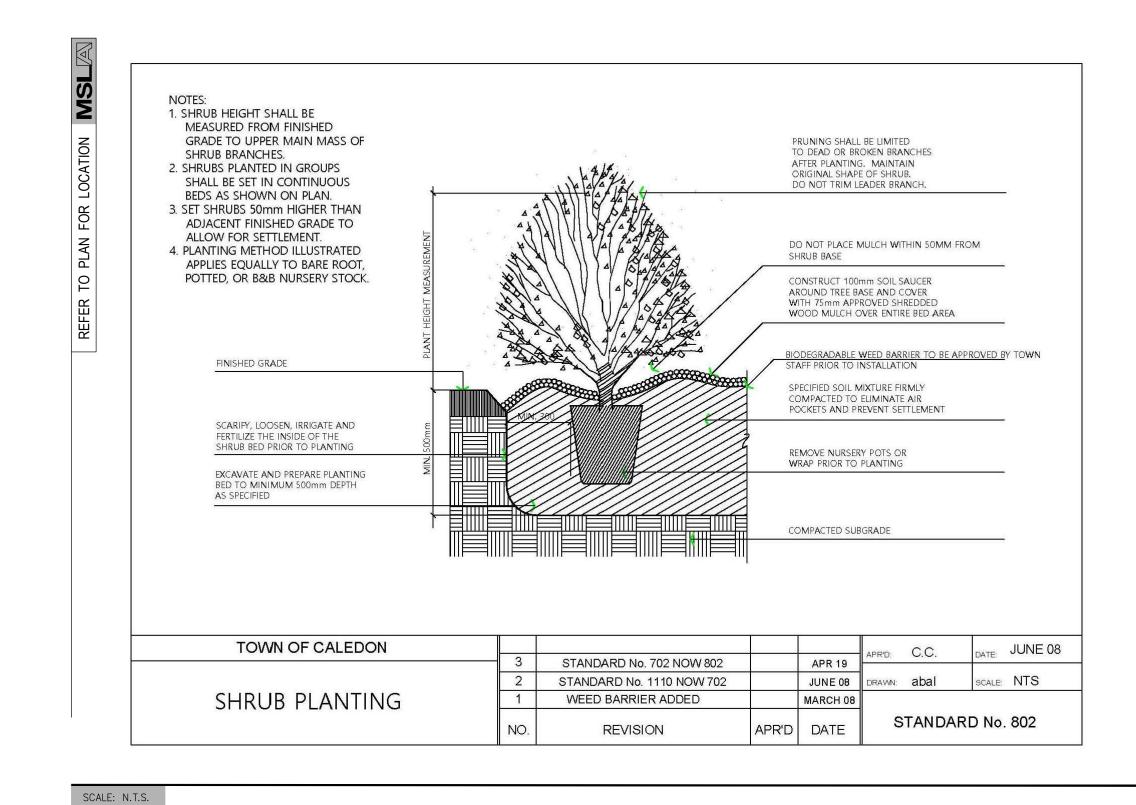
Project No.

SCALE: N.T.S.

SCALE: N.T.S.

**LD-02** 

SCALE: N.T.S.



KNUCKLED TOP EDGE

1.5"(38mm) BLACK VINYL COATED

STANDARD No. 900 NOW 600

PIPE WEIGHT

**BOTTOM BRACE** 

REVISION

WIRE MESH #9 GAUGE (3.6mm)

AND THE RESIDENCE OF THE PARTY OF THE PARTY

∠ 60mm o.d. LINE POST

42.9mm o.d. BRACE, CONTINUOUS -

1. ALL POST AND RAILS SHALL BE GALVANIZED

2. ALL REQUIRED FITTINGS AND HARDWARE

SHALL BE OF ALUMINUM ALLOY WITH

ELECTROSTATIC POWDER-COATED

2.6m, LENGTH OF LINE POSTS 2.5m.

DIRECTIONS.

JUNE 08

CC NOV. 06

CC JULY 03

APR'D DATE

BLACK POLYETHYLENE COATING.

STEEL PIPE SCHEDULE 40 WEIGHT, WITH A

POLYESTER AND A BLACK BAKED-ON FINISH.

3. LENGTH OF CORNER AND STRAINING POSTS

89mm O.D. INTERMEDIATE STRAINING POST

FENCING TO BE KNUCKLED OVER SUCH THAT NO SHARP PROJECTIONS ARE VISIBLE OVER

6. FOR GATE DETAIL SEE TOWN STANDARD 601. 7. ALL POST AND MESH TO LIE ON PRIVATE

8. NO ABOVE GROUND FENCE ELEMENTS SHALL INTRUDE ONTO PUBLIC PROPERTY,

C.C.

STANDARD No. 600

MN: BJM

DATE: JAN 00

CALE: N.T.S.

4. RUNS MORE THAN 150m ARE TO HAVE AN

WITH A 42.9mm O.D. BRACES IN BOTH

5. THE BARBED TOPS AND BOTTOM OF ALL

THE TOP AND BOTTOM PIPE RAIL.

INCLUDING THE ROAD RESERVE.

FASTENERS 450mm O.C.

SLOPE TO DRAIN CROSSFALL OR CROWN AT 1% 75mm HL3A (SEE NOTE 6 FOR BASKETBALL COURT SPECIFICATIONS) EDGE AT 45° ANGLE, WELL TAMPED, UNIFORM SMOOTH, CLEAN EDGE OPTIONAL: TERRAFIX 270R GEOTEXTILE FABRIC IN WET AREAS - 150mm TOPSOIL - 250mm GRANULAR 'A' COMPACTED TO 95% S.P.D. - SUBGRADE COMPACTED TO 95% S.P.D. NOTES: 1. EXCAVATE TO 325mm MINIMUM DEPTH, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNSUITABLE SUBGRADE MATERIAL SUCH AS TOPSOIL. REMOVE ALL EXCAVATED MATERIAL AND DISPOSE OF OFF SITE. 2. ALL DIMENSIONS IN MILLIMETRES. 3. ASPHALT AND GRANULAR BASE AMOUNT SPECIFICATIONS ARE MINIMUM AFTER COMPACTION. 4. SLOPE SUBGRADE PARALLEL TO FINISHED GRADE (MIN. 2% SLOPE). 5. WIDTH OF PATH TO BE IDENTIFIED ON LANDSCAPE PLANS. 6. THE BASKETBALL COURT ASPHALT SHALL BE INSTALLED IN TWO LIFTS WITH: -50mm HL8 BASE COAT AND -MINIMUM 30mm HL3A TOP COAT TOWN OF CALEDON C.C. TE: JUNE 08 AWN: B.B. TEXT UPDATE SCALE: N.T.S. AUG 19 STD 224 NOW STD 901 APR 19 ASPHALT PAVING WALKWAY DETAIL OR MULTI-USE COURT STANDARD No. 901 APR'D DATE REVISION

SCALE: N.T.S.

SCALE: N.T.S.

STREET SIDE 1. POSTS: 100mm x 150mm x 3000mm LONG, ROUGH CUT SPF PRESSURE TREATED TIMBER. STRINGERS: 2 - 50mm x 150mm x 2400mm LONG S4S SPF PRESSURE TREATED STRINGERS, FASTENED WITH 2 - 75mm #10 ZINC SCREWS PER CONNECTION. MOUNT PRIVATE SIDE STRINGERS FACING PUBLIC PROPERTY WHERE FENCE TERMINATES, ANGLE CUT STRINGER END AT 45 DEGREES. TRIM: 2 - 25mm x 150mm x 2250mm LONG, S4S SPF TRIM FASTENED WITH 2 - 63mm #8 ZINC SCREWS PER CONNECTION SPACED AT 600mm. 4. FENCE BOARDS: 25mm x 150mm x 1700mm LONG S4S SPF FENCE BOARDS FASTENED WITH 2 - 50mm LONG GALVANIZED STAPLES PER CONNECTION. TYPE HS, 30 MPa CONCRETE, SLOPE TOP TO DRAIN - 25mm DIA, WASHED ROCK

 FINISH: A CLEAR - UV PROTECTING STAIN (APPROVED BY TOWN), WILL BE REQUIRED AFTER INSTALLATION OF WOOD HARDWARE: ALL HARDWARE TO BE GALVANIZED, UNLESS OTHERWISE NOTED. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE CROSS BRACE ON 8. CROSS BRACE 2"X4" TO BE INSTALLED ON PRIVATE SIDE

E: MAY 19 SCALE: N.T.S. WOOD SCREEN DRAWING & TEXT REVISIONS FENCE DETAIL STANDARD No. 605 APR'D DATE REVISION

Project:

Proposed Subdivision & Parkette Development 15544 McLaughlin Road Caledon, Ontario

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MARTON SMITH LANDSCAPE ARCHITECTS

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THE TOWN OF CALEDON

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Client/Owner:

Notes:

S.L. Checked By: L.M. Drawn By:

Landscape **Details** 

Drawing Title:

Project No.

LD-03

TOWN OF CALEDON

SCALE: N.T.S.

BRACE PANEL

42.9mm PIPE RAIL

5X19mm MINIMUM

STEEL STRETCHER BAR

42.9mm o.d. BRACE

TENSION BAR BANDS 300mm >

∠ KNUCKLED

BOTTOM EDGE

89mm o.d. END OR CORNER POST

└── 20 MPa. (2500 psi) CONCRETE FOOTING

TOWN OF CALEDON

CHAIN LINK FENCE