



**AGNES STREET
DEVELOPMENT**

**14 AGNES STREET
ALTON, ONTARIO**

**URBAN DESIGN & CULTURAL
HERITAGE BRIEF**

DATE: MARCH 2023

REVISED: AUGUST 2023

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1.0 INTRODUCTION

ATA Architects Inc. (“ATA”) was retained by The Alton Development Inc. to undertake an Urban Design and Cultural Heritage Brief (“UBCHB”) of 14 Agnes Street, located within the community of Alton in the Municipality of Caledon, Ontario. It is hereinafter referred to as the “subject site.”

This Urban Design and Cultural Heritage Brief is related to the proposed design for the construction of a low-density residential infill development located at 14 Agnes Street, south of Queen Street West and east of Main Street in Alton, Town of Caledon. The proposed community is located on a 4.04-hectare site, including 67 residential units, 3,120 sq. m. of public green space and 14 visitor parking spaces.

The Brief supports a Draft Plan of Subdivision and Zoning By-Law Amendment applications and will guide future Draft Plans of Condominium and Site Plan Applications to facilitate the development of the proposed dwellings. This Brief is based on the requirements of the Terms of Reference Urban Design and Cultural Heritage Brief and section 5.1 of the Town of Caledon Comprehensive Town-Wide Design Guidelines [2017] and contains an overview of key design principles inherent to the proposed development.

The Brief is intended to provide an overview of the fundamental design principles that will guide the detailed design of the proposed development to ensure there is a sympathetic approach to the surrounding cultural heritage resources so that the development is compatible with the surrounding neighbourhood and meets the Town of Caledon’s key Official Plan Policies and recommendations.

1.1 PURPOSE

This Urban Design and Cultural Heritage Brief has been prepared for the proposed 67-unit residential infill development in Alton, the Town of Caledon.

The Purpose of this Urban Design and Cultural Heritage Brief is to:

- To provide a **vision and objective** for the overall design concept of the proposed development focusing on urban design elements and local cultural heritage characteristics.
- To assist in **understanding the cultural heritage value** of the site and areas adjacent to the site.
- To provide **site and building-level guidelines** to ensure the development's compatibility and compliance with the heritage and design requirements of the Town's policies and guidelines.
- To provide a **public realm guideline** that focuses on sustainability, uses appropriate and attractive landscaping, including native plantings and reinforces connections to the existing trails and features around the community.

1.2 DESIGN VISION

The proposed infill development at 14 Agnes Street is intended to continue the evolution of Alton Community by introducing a variety of bungalows, one-and-a-half-storey and two-storey townhomes, a more attainable housing typology than the almost exclusively single detached homes currently found in the village. The conceptual design of the subject site is intended to integrate with and build upon the cultural heritage of the surrounding community by maintaining its predominantly ground-oriented built form and adopting the range of architectural styles found in the village's historic core. The conceptual design of the subject site is intended to integrate with the surrounding community, reflecting the rich cultural heritage character of the village of Alton. The new development will need to be executed in such a way as to ensure the protection of the nearby watercourse, Shaw's Creek.

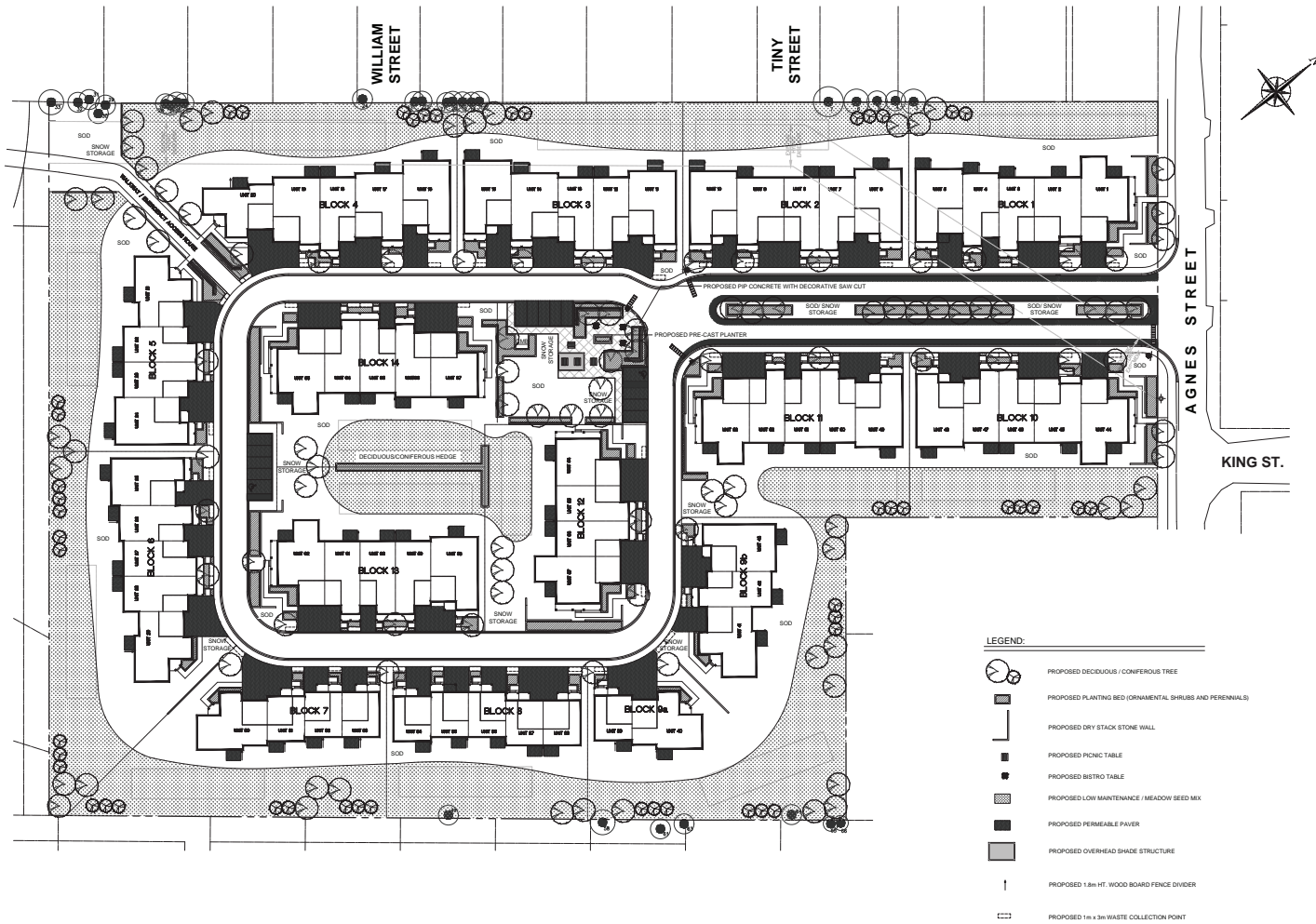
1.3 OBJECTIVE

The site in Alton is surrounded by existing low-rise residential dwellings built at different times. North of the site are detached residential heritage buildings that are part of the proposed Heritage Conservation District. South of the site is more contemporary homes built between the 1970s and 1980s. More recently, residential dwellings along the west and east side of the site have been built. The surrounding neighbourhood has an established sense of place and a residential context.

The following design principles will be used to guide the Urban Design and Cultural Heritage Brief. They will guide future design direction for the proposed development related to the proposed development:

- Create a sustainable natural and open space system
- Integrate the proposed development with the surrounding neighbourhood
- Encourage a variety of housing forms within the village
- Create an attractive built form environment
- Provide a logical street network
- Establish a variety of parks

1.4 DRAFT CONCEPT PLAN



The following is a draft concept plan of the infill development at Agnes Street.





The development will consist of bungalow, bungalow-with-loft and two storey townhouses, a shared common amenity area and underground stormwater management facility, a walkway connection to Emeline Street, serviced by municipal water and individual on-site sewage systems shared by five or less units.

The development proposes 67 units, 14 visitor parking and an amenity space.

2.0 SITE AND SURROUNDING CONTEXT



Legend

-  Alton's Settlement Area
-  Alton's Heritage Conservation District (Recommended)
-  Listed Heritage Properties
-  Designated Heritage Properties

Aerial Photograph outlining Alton's Settlement Boundary Area and Alton's Proposed Heritage Conservation District
Source: ATA Architects Inc, 2022

2.1 EXISTING SITE CONDITION

THE SITE

The subject site's address is 14 Agnes Street, Alton, Ontario. The subject property is located within the Town of Caledon in the Regional Municipality of Peel. The subject property is Part of the East Half of Lot 22, Concession 4, West of Hurontario Street. It is located within the Settlement Area Boundary of Alton.

The subject site is on the west side of Agnes Street and south of Queen Street. The site is mostly rectangular in shape. Part of the site was severed off and sold, leaving 99-metre frontages along Agnes Street. The subject site measures a total of 40,430.11 sq. metres or 4.04 hectares.

On the property currently are two shed structures, one storey in height. The structures face Agnes Street. Access to the site is off Agnes Street, with a small driveway with front and rear parking. These structures will be demolished to accommodate the proposed development and maintain access off Agnes Street.

The site slopes slightly towards Shaw's Creek, north of Queen Street. The site is mostly open except for occasional trees around the existing buildings. The tree's along the property line and various shrubs patches throughout. The site has an informal trail that provides access to the site and Emeline Street.

2.1 EXISTING SITE CONDITION



Surrounding Context
Source: ATA Architects Inc., 2022

2.1 EXISTING SITE CONDITION



Agnes St, View North towards Queen St. West.
Source: ATA Architects Inc. 2022

SURROUNDING BUILT CONTEXT

The subject site is located South of Shaw's Creek and South of Queen Street, one of the main roads through Alton.

North of the subject site are homes along Queen Street, built around the late 19th century. These are mostly listed (non-designated) or designated properties.

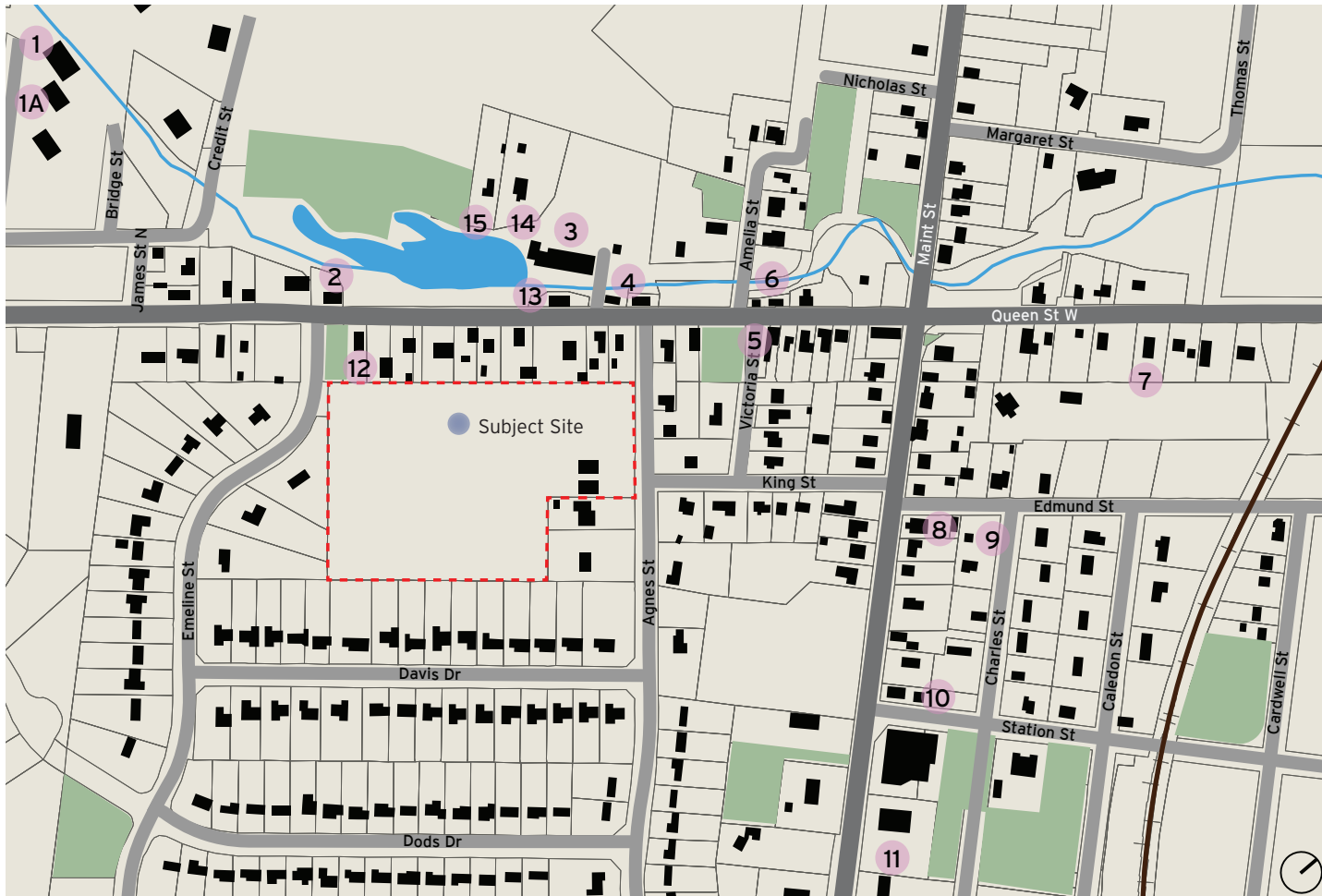
East of the subject site is Main Street, another main road through Alton. It is where most of the institutional and commercial buildings are located. The intersection of Queen Street and Main Street is the main hub of Alton. There are more residential homes, some listed (non-designated) properties.

South and West of the subject site are newer subdivisions of detached homes.

SIGNIFICANT BUILDINGS

Many significant buildings and spaces are connected to the early pioneer settlement of Alton and early industrial heritage, such as the grist and saw mills along Shaw's Creek. The following significant buildings and spaces are located along Queen Street, south of Shaw's Creek and Main Street, south of Queen Street.

2.1 EXISTING SITE CONDITION



Plan of Agnes Street's Surrounding Public Spaces



1. 55 John Street (Millcroft Inn) 1A. Ward-Dodds-Millcroft House



2. 1334 Queen Street W (Algie - Hall House)



3. 1402 Queen Street W (Alton Mill Art Centre)

2.1 EXISTING SITE CONDITION



4. 1422 Queen Street W (Dods-Long House)



7. 1565 Queen Street East (Wright-Didd House)



10. 19695 Main Street (former Alton Baptist Church)



13. 1398 Queen Street W - Science Hall



5. 1459 Queen St W (Alton General Store)



8. 19741 Main Street (former Alton Congregational Church and Town Hall)



11. 19657 Main Street (Alton Schoolhouse)



14. 1386 Queen Street West



6. 1456 Queen St. W (Alton Mechanic's Institute and Library)



9. 42 Charles Street (Fred-Fendley House)



12. 1341 Queen St. W



15. 1380 Queen Street West

2.1 EXISTING SITE CONDITION



Circulation Map of Alton, Caledon.
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION

CIRCULATION (VEHICULAR, PEDESTRIAN, PUBLIC TRANSIT)

Alton is connected through a series of main artery roads, Queen Street running south of Shaw's Creek, going east and west, and Main Street running north and south. New bridges and roads were built with new subdivisions in the late 19th century.

Along the main roads are streetscapes with sidewalks and low curbs for side parking. A network of hiking trails along Shaw's Creek connects the Alton side trail to the Bruce Trail and the Grand Valley Trail.

2.1 EXISTING SITE CONDITION



Vista and Views Map of Alton, Caledon.
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION



1. View of Dam at Alton Mill
Source: ATA Architects Inc. 2022



2. View of Mill Pond.
Source: ATA Architects Inc. 2022

VIEWS AND VISTAS

The Subject Site is largely characterized by being south of Shaw's Creek. Shaw's Creek is an important tributary that feeds into the Credit River. The overall site slopes down towards Shaw's Creek, with the site's high point along the southern Property Line.

Opportunities for views towards the natural area, particularly the natural trails and the Pinnacle, should be available. Due to the proximity of the adjacent residential properties, naturalization and transition/ buffer zones using native planting should be incorporated in the detailed design to provide privacy as well as further enhance the natural ecosystem.

The following are views of the site and the surrounding community.

2.1 EXISTING SITE CONDITION



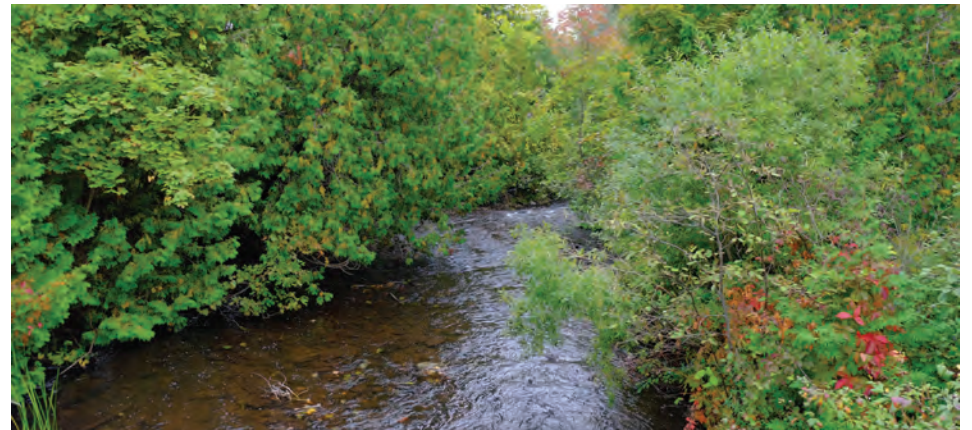
3. View of East on Queen St. W. towards Emeline St.
Source: ATA Architects Inc. 2022



5. View North on Credit St.
Source: ATA Architects Inc. 2022



4. View West on Queen St. W. towards John St.
Source: ATA Architects Inc. 2022



6. View over Shaw's Creek.
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION



7. View North on Agnes St. Towards Queen St W.
Source: ATA Architects Inc. 2022



9. View North at Main Street and Queen Street
Source: ATA Architects Inc. 2022



8. View South on Agnes St.
Source: ATA Architects Inc. 2022



10. View South on Main Street
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION



11. View West on Queen Street West, at Alton Mill.
Source: ATA Architects Inc. 2022



13. View East on Station Street.
Source: ATA Architects Inc. 2022



12. View East on Queen Street West, at Alton Mill.
Source: ATA Architects Inc. 2022



14. View South on Main Street
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION



15. View South on Main Street towards Queen Street
Source: ATA Architects Inc. 2022



17. View towards Agnes Street from Victoria Street
Source: ATA Architects Inc. 2022



16. View North on Main Street
Source: ATA Architects Inc. 2022



18. View towards Main Street from King Street
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION



19. View of the Property Looking towards Emiline Street.
Source: ATA Architects Inc. 2022



20. View West from Agnes Street of the Property
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION



21. View of Property from Emiline Street Looking East.
Source: ATA Architects Inc. 2022



22. View of the Property from the Main Driveway Off Agnes Street.
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION



Legend

- 1 Alton Pinnacle Trail
- 2 Grand Valley Trail
- 3 Bruce Side Trail
- 4 Alton Grange Trails

Diagram of Trails and Surrounding Landscape
Source: ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION



Agnes St, View North towards Queen St. West.
Source: ATA Architects Inc. 2022

SURROUNDING LANDSCAPE

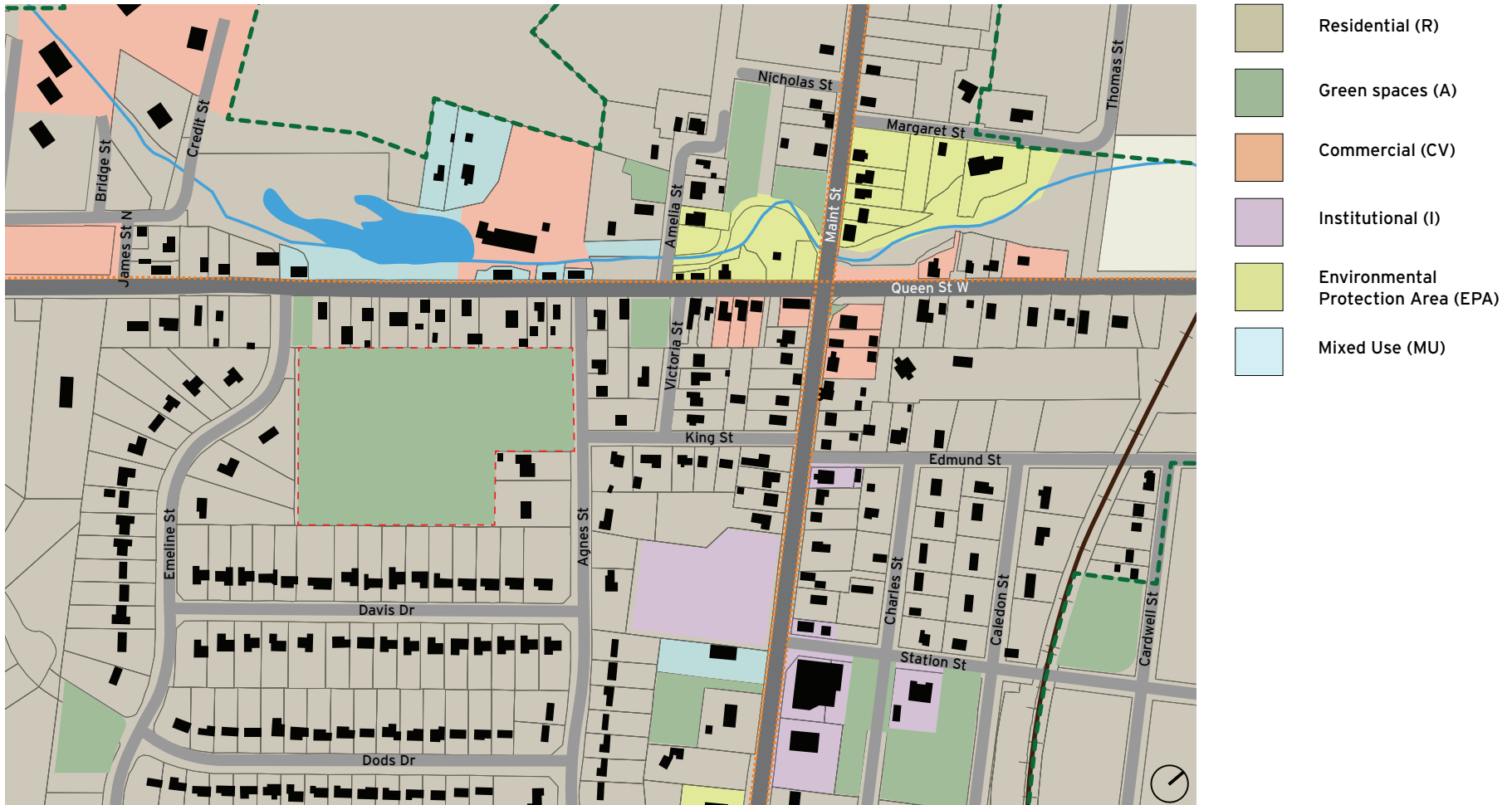
North of the subject site is Shaw's Creek, running east to west through Alton. Shaw's Creek is an important tributary that feeds into the Credit River. Shaw's Creek has fast rapids and changes elevation significantly for 108 feet, which helped contribute to the industrial activities in the late 19th and early 20th centuries. Alton Mill and Mill Pond are directly north of the site, north of Shaw's Creek, surrounded by a natural landscape with mature vegetation. Further north is the Pinnacle, a natural hill that overlooks Alton. Due to the geology, the village was built around these natural features.

Alton Mill, Mill Pond and Pinnacle are connected through several hiking trails. Alton Side Trail joins the Bruce Trail to the Grand Valley Trail in Alton. The trail follows Shaw's Creek, meandering through Alton Mill up to Alton Pinnacle, from which there is a commanding view of the Caledon Hills. From here, it connects to the Grand Valley Trail.

The village square is located at Queen and Victoria Street on the site of the former stone Carriage Works building. The public space has a series of dry stone walls, which incorporate original building elements.

By the original Alton School House is Alton library, surrounded by a public park, soccer field, basketball court and skateboard park.

2.1 EXISTING SITE CONDITION



Zoning Plan of Alton, Caledon.
 Source: Town of Caledon, Zoning Map #82 Diagram by ATA Architects Inc. 2022

2.1 EXISTING SITE CONDITION

LAND USE

Shaw's Creek and Queen Street mostly divided land use throughout Alton. North of Queen Street was where early industrial activities were located. South of Queen were residential, commercial and institutional spaces. By the late 19th century, new residential subdivisions were designed on both sides of the river.

The subject site is currently zoned Rural Residential (RR). Properties surrounding the site are also zoned RR.

At the intersection of Queen and Main Street is the main commercial hub with institutional spaces like the public library, school and churches along Main Street, south of Queen Street.

3.0 POLICY FRAMEWORK



Cover of Region of Peel Official Plan 2022.
Source: Region of Peel, 2022

PEEL OFFICIAL PLAN 2022

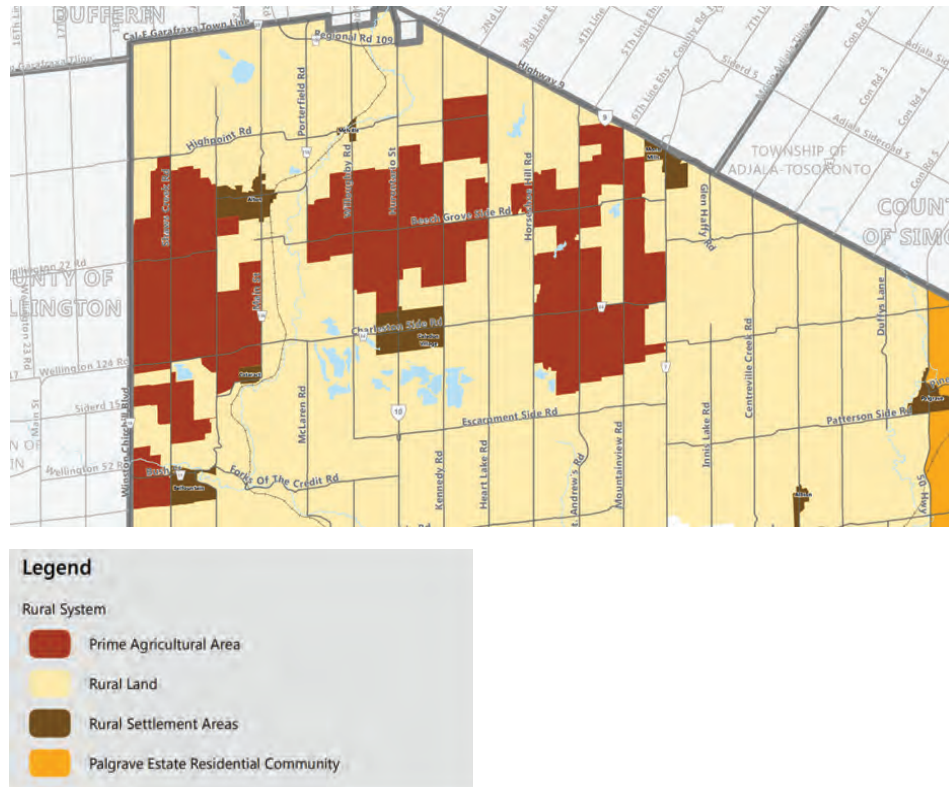
The subject site is designated as a “Rural System within Schedule E-1 - Regional Structures and further identified as a “Rural Settlement Area” within Schedule D-1 Rural System. Rural Settlement Areas are areas located within the Rural System, including villages, hamlets and industrial/commercial centres; Minor Urban Centres designated in the Niagara Escarpment Plan, and Rural Settlements identified in the Oak Ridges Moraine Conservation Plan. (Peel Official Plan 2022 Page 283)

The Greenbelt Plan Area Land Use Designation Schedule B-5 identifies the subject site as a protected countryside and a village. Development and Alteration are required to follow the Greenbelt Plan.

The Official Plan’s objective within Rural System are the following:

- 5.7.1 To promote sustainable development and conserve the environmental and resource attributes of the Rural System.*
- 5.7.2 To maintain and enhance the integrity and distinctive characteristics of existing communities in the Rural System.*
- 5.7.3 To promote healthy and complete rural communities that collectively contain living, working and recreational opportunities and respect the natural environment and resources.*
- 5.7.4 To maintain and enhance the quality of the Rural System while allowing choices in alternative rural lifestyles.*
- 5.7.5 To provide opportunities for economic development that are compatible with the rural character and natural environment of the area and with the other objectives of this plan.*
- 5.7.6 To support and enhance the Agricultural System.*
- 5.7.7 To direct growth in the Rural System to the Palgrave Estate Residential Community and to the Rural Settlement Areas where permitted and appropriate.*

3.0 POLICY FRAMEWORK



Portions of Schedule D-1 Rural System, Region of Peel Official Plan 2022
Source: Region of Peel, 2022

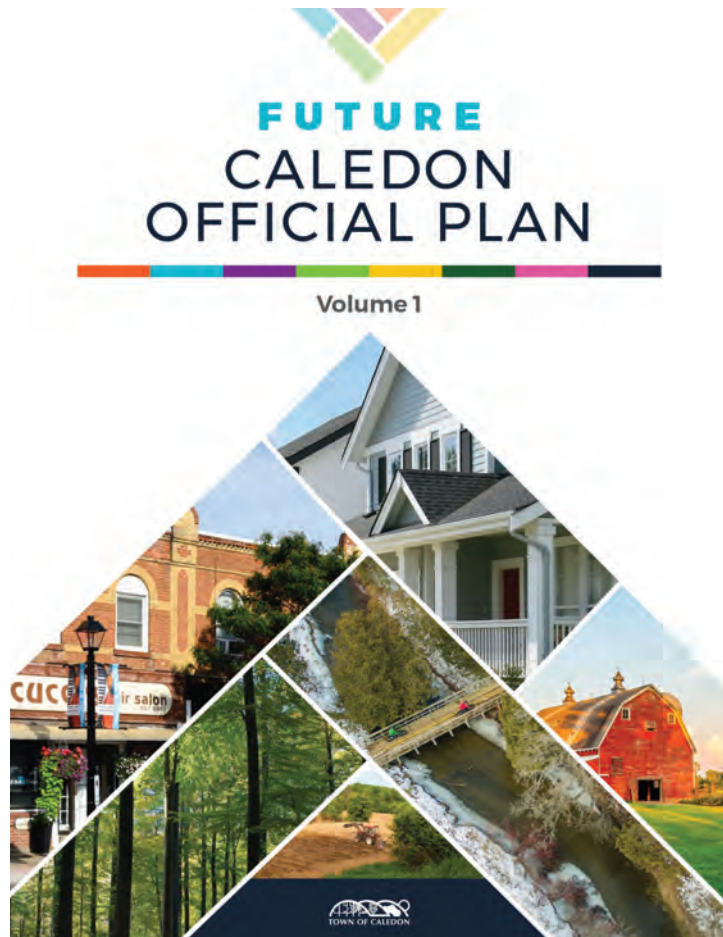
In particular, the following policies apply to the subject site:

5.7.10 Encourage and support planning by Town of Caledon and City of Brampton for a healthy, integrated and viable Rural System by:

1. *Building upon rural character, and leveraging rural amenities and assets;*
2. *Promote regeneration, including rehabilitation of mineral aggregates sites and the redevelopment of brownfield sites;*
3. *Accommodating an appropriate range and mix of housing in Rural Settlement Areas;*
4. *Encouraging the conservation and redevelopment of existing rural housing stock on Rural Lands;*
5. *Using rural infrastructure and public service facilities efficiently;*
6. *Co-locating public service facilities in community hubs within Rural Settlement Areas where appropriate and, where possible, adapting existing public service facilities to meet community needs;*
7. *Promoting diversification of the economic base and employment opportunities through goods and services, including value-added agricultural products and the sustainable management or use of resources;*
8. *Providing opportunities for sustainable and diversified tourism, leveraging historical, cultural and natural assets;*
9. *Conserving biodiversity and considering the ecological benefits provided by nature; and*
10. *Providing opportunities for economic development*

The proposed development is designed to fit in within the Rural System's Policies and Objectives. The proposed development accommodates an appropriate range and mix of housing types within an existing Rural Settlement Area, encouraging the conservation and redevelopment of existing rural housing stock on Rural Lands, conserving biodiversity, and considering the ecological benefits of nature throughout the site. The development should be designed to preserve and protect the watershed through appropriate civil and environmental engineering design.

3.0 POLICY FRAMEWORK



Cover of Town of Caledon Official Plan
Source: Town of Caledon, 2018

TOWN OF CALEDON OFFICIAL PLAN

The Subject Site is designated as a Settlement Area. Development can occur within villages - residential communities generally focused on a historic main street or crossroads. They are smaller than Rural Service Centres and provide a limited range of services to the surrounding community.

The objective of the Settlement Areas is to:

1. *To foster and enhance the distinct community character of settlements in the Town.*
2. *To designate a hierarchy of settlements, where new growth and a range of services will be concentrated.*
3. *To provide for orderly and efficient residential, commercial and industrial growth within settlements.*
4. *To ensure that adequate institutional, educational, recreational and cultural facilities are provided.*
5. *To ensure that development within settlements has regard for environmental and cultural heritage resources, including Escarpment Natural or Protection Areas as designated in the Niagara Escarpment Plan.*
6. *To encourage the concentration of industrial and commercial development with employment opportunities within settlements, with adequate provision of housing opportunities for the labour force.*
7. *To promote safe and secure communities and improvement of the quality of life through proper design and effective use of the built environment.*

The following policies apply to the subject site:

5.10.3.10 *The land uses and the design of any proposed development will be compatible with, or enhance, the community character of the settlement, and development will be compatible with the land use*

3.0 POLICY FRAMEWORK



- General Agricultural Area
- Prime Agricultural Area
- Rural Lands
- Extractive Industrial Area
- Waste Management Area
- Open Space Policy Area
- Environmental Policy Area
- Estate Residential Area
- Retirement Community Area
- Settlement Area
- Mayfield West Study Area Boundary
- Boundary of Greenbelt Plan Area
- Oak Ridges Moraine Conservation Plan Area
- Niagara Escarpment Plan Area
- Provincial Road
- Regional Road
- Local Road
- Railway
- Caledon Trailway

Portion of Schedule A - Town of Caledon Land Use Plan
Source: Town of Caledon, 2018

patterns, densities, road systems, parks and open space system, and streetscape(s) of the community.

5.10.3.11 Development will maintain, or preferably improve, the vitality and wellbeing of historic cores and main streets.

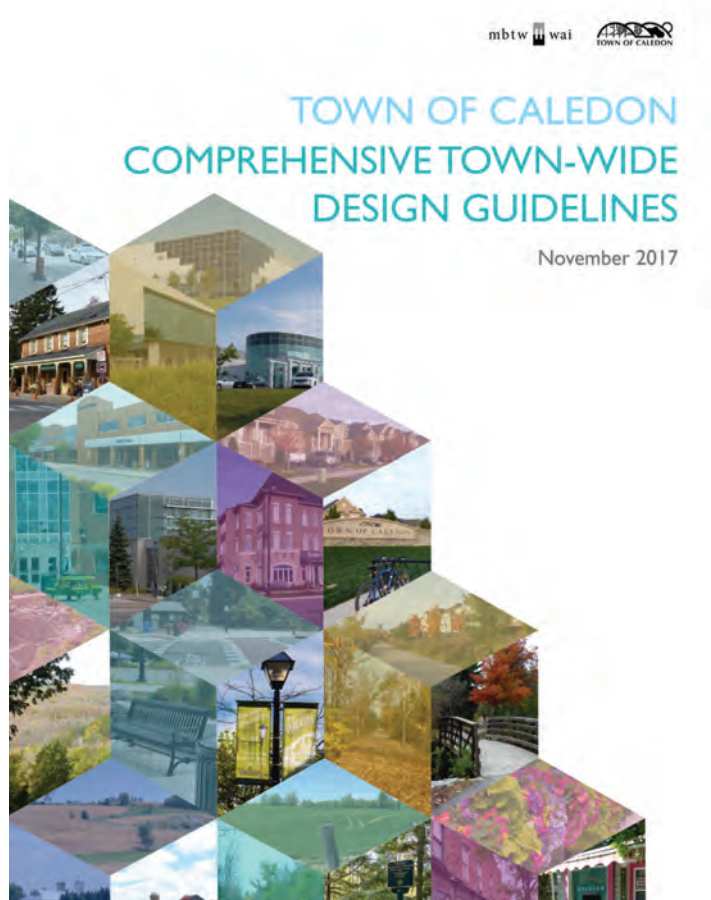
5.10.3.14 Residential intensification will generally be permitted in settlements where: a) The site or building can accommodate the form of development proposed, including appropriate consideration for environmental and heritage resources and compatibility with the surrounding community; b) The existing and planned services in the community can support the additional households; and, c) The potential demand for the type(s) of housing proposed can be demonstrated, based on the housing needs of the municipality as identified through an appropriate housing study.

5.10.3.18 The objectives and policies of the Greenbelt Plan, as generally incorporated into Section 7.13 of this Plan, shall apply to the growth and development of those portions of the Rural Service Centre of Caledon East, the Villages of Caledon and Alton, the Hamlets of Campbell's Cross, Claude and Melville and the Industrial/Commercial Centre of Victoria that are within the Greenbelt Plan Protected Countryside, and shall apply to the consideration for expansion of any Settlement Area within or abutting the Greenbelt Plan Area. Notwithstanding any policy contained in Section 5.10, where the provisions of Section 7.13 are more restrictive, the more restrictive policies shall apply.

5.10.3.19 Creation of three or more adjacent lots shall generally occur by registered plan of subdivision or registered plan of condominium.

Overall, the proposed development represents a use of the lands consistent with the objectives and policies of the Settlement Area.

3.0 POLICY FRAMEWORK



Cover of Town of Caledon Comprehensive Town-Wide Design Guidelines, November 2017
Source: Town of Caledon, 2017

TOWN OF CALEDON COMPREHENSIVE TOWN-WIDE DESIGN GUIDELINES

In November 2017, the Town Council approved the Comprehensive Town-Wide Design Guidelines (TWDG) for the Town of Caledon, which aim to provide a comprehensive source of guidance for both urban and rural areas within the town. The TWDG is intended to ensure that future development and growth align with the existing and evolving character of the Town of Caledon, promoting harmonious contributions to its overall landscape.

The TWDG for the Town of Caledon put forward a set of five essential design principles to realize the town's development vision.

1. Sustainable Design & Compact Development
2. Accessibility and Universal Design;
3. Community Safety & Security;
4. Complete Streets & Active Transportation; and
5. Cultural Heritage Conservation;

The proposed development aims to ensure these principles are incorporated into the design and follow sustainable, accessible, and safe design practices while preserving the town's cultural heritage.

3.0 POLICY FRAMEWORK






PROPOSED ALTON HERITAGE CONSERVATION DISTRICT PLAN

The subject site is not within an existing Heritage Conservation District (HCD).

In 2020, the Town of Caledon commenced a Heritage Conservation District study in Alton. Alton's proposed Heritage Conservation District boundary shows that the subject site is adjacent to the HCD.

The study is ongoing. Once complete, it will go to Council for their review and approval to designate the HCD under part V of the Ontario Heritage Act.

Legend

-  Alton's Heritage Conservation District (Recommended)
-  Listed Heritage Properties
-  Designated Heritage Properties

Outline of Recommended HCD Boundray in Red
Source: Town of Caledon, Diagram by ATA Architects Inc. 2022

4.0 CULTURAL HERITAGE
RESOURCE



View Down Main Street 1907
Source: Beaumont, Ralph., Alton A Pictorial History

4.1 SURROUNDING CULTURAL HERITAGE RESOURCE ANALYSIS



Portion of Termaine Map of the County of Peel, Canada West, 1859
Source: Archive of Canada, 3995757

EARLY HISTORY

The village of Alton is strategically located along Shaw's Creek, a tributary to the Credit River. The area is part of the Credit River Valley and sits directly below the large Morainic Hill, locally known as the Pinnacle. According to written accounts, the river originally had a mile long set of rapids, with a change in elevation of 108 feet, making the area ideal for a water mill site. Many local families soon noticed this; in 1851, the first grist mill was built by Messrs. Shrigley & Farr. Shaw's Creek flows through the village centre and converges east of Alton, where the main branch, the Credit River, is located near Orangeville.

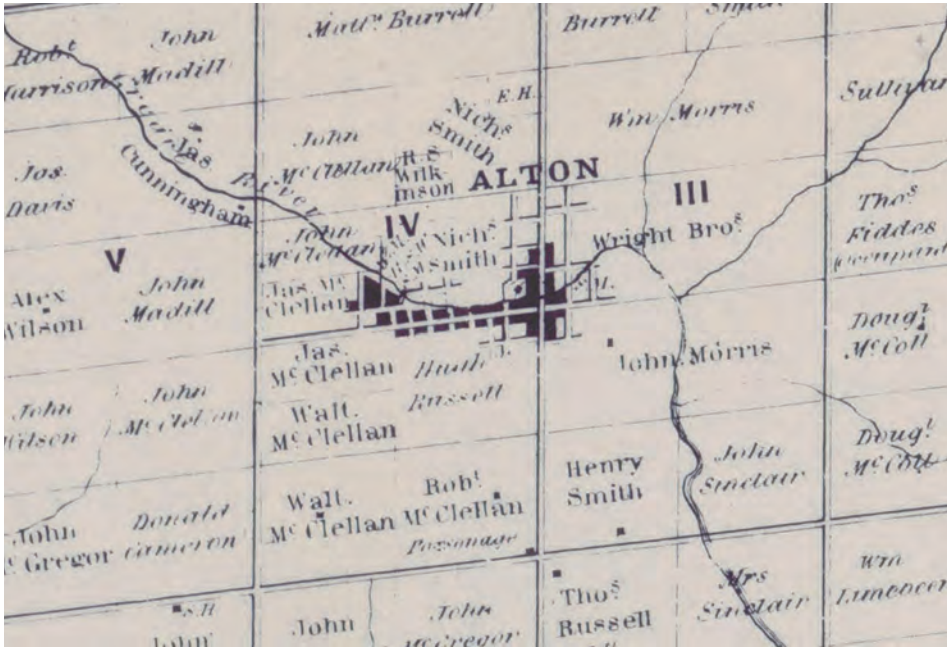
The river was an important transportation network used by the First Nations to move between Lake Ontario, Lake Huron and Georgian Bay. There is archeological evidence of early camps at the Pinnacle. Various artifacts have been found to point to its use for a long period, approximately over 3000 years.

In 1818, the British Crown purchased the northern part of Peel and Halton County, called Ajetance Treaty, No. 19. The first known European settler was Martin Middaugh Jr., a son of a United Empire Loyalist, who arrived in 1816. This was before the land was surveyed in 1819.

Samuel Ryckman completed the survey of Caledon Township in 1819 - 1820.

In 1834, Thomas Russel Esq. moved into the area with his family. They settled on the east half of Lot 23 and 24, Concession IV. They were the only pioneers in what is now the village limits until the arrival of other families in 1837. By 1856 various subdivision plans were registered, and the village took on a form still recognizable today.

4.1 SURROUNDING CULTURAL HERITAGE RESOURCE ANALYSIS



Portion of Termaine Map of the County of Peel, Canada West, 1859
Source: Archive of Canada, 3995757

By the 1850s, the village was growing to the point where new businesses started, including a new general store opened by Robert Meeks and a new post office in 1855. By 1855's the village had grown to the point where incorporation was necessary. John S. Meeks proposed the name Alton, which was selected for its easy spelling and quick to remember. Meeks was appointed the first postmaster for his contribution.

Several cultural heritage themes are associated with Alton and its surrounding environment. These are early pioneer settlements, early industry, and grist and saw mills along the river and the railway. Much of this cultural heritage remains today.

**4.1 SURROUNDING CULTURAL
HERITAGE RESOURCE
ANALYSIS**

HISTORICAL LAND USE AND ACTIVITIES

Early land use and activities within Alton would have mostly occurred along the river. There are early archaeological evidences that shows that the First Nation have used the Credit River to travel between lakes and hunt and fish for many centuries before European settlers. The river has allowed for early industry to be set up, transforming the village quickly into an important hub.

The river provided for many industries and mills, such as:

- D & L Mckinnon's Mill
 - Flour Mill
 - Grist Mill
- Walter McClelland's Mill
 - Flour Mill
 - Grist Mill
- George Alanhams' Mill
 - Flour Mill
 - Grist Mill
- Alanham's sawmill:
 - the King brothers steam furniture factory
 - Tannery,
 - Axe Factory
 - Iron foundry

By the late 19th century, the industry shifted to woollen mills, replacing grist and flour mills. A great flood in 1889 at McClelland's Mill caused water damage to other mills and dams downstream, flooding the village.

4.1 SURROUNDING CULTURAL HERITAGE RESOURCE ANALYSIS



By 1877 the village had three churches for the Congregational, Methodist and Presbyterian denominations, respectively, five stores, two hotels and a railway station and switches for the Toronto, Grey and Bruce Railway (TG&B).

ALTON ORGANIZATION AND LAYOUT

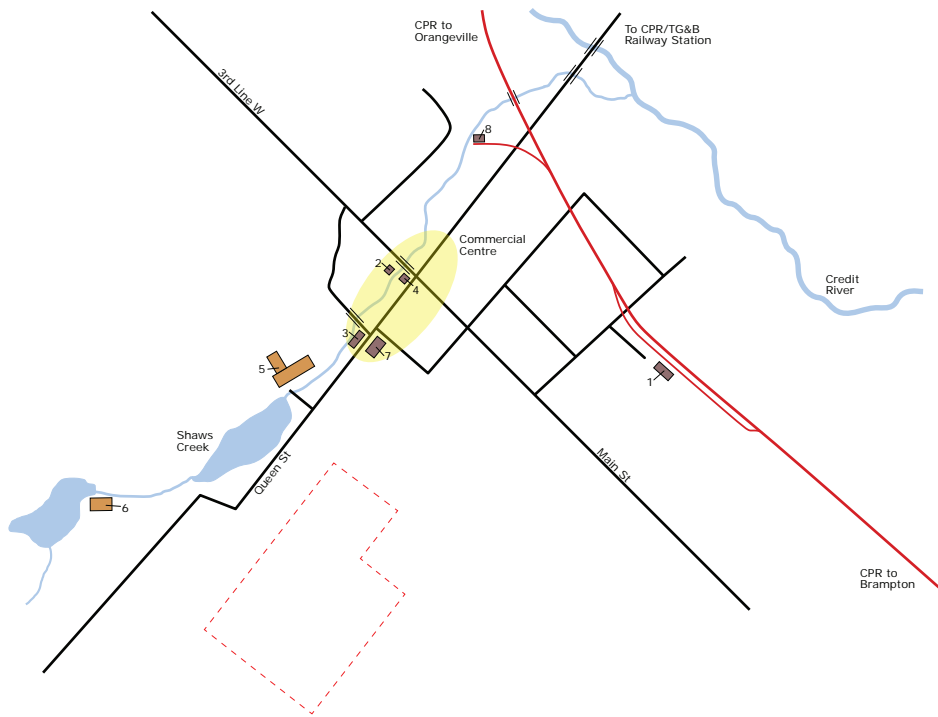
Samuel Rykman surveyed Alton in 1819 - 1820. The village pattern had to contend with Shaw's Creek, the Credit River and the Pinnacle. These natural features influenced the settlement pattern of the village. The natural feature restricted growth north of Shaw's Creek. Over time Mill Pond has changed; the lower Pond was infilled and subdivided to support the extension of Emeline and William Street.

Shaw's Creek tends to run east and west. Directly south, a new road, Queen Street, was created to support the village's new commercial and residential needs. The new road was extended to intersect Third Line West, which was eventually renamed Main Street. The intersection of Queen Street and Main Street became the main commercial hub of the village.

North of Shaw's Creek was mainly industrial; by 1856, extensive further residential subdivision took place on both sides of Shaw's Creek. The village of Alton's organization and layout remains largely intact and is still recognizable today.

1857 Plan of Alton
Source: Town of Caledon, Presentation Slide Alton Heritage Conservation District Study: Phase 1

4.1 SURROUNDING CULTURAL HERITAGE RESOURCE ANALYSIS



Surrounding Cultural Heritage Resource
Source: ATA Architects Inc. 2022

HISTORICAL CIRCULATION AND NETWORK

The village is laid out in a grid pattern, with Queen Street and Main Street as the Main intersection. Due to Shaw's Creek running east and west, a series of bridges connect the town. The original layout of the streets remains largely intact. A new railway line was added by TG & B south of the main hub connecting Alton to the surrounding areas and as far as Toronto. By 1877 the Credit Valley Railway (CVR) set up a new rail station on Station Street.

VEGETATION RELATED TO LAND USE

There is much mature vegetation throughout both on public and private lands. Millpond, marsh and creek systems retain much of the natural and native plantings, trees and shrubs. Many domestic landscape features related to the historical settlement patterns remain and allude to its industrial and pioneering past.



Millpond and its Natural and Native Plantings
Source: ATA Architects Inc. 2022



Domestic Landscape Features, Sidewalks, Curbs, Pathways
Source: ATA Architects Inc. 2022

4.2 SIGNIFICANT BUILT HERITAGE RESOURCES

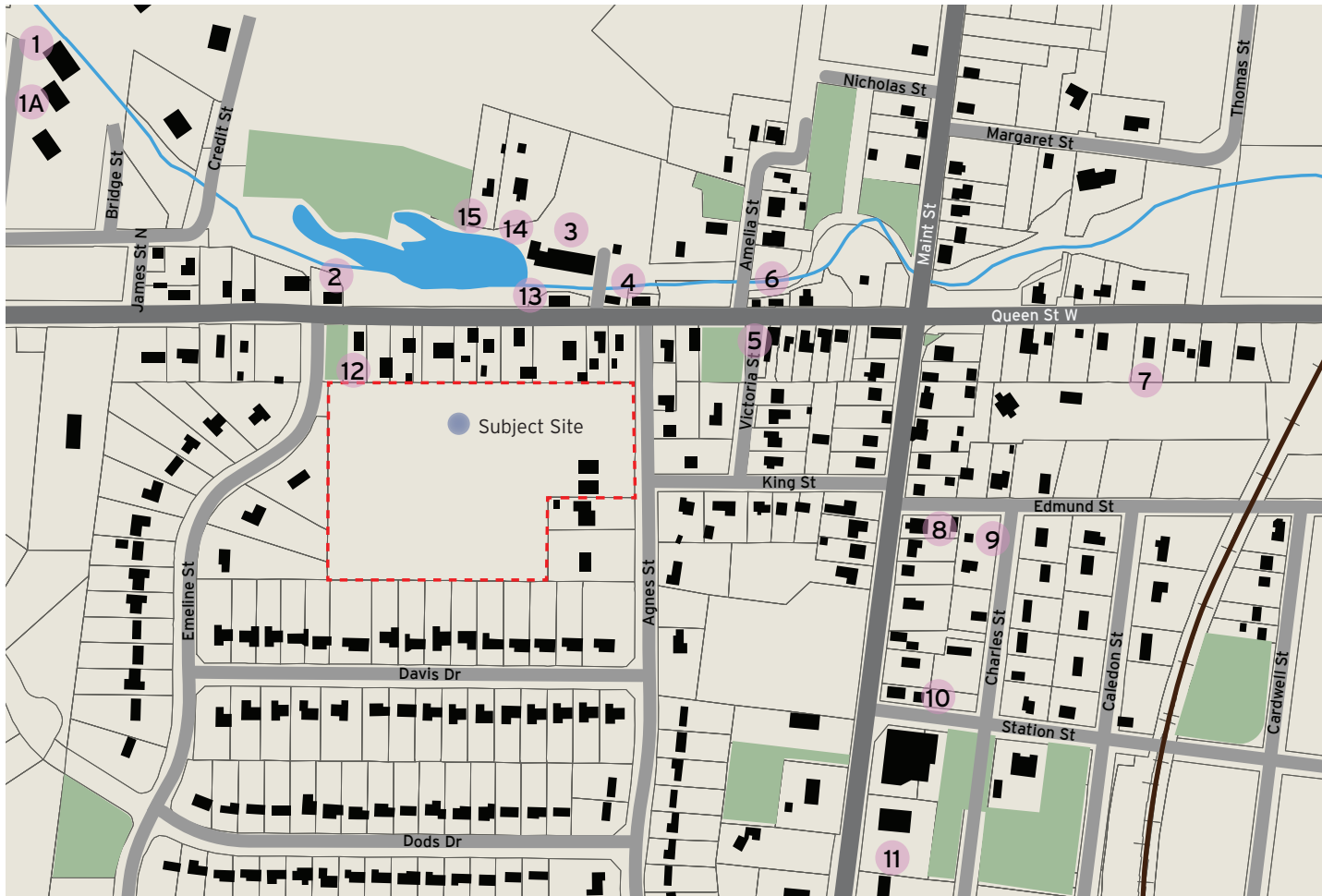


Diagram of Significant Built Heritage Resources
Source: ATA Architects Inc. 2022

4.2 SIGNIFICANT BUILT HERITAGE RESOURCES



Name:	Millcroft Inn (#1)
Address:	55 John Street
Style:	Industrial Georgian Style
Description:	Constructed in stone from Inglewood Quarries for Benjamin Ward in 1881 this former woolen mill was later owned and operated by J.M. Dods before eventually becoming an Inn. The adjacent stone warehouse originally linked by a catwalk to the main building were built in the same period and are now conference rooms known as the Little Mill. This conversion is one of Caledon's most successful adaptive uses. (By-Law 91-121)



Name:	Ward-Dodds-Millcroft House and Gardens(Steldon School) (#1A)
Address:	55 John Street
Style:	Victorian and Edwardian Style
Description:	The Ward-Dodds-Millcroft House was built by Benjamin Ward om 1880's and was part of the Alton Knitting Mill complex. The house and mill was sold to Ward's son-in-law John M. Dodds. John's second wife, Cora hired Tom King, a gardener from England, who created the terraced gardens. In 1980s, the owner of Millcroft Inn purchases the building and was restored as "The Manor House" and part of the Millcroft Inn Complex. The Ward-Dodds-Millcroft House incorporate late Victorian and Edwardian styles. Italianate-inspired architecture can be seen in the turret and the general lack of symmetry. The original windows have buff brick voussoirs with brick keystones. The gently terraced garden is included in the designation. (By-law 85-167)



Name:	Algie-Hall House (#2)
Address:	1334 Queen Street West
Style:	Worker's Cottage
Description:	Originally a one storey stone house, this residence was probably constructed by the Mill owning Algie Family for an employee or family member. Its situation on an outcrop of stone on the edge of the mill pond was specifically chosen to enclose a fresh water spring. The building has an ashlar finish and is designated principally for its architectural features within the Village of Alton. In the 1980s, the original hip roof was replaced with the present mansard roofline. (By-Law 94-64)

4.2 SIGNIFICANT BUILT HERITAGE RESOURCE



Name:	Alton Mill (#3)
Address:	1402 Queen Street
Style:	Industrial Vernacular Style
Description:	The Alton Mill is one of two late 19th century industrial stone complexes still existing in the village of Alton. Est in 1881 as the Beaver Knitting Mill, it was converted for the manufacture of rubber products in the mid-1930s by the Western Rubber Company. By the 1990's Seaton Group started the restoration and conversion of the complex into an arts centre. The existing buildings date from 1881 to the mid-1900s. Typical of Industrial stone construction of the late 19th century. The mill complex is a well-known Alton landmark that has defined the Industrial character and history of this village since its construction. (By-Law 2004-201)



Name:	Dods-Long House (#4)
Address:	1422 Queen Street West
Style:	Victorian and Georgian Style/ Italianate Style
Description:	A two storey principally red brick dichromatic house with a low hip roof, this late Victorian house has imitation quoins at the corners and windows and door have decorated semi-elliptical visors in a buff brick, now painted green. This style of house was popular in the period from 1876-1886, a period of considerable affluence in Alton. It was formerly the home and office of Alton Doctors. (By-Law 96-31)



Name:	Alton General Store (#5)
Address:	1459 Queen Street West
Style:	19th Century Main Street Style
Description:	1459 Queen St West in the village of Alton contains the west unit of a two unit commercial block erected about 1887. The design, form, massing, materials, and finishing are typical of main street commercial buildings erected in the mid to late 19th century in smaller urban centres throughout Ontario. This block is recalled by most area residents as the long standing location of a general store. It represents the tradition of this part of Queen St West being an important component of Alton's commercial district. It is a community landmark and an important part of the historic Queen St West streetscape. (By-Law 2016-085)

4.2 SIGNIFICANT BUILT HERITAGE RESOURCE



Name:	Alton Mechanics' Institute & Library (#6)
Address:	1460 Queen Street West
Style:	Victorian and Georgian Style
Description:	This one - storey, three-bay frame structure with a polychrome brick veneer, is important and unique in that it is the last remaining building in Caledon originally constructed as a Mechanics Institute and Library. It was built in 1882 on land donated by J.L. Meek, and has served as the local library at one point (By-Law 90-58)



Name:	Wright-Didd House (#7)
Address:	1565 Queen Street East
Style:	Regency Style
Description:	This one and a half storey, three-bay, Regency style stone house has a hip roof with gothic dormer windows and overhanging eaves. It was probably built during the 1860's for Thomas Wright, a successful merchant and miller in Alton. (By-Law 90-58 & 2017-2)



Name:	Former Alton Congregational Church (#8)
Address:	19739 Main Street
Style:	Victorian Gothic Style
Description:	The former Alton Congregational church is a significant historic landmark on Alton's Main Street. Subsequent to its use for religious purposes, it became an important community focal point as the Alton Town Hall and fire hall. It's varied history reflects the growth of the local community. (By-Law 2003-115)

4.2 SIGNIFICANT BUILT HERITAGE RESOURCE



Name:	Fead-Fendley Home (#9)
Address:	42 Charles Street
Style:	Italianate Style
Description:	A two storey, three bay, dichromatic brick clad house with a hip roof, this circa 1875 house with its imposing position on a hill, was once the home of James S. Fead and subsequently several Ministers of the Methodist and United Churches of Alton, Caledon and Melville. It was later the home of James E. Adams. (By-Law 91-18)



Name:	Former Alton Baptist Church (#10)
Address:	19695 Main Street
Style:	Georgian Style
Description:	A pebblestone building in randomly set courses, this church was built in 1926. Although used in the recent past by other denominations the Baptist services ceased in 1984. This building has leaded coloured glass windows in the art nouveau style and a square castellated entrance. (By-Law 94-55)



Name:	Alton School House (#12)
Address:	19657 Main Street
Style:	Regency Style
Description:	19657 Main Street in the hamlet of Alton contains a schoolhouse building erected in 1875 and 1876 that was remodeled and enlarged between 1907 and 1929. The form and small scale of the building with its large window openings and belfry capture a sense of a rural village school. The interior retains pre 1930s elements that form the traditional classrooms, centre hallway, office, and washrooms arrangement and reflect how these evolved over the history of the building. (By-Law 2013-088)

4.2 SIGNIFICANT BUILT HERITAGE RESOURCE



Name:	Jane Berry House (#13)
Address:	1341 Queen Street
Style:	Ontario Classic (Victorian Gothic Style)
Description:	This 1.5 storey Victorian Gothic stone cottage was built for Jane Berry who later married Arthur Walker. The fieldstone exterior is parged with limestone mortar in an ashlar finish replicating quarried stone. It has a decorative verandah trim, elongated window keystones and limestone window arches, sills and quoins. In 1897, the Walkers sold the house to Margaret M. McDougall. In 1915, David Patterson bought it and his estate sold it to James Adams in 1944. In 1964, retired school teacher Edith M. Knechtel purchased the house. (Alton Walking Tour #1)



Name:	Science Hall (#13)
Address:	1398 Queen Street West
Style:	Neoclassical Style
Description:	This stone building is late Neoclassical style with a parged limestone finish. It is also known as Science Hall, built by mill owner William Algie as a community venue for lectures, concerts, plays and recitals. After William Algie's death in 1914, the hall was sold to 'Dods Knitting Co.' By the 1930s, it had been converted into three apartments occupied by the Nicols, the Browns and the Woods. In 1935, the building was sold to 'Western Rubber Co.' and converted into two residences. After the death of Fredrick N. Stubbs, the house was acquired by Ralph and June Stubbs. (Alton Walking Tour #1)



Name:	William Algie House (#14)
Address:	1386 Queen Street West
Style:	Italianate Style
Description:	It is a 2 storey red brick Italianate style home built for 'Beaver Knitting Mill' owner William Algie and his wife Phebe Ward. The house is symmetrical with decorative paired brackets around the eaves and a projecting front bay, which extends into an attic dormer through the hip roof over the ornate covered entry. A beautifully detailed porch encircles three sides of the home. (Alton Walking Tour #1)

4.2 SIGNIFICANT BUILT HERITAGE RESOURCE



Name:	Algie Family House (#15)
Address:	1386 Queen Street West
Style:	Victorian Gothic Style
Description:	This 1.5 storey Victorian Gothic style stone residence with its steep gable roofs was constructed at the same time as the original mill on the current mill site. It use local limestone quarried east of Alton. This was the home of William Algie's parents Matthew A and Janet Algie as well as their daughter Agnes and later their married daughter Elizabeth Thurson. In 1915, the house became the property of John M. Dods and in 1935, that of 'Western Rubber Co.'; after Fredrick N. Stubbs' death in 1941, the house was acquired by Harold and Annie Stubbs. (Alton Walking Tour #1)

4.3 HISTORICAL MAPS AND PHOTOGRAPHS



View of Alton from Pinnacle, 1890
Source: Beaumont, Ralph., Alton A Pictorial History

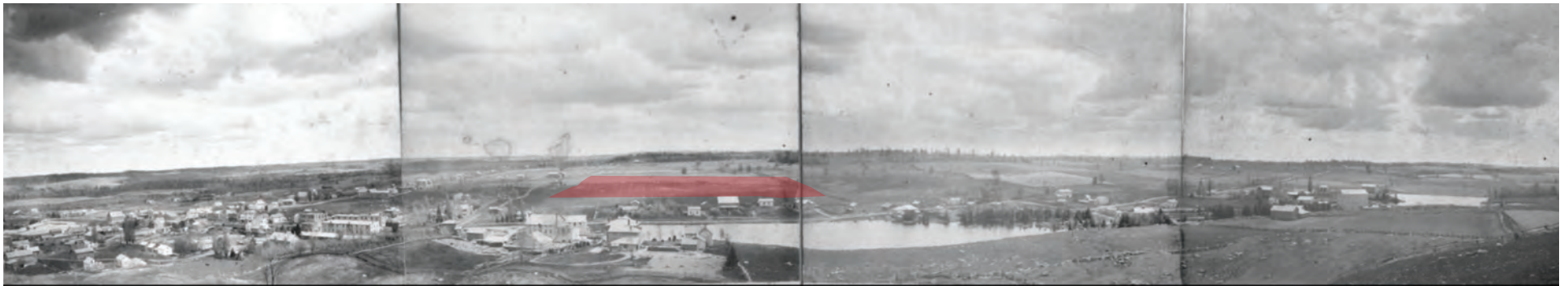


View across Millpond to William Algie House 1910.
Source: Toronto Public Library Digital Archive, PCR-22

4.3 HISTORICAL MAPS AND PHOTOGRAPHS

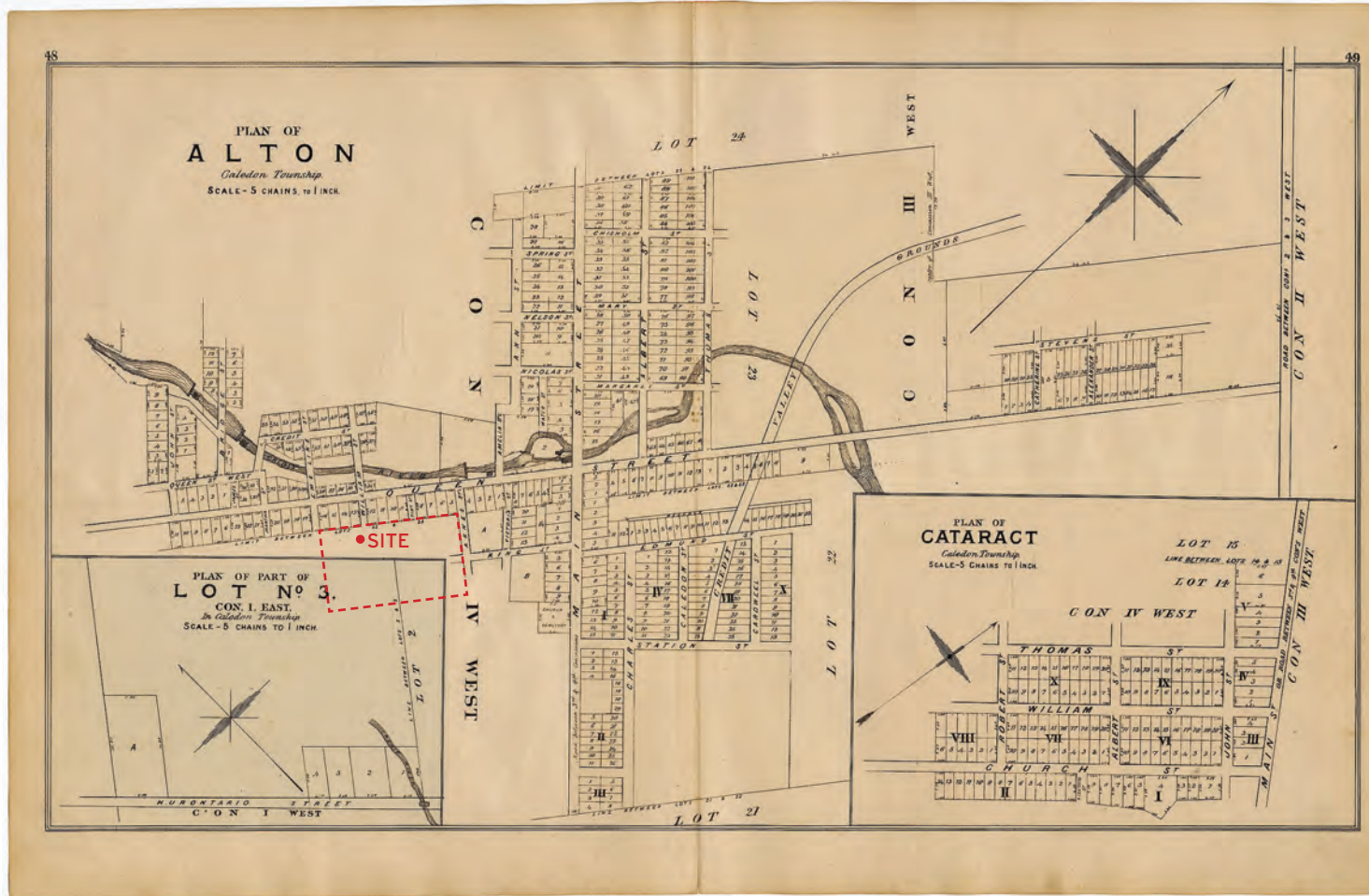


View of Alton from Pinnacle, 1903
Source: In the Hills, Accessed December 2022; https://www.inthehills.ca/wp-content/uploads/2014/11/millpond_1903panoramaFULL.jpg



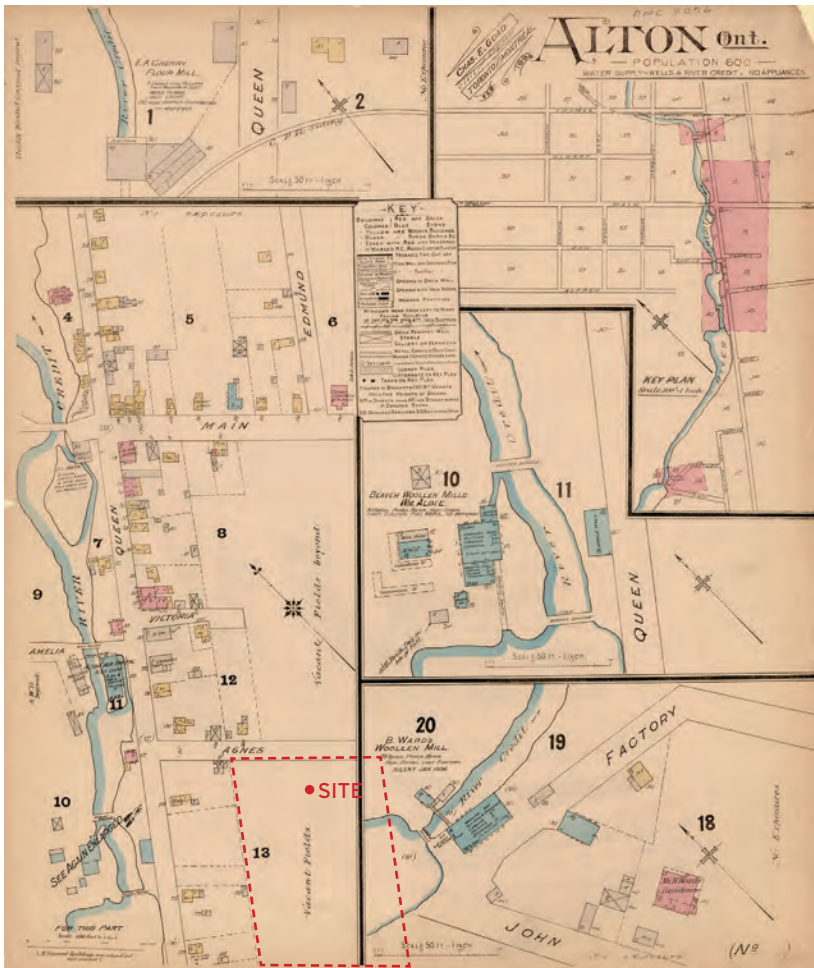
Panorama of Alton from Pinnacle Hill
Source: Town of Caledon Heritage Conservation District, Alton HCD Presentation, Accessed December 2022; https://www.caledon.ca/en/town-services/resources/Documents/business-planning-development/10380_AltonHCDStudy_PublicMeeting_Presentation-November-5-2020_AODA.pdf

4.3 HISTORICAL MAPS AND PHOTOGRAPHS

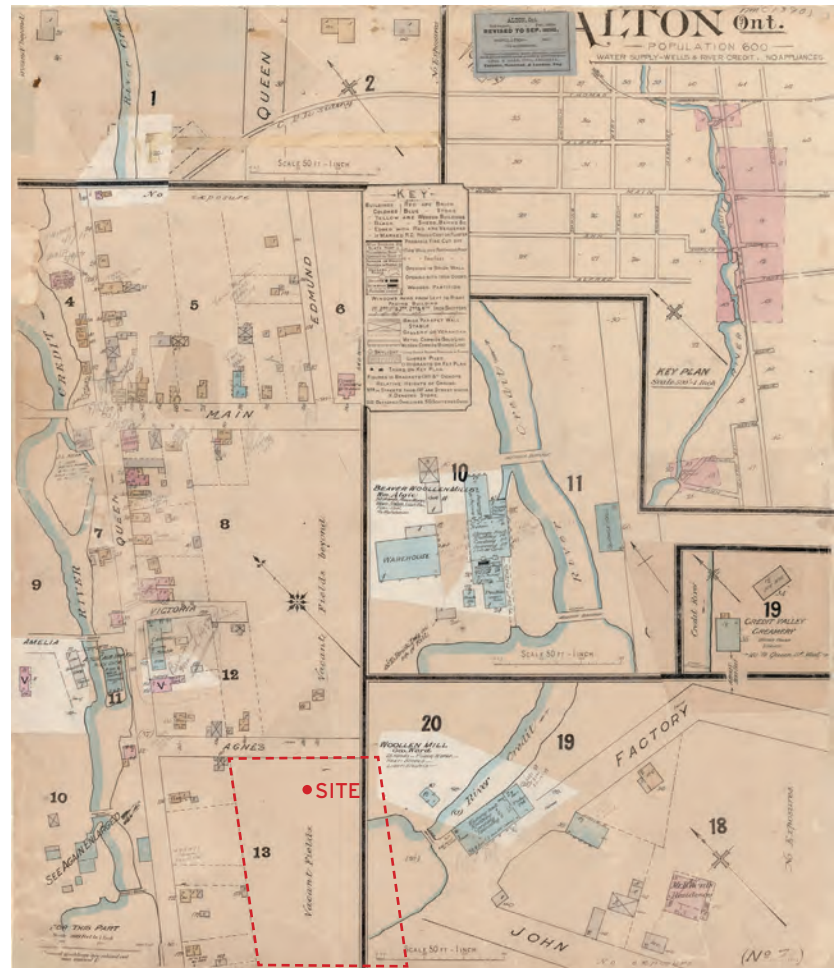


Plan of Alton 1877
 Source: University of Toronto, Illustrated Historical Atlas of the County of Peel, 1877

4.3 HISTORICAL MAPS AND PHOTOGRAPHS



Alton Fire Insurance Map, 1894
Source: Archive of Canada, 3810240



Alton Fire Insurance Map, 1898
Source: Archive of Canada, 3810242

4.3 HISTORICAL MAPS AND PHOTOGRAPHS



Aerial Photo of Alton 1954
Source: York University Map Library



Aerial Photo of Alton 2014
Source: Town of Caledon Airphoto History

4.4 SURROUNDING SITE CONTEXT



Aerial Site Plan, Outline of Site in Alton
Source: Apple Maps, Access December 2022,
ATA Architects Inc Diagram.

SITE CONTEXT

The subject site is located south of Shaw's Creek, surrounded on three sides by existing residential development. It is approximately 10 acres and predominately rectangular in shape. The site is relatively flat with a gradual slope north, towards Shaw's Creek. The site is mostly open except for occasional trees around the two outbuildings, along property line and a few patches of shrubs throughout.

In 2022 an arborist report and a tree inventory was done for the site. The arbourist report identified 84 trees over 10cm ABH (trunk circumference at 1.38-metre height) were assessed, including shared trees and trees within 6 meters of the subject site. The following Detail Vegetation Plan (DVP) shows the trees and trees across the property. 54 private and shared (including four separate patches of shrubs and three patches of Staghorn Sumac) were recommended for removal. Twenty-nine trees on neighbouring properties or with shared ownership shared trees around the edge of the property were recommended for retention. Most trees recommended for removal are undesirable species or have poor health or form.

The site is dominated by the large hill north of Shaw's Creek called The Pinnacle. Along Queen Street, Shaw's Creek and Alton Mill Pond are north of the site. Natural features, trails and landscapes connect the natural spaces to surrounding conservation areas, such as the Pinnacle Trail and connect back to the site.

The area's topography changes significantly as can be seen along Shaw's Creek which flows east towards the Credit River. The site is influenced by the creek, where the low point is a natural gradual slope north of the property line. The site is modestly sloped, with the high point on the south side of

4.4 SURROUNDING SITE CONTEXT



Tree Inventory Agnes Street Development
Source: Agnes Street Arborist Report 2022_Final July 20 2022

property and low point in the north-east corner.

There is a lot of natural tree vegetation in public and private areas. Grass boulevards are mostly along sidewalks and residential areas. The characteristics and geography of Alton and its natural heritage feature have helped contribute to Alton's cultural heritage.

The aerial photo to the left shows the site is an open field with minimal trees and is mostly an open lot. Mature deciduous trees along the north property line are shared with adjacent properties and act as a screen between the properties. Along the west and south of the site, there are only a few these between the properties and the subject site.

**5.0 PROPOSED DEVELOPMENT
CONCEPT PLAN**



Overall Concept Plan Diagram
Source: ATA Architects Inc. Base Concept Plan by Orchard Design

5.0 PROPOSED DEVELOPMENT CONCEPT PLAN

SITE DATA

REGULATION	Proposed
LOT FRONTAGE (ON AGNES STREET)	99.90 M
SITE AREA (HA)	40,430.11 sq.m (4.04ha)
# UNITS WITH DOUBLE GARAGES	41
# UNITS WITH SINGLE GARAGES	26
TOTAL UNITS	67
DENSITY	16.58 UpHa
# OF RESIDENTIAL BLOCKS	14
# OF UNITS PER BLOCK (MAX.)	5
BUILDING HEIGHT	10.5 m
MIN. SETBACK TO AGNES STREET	6.0 m
MIN. SETBACK FROM REAR OF DWELLINGS TO ABUTTING RESIDENTIAL PROPERTIES	12.0 m

AREA TABLE

PRIVATE RESIDENTIAL BLOCKS	3.319 ha
COMMON ROAD AND ENTRY BLOCKS	0.435 ha
COMMON AMENITY AND WALKWAY BLOCKS	0.291 ha
TOTAL	4.045 ha
OPEN SPACE AND COVERAGE	
YARDS, ABSORPTION BEDS, COMMON AMENITY AREAS	2.001 ha (49.4%)
HARD SURFACE AREAS (BUILDINGS, PATIOS, ROADS, WALKWAYS, SIDEWALKS, DRIVEWAYS)	2.044 ha (50.6)
TOTAL	4.045 ha

PARKING PROVIDED

PRIVATE PARKING SPACES WITHIN GARAGES	108
PRIVATE PARKING SPACES IN DRIVEWAYS	108
COMMON VISITOR PARKING SPACES (INCL. 2 ACCESSIBLE)	14
TOTAL PARKING SPACES	230 SPACES

The Agnes Street Concept Plan has a total area of 4.04 hectares (40,430.11 square metres). The concept plan will be implemented by way of a Plan of Subdivision and Plan of Condominium with a private internal road network.

The development will consist of bungalow, bungalow-with-loft and two storey townhouses, a shared common amenity area and underground stormwater management facility, a walkway connection to Emeline Street, serviced by municipal water and individual on-site sewage systems shared by five or less units.

See Site Data for proposed unit count, setbacks, height limits, parking and more.

The proposed development will have its main access from Agnes Street and will feature two, 6 meter wide, two-way operation road that loops around the site, providing access through the development. The amenity space is located at the centre of the development as one drives into the development.

The general land area breakdown of the proposed development is as follows:

- Private Residential blocks - 3.319 ha
- Common Road and Parking - 0.435 ha
- Common Amenity and Walkway Blocks - 0.291 ha

5.1 STREETScape



Concept Plan Diagram
 Source: ATA Architects Inc. Base Concept Plan by Orchard Design

5.1 STREETScape

The overall appearance of the surrounding streets and public spaces will be shaped by a variety of elements, including landscaping, entryway features, streetlights, signage, community mailboxes, and furnishings. These features should be thoughtfully designed, using appropriate materials and strategically placed in relation to the proposed development, in order to establish a distinctive sense of place that reflects and integrates with the surrounding heritage. By incorporating these design elements, the streetscape will be visually engaging and help to foster a friendly and inviting community.

5.1 STREETScape

STREET LIGHTING



- The LED street lights and pedestrian pathway lights in the community should have a similar design and theme to create a cohesive look.
- The design and theme should be compatible with the surrounding community.
- When selecting the locations for street lights, it is important to consider how they will visually affect both the development and the neighbouring properties. Additionally, care should be taken to ensure that no light spills into nearby natural areas and disturbs local wildlife.
- As part of the detailed design process a photometric analysis will need to be carried out to ensure these objectives are met.

STREET FURNITURE



- Provide consistent and coordinated street furniture that is of a compatible design theme throughout the public realm. Materials, colours, and style should complement the architectural style of the community (TWDG PG 39)

COMMUNITY MAILBOXES



- Location of Community Mailbox to be located centrally within the development.
- Select a location(s) that is safe, visible and within walking distance for all residents.
- The location(s) of the Community Mailbox can be enhanced with landscape features, street furniture, and the use of different materials such as pavers.

PUBLIC UTILITIES



- Location of utilities above grade to be coordinated to reduce interference.
- All utilities, whether above or below ground, should be placed and maintained in areas that are accessible within the community's right of way or utility easements.
- Provide screening of public utilities when possible.
- Where possible, the utilities for each residential unit should be situated on an unobstructed exterior wall that is not visible from the street.
- Air conditioning units should not be placed at the front of the residential unit.

SIDEWALKS AND CROSS WALKS



- Curb ramps and sidewalks shall be designed to be Barrier Free and comply with the Town's engineers standard.
- Minimum clear width of 1500mm and continuous, made of hard material such as concrete pavement with tactile indicators and anti-slip surface.
- The use of accent paves at crosswalks and street crossings for pedestrian movement should be considered to enhance visibility and safety and differentiate areas to cross.

WAYFINDING & SIGNAGE



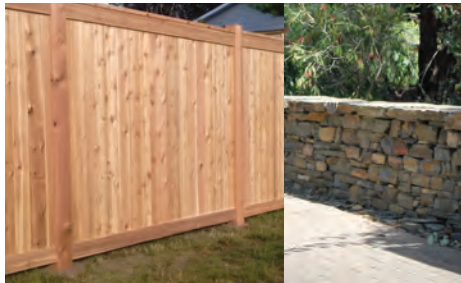
- Wayfinding and signage such as street signs, traffic control signs, unit and block numbers shall be considered and incorporated to provide clear direction throughout the proposed development.
- Where possible, elements such as No Parking Fire Route signs are to be integrated with street light poles.
- Follow the Town's standards and guidelines for wayfinding and signage.

PUBLIC REALM STREETScape TREATMENT



- The streetscape design of the public realm should use durable hardscape materials that are complemented by softscape elements. Permeable surfaces are also encouraged. This will create a safe and easy-to-navigate environment with unobstructed sightlines between pedestrians and motorists.
- To ensure that the community is accessible to all, universal accessibility features must be integrated into all public realm areas, sidewalks, and crossing zones, accommodating a wide range of users.

FENCING AND PRIVACY SCREENS



- To ensure consistency and a cohesive aesthetic, it is recommended that the design, color, and materials of fences are consistent throughout the community.
- Rear yard fences should be avoided, and instead, lots backing onto parks, open spaces and buffer zones should incorporate a combination of landscape features, trees, and fencing to create a softer, more rural character between public and private realms.
- Proposed privacy fencing should be a maximum height of 1.8 meters. In addition, privacy screen such as hedges and dry stone walls may also be used to create privacy and define outdoor living spaces.

5.1 STREETScape

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5.2 LANDSCAPE



Concept Plan Diagram of Landscape
 Source: ATA Architects Inc. Base Concept Plan by Orchard Design

5.2 LANDSCAPE

The landscape design for the development should incorporate existing site elements, native planting, and sustainable practices to promote a visual and physical connection throughout the development and connect back to important greenspace and trails in the community. Additionally, the design should strive to create a rural and natural atmosphere while incorporating heritage-style built elements to accent and mark transitions between public and private space.

5.2 LANDSCAPE

NATURAL BUFFERING



- To promote a sustainable and environmentally-friendly development, the landscape design should incorporate a variety of native plant species throughout the site, with a focus on using them as a buffer between adjacent properties. This will not only promote biodiversity and support the local ecosystem, but also reduce the maintenance, water, and chemical inputs required for the landscape.
- Turf areas should be limited to active use spaces, with a low maintenance meadow seed approach used in other locations such as dispersal beds. Where space allows, buffers along property lines should be established with plantings, while fences should be provided only as required, with an emphasis on using green buffers to create an inviting and harmonious environment.
- In addition, a mix of both deciduous and evergreen trees should be strategically placed throughout the proposed development, adding visual interest and enhancing the natural feel of the landscape. Existing trees along property lines should be preserved where possible, further contributing to the sustainability and character of the development.

DRY STONE WALLS



- To enhance the character of the proposed development and create a visual connection with the surrounding community, the use of dry stone walls is recommended at priority lots, entrances, and around amenity spaces. These walls have historical significance in the area and incorporating elements of the community will further enrich the landscape design.
- In addition, dry stone or similar masonry wall features should be utilized as gate posts and as a demarcation between public and private spaces, further contributing to the unique and inviting character of the development
- To create a memorable first impression, the primary entry into the site should be enhanced with masonry or dry stone wall features, as well as tree and shrub plantings. These design elements will add to the overall aesthetic of the development while also emphasizing its connection to the surrounding landscape.

5.2 LANDSCAPE

AMENITY SPACE



- The amenity spaces play a crucial role in providing outdoor areas for both active and passive use, catering to a diverse range of age groups and community members.
- To create a clear sense of arrival and departure within the community, enhanced landscape treatment is encouraged near the entrance of the open space frontage.
- Pedestrian paths, seating, signage, and ornamental structures or vertical landscaping should be utilized to enhance entrance to the amenity space.
- To further enhance the identity of the amenity space, programming, planting themes, and/or distinct architectural elements such as dry stone walls can be coordinated with abutting buildings.

WALKWAYS



- The proposed concept plan will include a walkway, providing connections to various existing community trails and locations within the community.
- The walkway should be intended to be passive pedestrian area.
- The proposed walkway connecting to Emeline Street will also serve as an emergency access route.

MEDIAN SPACE



- A substantial landscaped median will also be included to establish the green character of the development.
- If possible, depending on stormwater and other civil engineering details for the median area, it is recommended to plant low-maintenance native species along with possible shrubs and trees in large street dividers.

5.2 LANDSCAPE

HEDGES



- Incorporate the use of hedges where possible. Hedges are a significant cultural heritage feature within Alton.
- Can be also used as a landscape buffer between uses and spaces.
- Hedges can be used in combination with dry stone walls and/or (low privacy screen) to create a privacy screen.

STORM WATER MANAGEMENT



- As set out in the preliminary Stormwater Management Report for this site, a sub-surface infiltration facility is proposed to help maintain the subject property's pre-development infiltration rates to minimize the impact of the development on the hydrologic cycle.
- Permeable pavers will be proposed on driveway and visitor parking surfaces.
- To address the water quality of the at-grade runoff, a treatment train approach consisting of an oil grit separator (OGS) and infiltration will be applied to achieve the MECP's Enhanced Protection Level (80% TSS removal).

5.2 LANDSCAPE

SUSTAINABILITY & SITE MANAGEMENT



- The landscape design should incorporate Low Impact Development (LID) and infiltrative water management techniques, which may include permeable pavements and drought-resistant plant species that require little to no supplemental irrigation.
- The subject property is in a Wellhead Protection area as per the MECP's Source Protection Information Atlas. Pre-development water balance will be maintained in post-development conditions.
- As per a preliminary grading plan prepared for this site, the existing property slopes from the south limit towards the north at an average slope of approximately 2.8%. A significant fill is required due to the varying grade changes across the limits of the site, the amount of cover required for the underground infrastructure, and the grading requirements. Surface runoff from the site will drain overland into the catch basins of the proposed storm sewer network and ultimately discharge into the existing storm sewer system located on Agnes Street near the Queen Street and Agnes Street intersection. The proposed grades at the property line will match to existing ones. There are no retaining walls proposed in the design.

5.3 SITE CIRCULATION



Concept Plan Diagram of Site Circulation
 Source: ATA Architects Inc. Base Concept Plan by Orchard Design

5.3 SITE CIRCULATION

PEDESTRIAN MOVEMENT

The proposed development plans to include private roadways that should be carefully designed with the aim of promoting a healthy and active lifestyle, encouraging sustainable living practices, and improving connections to the existing trail systems within the community. This will be achieved through the implementation of a pedestrian sidewalk on one side and walkway which will serve to link the development to the rest of the community.

The overarching goal of this design approach is to create a vibrant and attractive streetscape that prioritizes walkability and seamlessly complements the character of the community. This will be achieved through the use of high-quality materials and finishes, thoughtful landscaping, and the inclusion of amenities that cater to a diverse range of age groups and community members.

VEHICULAR MOVEMENT

Vehicle access is proposed via a private road connected with Agnes Street with a 6.0m wide internal two-way road that will loop around the site. This road will also be a designated fire route. The entry to the site includes a 4.5m median separating one-way inbound and one-way outbound traffic. The site access intersection is planned to operate unsignalized with the internal road operating with a stop control at the west end of the entry median. In addition, there will be an emergency access route to and from Emeline Street, which will have knock down bollards for safety purposes. Traffic control signage will be installed to ensure safe entry and exit and to restrict on-street parking.

The road widths within the community will meet the Town and Region's standards for sufficient turning radius, ensuring that passenger, emergency

5.3 SITE CIRCULATION

and waste management vehicles can enter, exit and traverse the site without conflict. Sidewalks shall have a minimum width of 1.5m.

As part of the Traffic Impact study for the site, a one-way internal road system was considered as requested by the Town Urban Design Department during the pre-consultation process. However, it is not optimal for this proposal for the following reasons:

- The Town's fire department requires a minimum width of 6m.
- This means the width of a one-way roadway would still be 6m.
- No additional land would be freed up for wider sidewalks, or to produce better transition between public and private space
- One-way streets can limit access to certain areas and make it more difficult for people to get to their property
- One-way streets can be confusing for visitors to an area who are not familiar with the traffic flow, leading to increased frustration and the potential for wrong turns.

More generally, a 6m one-way road would look the same as a 6m two-way road, as local roads typically don't have painted centre lines. As such, it would be possible for people to treat it as a two-way road and end up driving the wrong way on it which is not a safe condition.

Refer to the Transportation Impact study by Paradigm Transportation Solutions Limited for full details.

5.3 SITE CIRCULATION

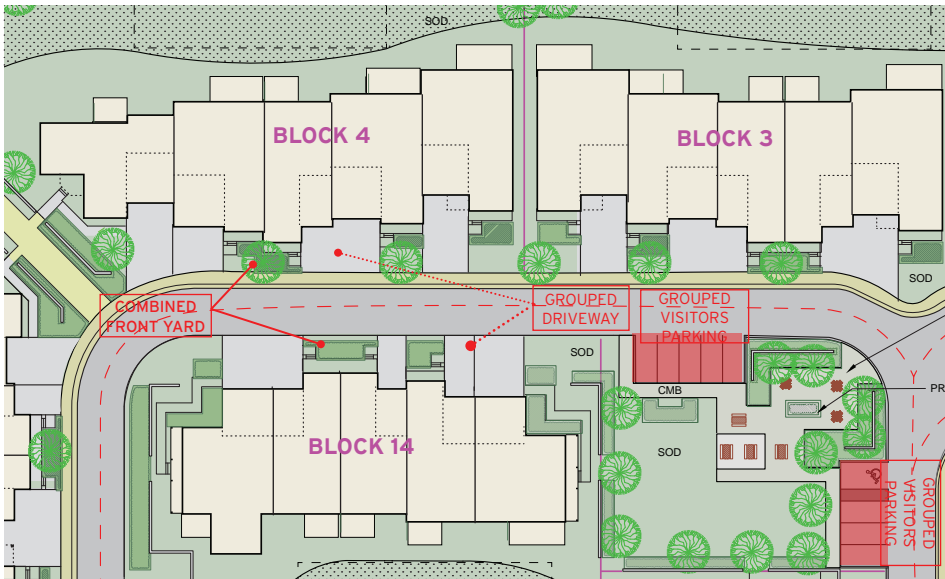


Diagram of Proposed Concept Plan
Source: ATA Architects Inc. Base Concept Plan by Orchard Design

DRIVEWAY PLACEMENT

The location of driveways is a key factor in creating a cohesive and easy-to-navigate streetscape for the community. To ensure a harmonious and functional design, the following guidelines should be considered:

- Driveway widths should not exceed the width of the garage.
- A variety of double and single garages should be incorporated.
- Where possible, a single and double garage should be paired together. The driveway will be paired together to create larger, continuous front yards.

5.4 SUSTAINABILITY AND SITE MANAGEMENT

The proposed development is encouraged to consider sustainable initiatives throughout the subject site. The following should be considered to improve sustainability and Site Management within the proposed development:

- The incorporation of native planting and drought-resistant landscaping throughout the proposed development to promote biodiversity and support the local ecosystem. By using native plant species, the landscape will require less maintenance, water, and chemical inputs, reducing the environmental impact of the development.
- The use of low-impact development techniques such as permeable pavement and bioretention areas to manage stormwater runoff and improve water quality.
- All surface water will be collected and redirected to “water holding tanks” below the amenity space and front entryway. This system allows water to slowly recharge groundwater and reduce water runoffs.
- The rough-in provision for electric vehicle charging stations to promote the use of clean transportation.
- Refer to Functional Servicing and Stormwater Report (FSSR) for summary of how the site is proposed to be serviced
- The proposed development utilizes individual on-site sewage systems to be shared by no more than five units in a given block. The systems will include tertiary treatment and shared dispersal beds to treat wastewater generated by each building block. This approach is a reliable and cost-effective alternative to individual septic systems. Sharing the onsite sewage systems amongst clusters of units owned by condominium

5.4 SUSTAINABILITY AND SITE MANAGEMENT

corporations, will result in more formalized responsibility for maintenance regimes and mandated building of reserve funds. Ongoing costs associated with operations and maintenance will be shared and reduced due to economies of scale (eg. instead of five pump-outs there would be one). Clustered systems also allow for stringent effluent criteria to be met more easily and at a lower cost.

- The treatment system identified for this development utilizes Waterloo Biofilter treatment units, which require minimal energy, have low maintenance requirements, and use a highly engineered filtration medium. The system is designed to work independently of soil conditions, ensuring reliable operation regardless of local conditions. Overall, this approach to wastewater treatment offers numerous benefits over traditional individual septic systems, including improved efficiency, lower costs, and reduced environmental impact.

5.5 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) CONSIDERATION



Main Front Door Clearly Visible from the Street
Source: ATA Architects Inc. 2022



Clear Sight Lines of Public Areas Such As Streets, Open Spaces, and Amenity Areas
Source: Town of Caledon, Caledon Comprehensive Town-Wide Design Guidelines



Front Porch to Promote an Active Street Edge
Source: ATA Architects Inc. 2022



Effective Use of Street Lights
Source: Town of Caledon, Caledon Comprehensive Town-Wide Design Guidelines

5.5 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) CONSIDERATION

To ensure a safe and pedestrian-friendly environment, the design of the subject site should incorporate the principles of Crime Prevention Through Environmental Design (CPTED). The following details should be included in the design:

- The units will be designed and located in a way that maximizes clear sight lines of public areas such as streets, open spaces, and amenity areas.
- Garages located at the front of the dwelling should not project beyond the dwellings front wall or porch.
- Porches will be encouraged to promote a social interaction.
- The main front door should be clearly visible from the street.
- Adequate lighting at the front of each entry to the units and along streets, sidewalks, and amenity areas to ensure pedestrian comfort and safety.
- Street lighting should provide a safe environment for users, reducing the risk of accidents, crime, and vandalism. Illumination should be distributed evenly and reach all areas, especially dark corners or blind spots.
- The amenity space should be centrally located within the development and open and accessible to the public.
- Features such as fences and dry stone walls should be located at a height that does not obstruct views.

5.6 GATEWAY CONSIDERATIONS



Concept Plan Diagram of Proposed Gateways
 Source: ATA Architects Inc. Base Concept Plan by Orchard Design

5.6 GATEWAY CONSIDERATIONS



The use of stone features prominently throughout the community of Alton speaks to its ties with the quarrying industry that has been associated with the environs since the late 1870's. It has been featured in the dry stone walls of the town square, the art work at Alton Mill Arts Centre and the signage marking the entrances and exits to Alton Village.

The use of these materials in combination with signage and plants can be used to create gateways into the development. This can be done at both the proposed vehicular entrance along Agnes Street and at the proposed pedestrian walkway to and from Emeline Street.

Open space could similarly be treated with dry stone to delineate these boundaries similar to what was done for Alton Village Square. Planting of native materials should be used to heighten the quality of the space.



Gateways Throughout Alton
Source: ATA Architects Inc. 2022

**5.7 CULTURAL HERITAGE
COMPATIBILITY**



**5.7 CULTURAL HERITAGE
COMPATIBILITY**

The following are design elements which the proposed development should consider to be compatible with the surrounding cultural heritage resources.

1. The amenity space should incorporate elements similar to Alton Village Square such as the Stone Wall that anchors the space.
2. The proposed development should incorporate a variety of native plant species throughout the site
3. Provide connections to various existing community trails and locations within the community.
4. Provide a mix of distinctive architectural styles, like the Regency Cottage, Georgian and Victorian style, that provides visual interest in the streetscape.

6.0 BUILT FORM



1315 Queen St. W., Alton, Ontario.
Source: ATA Architects, 2022.



1414 Queen St. W., Alton, Ontario.
Source: ATA Architects, 2022.



7 Agnes St., Alton, Ontario.
Source: ATA Architects, 2022.



On the site of the proposed development, there are no existing built heritage resources. In determining the appropriate scale, massing and heights of the proposed development, ATA Architects looked to the surrounding existing historical residential buildings for guidance. A variety of building styles are present, but a common factor is that they were frequently 1.5 stories in height. Many started as very modest homes, given the small rural nature of the community. There are several one-story homes as well. Most of the 1.5 and 1-storey homes have been separated over time to provide for the growth, the changing needs of families and the impacts of 20th-century industrialization and consumerism.

A common feature of the one-storey and one and a half storey heritage homes is the simple geometry of the form. The structures are rectangular or square boxes with sloped roofs. Additions are generally to the rear, mimicking the form of the house. There are occasions when the addition was to the side, and in some instances as well, the addition took the form of a shed roof rather than a gable-ended sloped roof.

The human scale of the one and one and a half storey structures is the complimentary nature to the small historic village landscape. Regardless of the exterior materials and styles, these homes have compatibility due to their similar forms and scale.

6.0 BUILT FORM



Pictures of 1398 Queen St. W., in white stucco warehouse cottage style and the 1 1/2 story 1414 Queen St. W. in red brick house adjacent.
Source: ATA Architects, 2022.



1386 Queen St. W., Alton, Ontario, in a Romanesque Style
Source: ATA Architects, 2022.



1380 Queen St. W., Alton, Ontario in a Victorian Gothic Style
Source: ATA Architects, 2022.

In the photograph on the left, the white stucco workers' cottages are compatible with their one and a half storey brick homes adjacent. Their modest scale does not overpower visually adjacent buildings or their natural setting. Because of these attributes, the simple geometric form of the one and a half storey house was chosen as the dominant form for the proposed development. The form also references back to the heritage homes in the surrounding community, which were the inspiration for the design approach.

Within Alton, there are a number of architecturally distinctive two storey homes of a significant scale. They also were constructed in a variety of styles, largely in either brick or stone. The two storey homes are generally larger and have the advantage in the rural setting of having space surrounding and between neighbouring structures to avoid visual conflicts of competing styles.

The location of the two storey homes in the development is best located as focal points, for example, in corner locations where there may be more open space or at the end of a view corridor.



1422 Queen St. W., Alton, Ontario in a Georgian Style
Source: ATA Architects, 2022.

6.0 BUILT FORM



Pictures of 1409 Queen St. W., Alton Mill Arts Centre and Shaw's Creek.
Source: ATA Architects, 2022.

Setbacks in the village vary. Some homes are well set back from the road, and there are other examples such as 1422 Queen St. W., the illustrated red brick Georgian home that is quite close to the roadway. Utilizing Google maps, the range of setbacks from the street is three to eight meters or more. In the proposed development, due to the advent of the automobile, the front yard setback to the garage must be a minimum of 6 metres to allow a car to park in front of the garage. To reflect the variety and rural nature of Alton Village, varying greater and lesser setbacks to the living areas of the homes are encouraged to create visual movement along the streetscape, expanding and interacting with the spaces that form the front yard.

An important feature of the built heritage in the surrounding area is the use of linear landscape features to layer and buffer the homes from the roads. The use of dry stone walls along the roadways is a distinctive feature. The use of stone walls is particularly appropriate and effective because of the presence of significant stone heritage buildings in the community, like the Alton Mill.

6.0 BUILT FORM



Queen Street West at Victoria Street - Alton Village Square, example of a Dry Stone Wall.
Source: ATA Architects, 2022.



19876 Main St., Alton, Ontario, Regency Cottage Style with Dry Stone Wall
Source: ATA Architects, 2022.

The variety of sizes, shapes and colours in a dry stone wall creates a pleasing buffer that has a visual interest and a human scale. These dry laid stone walls are frequently complimented by another landscape feature - hedges. These are some extensive hedges that are dotted through the area. Apart from their obvious role of creating a separation between public and private areas, hedges of yews, cedars and boxwoods provide colour, texture and visual interest.

Hedges were also traditionally used as foundation planting. In this role, hedges soften the transition of the building meeting the grade and help conceal the foundation wall. The use of traditional native planting is encouraged as well as the layering of planting from house to street edge, potentially for houses in the feature locations such as facing Agnes Street or a common amenity area.

The architectural style of the buildings within the development will play an important role in establishing the overall aesthetic and character of the community. The Builder and their Design Architect will have the freedom to determine the specific architectural style of the buildings, however, it is important to ensure that the proposed style is in line with the community design vision. The Control Architect/Designer may request changes to the dwelling's architectural style only if it conflicts with the design objectives of the community.

6.0 BUILT FORM



1341 Queen Street West, Alton, Ontario
Source: ATA Architects Inc. (2022)

Address:	1341 Queen Street West, Alton
Designated or Listed:	Listed
Style:	High Victorian Gothic Style
Massing & Form:	<ul style="list-style-type: none"> • 2 storey front section • 1 storey additions at the rear • L-shape footprint • Open gable roof • Side porch
Details:	<ul style="list-style-type: none"> A. Field stone B. Front façade shows signs of being rendered as faux square cut stone C. Porch with gingerbread detailing D. Double hung 2 over 2 windows with rounded tops. E. Stone sills and window arches F. Entry setback from front

The walls are of fieldstone construction with mortar lines on the front that speak to the front façade having once been rendered to create a faux cut stone appearance. The use of a similar form of porch on end units of the new development would add to variety of house designs within the community. Like many of the older buildings there is a continuity of materials with the exception of the rear most addition which has been clad solely in Board & Batten siding.

6.0 BUILT FORM



19788 Main Street, Alton, Ontario
Source: ATA Architects Inc. (2022)

Address:	19788 Main Street, Alton
Designated or Listed:	
Style:	Italianate Style
Massing & Form:	<ul style="list-style-type: none"> • 2 storey building • Flat roof • Rectangular mass
Details:	<ul style="list-style-type: none"> A. Use of red brick with buff brick detailing B. Detailing in buff brick i.e. quoining, window arches C. Generous eaves with bracket details D. Balconette above the main entrance E. Double hung windows with rounded tops.

This building is more representative of a main street commercial establishment but the detailing seen in the brick, windows and eaves are all items that could possibly be incorporated into the design of the units.

6.0 BUILT FORM



1386 Queen Street West, Alton, Ontario
Source: ATA Architects Inc. (2022)

Address:	1386 Queen Street West, Alton
Designated or Listed:	Listed
Style:	Italianate Style
Massing & Form:	<ul style="list-style-type: none"> • 2 storey building • Symmetrical design that was common to the style • Porch that wraps around the house • Hip roof
Details:	<p>A. Use of red brick with buff brick window arch detailing</p> <p>B. Generous eaves with bracket details</p> <p>C. Porch with Italianate/gingerbread detailing</p> <p>D. Double hung 2 over 2 windows with rounded tops.</p>

The building is of a symmetrical design common to the style. It is recommended the design of the new units, whether symmetrical or asymmetrical, be balanced. The use of two tones of brick to create the details is a recommended approach to be included in the design of the proposed units. The use of wrap around porches on some of the units in the new development would add to the variety of house designs within the community. The use of a light and detailed framework for the porch, as seen on this building, would add to the artistic merit and quality of the unit designs.

6.0 BUILT FORM



19876 Main Street, Alton, Ontario
Source: ATA Architects Inc. (2022)

Address:	19876 Main Street, Alton
Designated or Listed:	Listed
Style:	Ontario Cottage, Neoclassical style
Massing & Form:	<ul style="list-style-type: none"> • 1 storey brick building • 1 storey additions either side of the main building, clad in siding • Symmetrical front façade • Open gable roof on main building
Details:	<ul style="list-style-type: none"> A. Use of red brick (painted over) B. Horizontal siding on additions C. Door surround embellishment of Georgian design D. Brick window lintel details

The use of smaller additions on the sides of the main building is a possible approach for the inclusion of a garage or porch/sun room outside of the buildings footprint. It would be preferable in such a scenario to step such sections back from the front façade to decrease their visual impact. The use of a door surround at the main entrance in a Georgian style would help to define the entrance to the units, add artistic merit to the design and tie back to the built forms in the surrounding community

6.0 BUILT FORM



19615 Main Street, Alton, Ontario
Source: ATA Architects Inc. (2022)

Address:	19615 Main Street, Alton
Designated or Listed:	Listed
Style:	Victorian Gothic Style
Massing & Form:	<ul style="list-style-type: none"> • 2 storey building at the front • 1 storey addition behind • Porch that wraps around the front and side of the house • Open gable roof
Details:	<p>A. Use of red brick and buff brick in the 2 storey section</p> <p>B. Board & Batten siding in the rear addition</p> <p>C. Detailing in buff brick i.e. quoining, window arches</p> <p>D. Double hung windows with rounded tops</p>

The use of two tones of brick to create the details is a recommended approach to be included in the design of the proposed units, in particular with the quoining and the window arches. The wrap around “porch” of this house is not original and is actually an addition. The use of wrap around porches on some of the end units of the new development would add to variety of house designs within the community but it should be executed in a similar fashion to 1386 Queen or 1341 Queen. The bulky design here is not recommended.

6.0 BUILT FORM



19876 Main Street, Alton, Ontario
Source: ATA Architects Inc. (2022)

Address:	19817 Main Street, Alton
Designated or Listed:	Listed
Style:	Regency Style or Ontario Vernacular Cottage
Massing & Form:	<ul style="list-style-type: none"> • 1 1/2 storey building • Symmetrical front façade with later garage addition on the side. • Front entry room/mud room addition • Hip roof with shed dormers
Details:	<ul style="list-style-type: none"> A. Shed dormer with Board & Batten siding B. Symmetrical façade C. Garage addition set back from the front façade

Little remains beyond the basic form to associate this building with the Regency style, the details have been stripped from it. The windows are a modern casement rather than a traditional multipaned double hung, they should not be used in the design of the new units.

Also to be avoided is the use of a flat roof as shown on the front addition and the garage.

What can be taken from this building is its strong use of symmetry in the original building and that the garage is noticeably setback from the front façade.

6.0 BUILT FORM



Address:	1398 Queen Street W, Alton
Designated or Listed:	Listed
Style:	Late Neoclassical Style
Massing & Form:	<ul style="list-style-type: none"> • 1-1/2 storey building • Rectangular footprint • Divided into multiple units • Open gable roof with hipped dormers
Details:	<ul style="list-style-type: none"> A. Stucco cladding B. 3 hipped roof dormers evenly spaced C. Triangular pediments above each units door D. Plain façades, no additional detailing

A modest level of detail is demonstrated. It is an example of a multiple unit building.



1398 Queen Street West, Alton, Ontario
Source: ATA Architects Inc. (2022)

1398 Queen Street West, Alton, Ontario
Source: ATA Architects Inc. (2022)

6.0 BUILT FORM



19767 Main Street, Alton, Ontario
Source: ATA Architects Inc. (2022)

Address:	19767 Main Street, Alton
Designated or Listed:	Listed
Style:	Georgian Style farm house
Massing & Form:	<ul style="list-style-type: none"> • 2 storey building • Rectangular footprint • Open gable roof with cornice return
Details:	<ul style="list-style-type: none"> A. Stucco cladding B. Cornice return at roof C. Modest door surround D. Plain façades, no additional detailing

A modest level of detail is demonstrated as is typical with a Georgian style building.

The windows are not original to the building, a more appropriate design for them would be double hung 2 over 2 or 4 over 4. The shutters are also not of appropriate proportion for the windows. A shutter should always be designed to be half the width of the window so that proportionately it would look like the shutters could meet in the middle of the window if they were closed.

6.1 ARCHITECTURAL CONSIDERATION



Agnes St - Concept of Common Area
Source: Orchard Design (2023)

After a review of the community of Alton we have developed the following list of design principles related to form and materiality that should guide the design of the new development.

BUILT FORM

- Incorporate
 - » A blend of architectural styles shall be used across the site and complements the surrounding community's character. Architectural styles should include but are not limited to the Regency, Georgian, Victorian and Early Ontario Vernacular Styles.
 - » Each residential block should consist of either a single architectural style or two compatible and complementary styles. In each block the details of the facade should be consistent with the architectural style.
 - » The proposed development should consider architectural cues from its surroundings, including height, massing, setbacks, scale, proportion, materials and colours, to appropriately integrate new development within the existing community
 - » Dwelling blocks should be no taller than 2.5 storey in height (proposed zoning permits up to 10.5 m maximum height).
 - » Recess garage from the front façade
 - » Heritage homes are generally a simple massing, with" tail "additions
 - » Single roof gables over entrances are a common feature
 - » Façades should be balanced whether symmetrical or asymmetrical
 - » The appearance of building exteriors facing public areas should be improved through enhanced building articulation and upgraded façade treatments.
 - » Enhance priority lot façades with well-articulated architectural elements to improve the development's façade variety.

6.1 ARCHITECTURAL CONSIDERATION



Agnes St - Concept of Typical Block
Source: Orchard Design (2023)

- **Avoid**
 - » Avoid mixing discordant styles or architectural elements within a block design.
 - » Garages are not historic and should not be visually dominant
 - » Double gables are not heritage features

DETAILS

- **Incorporate**
 - » Porches and porticos are common features as are decorative gingerbread, columns and brackets
 - » Columns on porches should be proportionate to the height and scale of the porch
 - » Gables were frequently decorated bargeboard and distinctive features
 - » Windows were punched openings and generally not grouped
 - » Heritage houses had multipaned windows with wood muntins. The configuration of the simulated divided lights in new windows should be compatible with the house style
 - » Shutters if used should be each half the size of the window opening and appear to close the window
 - » The front door was treated as a key character contributing feature on many heritage buildings and it should be similarly treated in the designs for these new buildings.
 - » Architectural features are encouraged to complement the historic building elements on-site or within the settlement area

6.1 ARCHITECTURAL CONSIDERATION



Agnes St.
TERMINUS

- Avoid
 - » Picture windows on facades are not historic in character
 - » Do not create a mismatch of architectural details from different architectural styles

MATERIALS

- Incorporate
 - » Natural materials like wood, brick and stone were the common exterior materials
 - » Only one material was typically used on the exterior
 - » In the case of brick it is acceptable to use contrasting colours to highlight architectural details such as quoining, window arches, etc.
 - » Use a variety of high-quality materials and colours to enhance visual interest. Material choices and colours should be complementary to the building's assigned architectural style.

SITING

- Incorporate
 - » The location of residential dwellings plays a significant role in creating a visually diverse streetscape and contributes to a community's distinctive and well-rounded character.
 - » It is recommended that all units include outdoor living areas, such as stoops, porches, patios, or amenity areas, to promote community safety by providing "eyes on the street."
 - » Residential lots should be situated with a setback from the sidewalk to get the maximum variation in setbacks some units are set very close to the street. Their private amenity areas are the front porch and rear yard, not a large front yard. This is reflective of many of the

**6.1 ARCHITECTURAL
CONSIDERATION**

older homes along Queen Street and accentuate the difference in setback for those homes that are set back further.

- » Each dwelling block should have varying setbacks and off sets from adjacent dwelling units. Garages can be setback from the front facade to allow to break up the mass of the block.

FUTURE CONSIDERATIONS

- » During future design development stage, incorporation of accessibility and universal design features, where practical for both interior and exterior spaces, is encouraged.

6.2 PROPOSED SCALE, MASSING AND HEIGHT



19876 Main St., Alton, Ontario, Regency Cottage Style with Dry Stone Wall
Source: ATA Architects, 2022.

It is proposed that the development will consist predominantly of one-and-a-half storey units, which is the prime residential form that sympathetically adheres to and is compatible with the surrounding homes in Alton Village. These will be supplemented by a scattering of single-storey, two-storey and up to two-and-a-half storey units (where the grade change requires walk-ups) to provide a variety in scale, massing and height. The height of the homes should range from 6m to 10.5 meters.

The Regency Cottage illustrated adjacent is a key example of the recommended form of development for the site, especially in special broader locations where the low horizontal nature of the design can be fully realized. The example includes features which, in general, are recommended for the housing:

1. Symmetrical Facade (balanced asymmetry is acceptable)
2. Simple form and geometry
3. Detailed feature entry - centre focus
4. Horizontal drystone garden walls
5. Gable wings and additions preferable over shed forms

The use of open porches and porticos is part of the cultural heritage resources in the surrounding area.

These architectural elements provide a protected outdoor space from the elements and add detail and layering to the façade. Open porches also provide an added three-dimensional quality. When porches and porticos are well designed, they help focus on the façade and front door.

Garages are a necessity in designing a home. To avoid them dominating the streetscape, the garage should be setback from the face of the house. Where possible, garages in the proposed development should not be side by side. When this occurs, the garage should be staggered. It is recommended that overhangs and garage porches be employed to shelter the garage façade.

6.2 PROPOSED SCALE, MASSING AND HEIGHT



Simple Form and Geometry

Symmetrical Facade



Gable Wings and Additions Preferable Over Shed Forms

Horizontal Drystone Garden Walls



Detailed Feature Entry (Centre Focus)

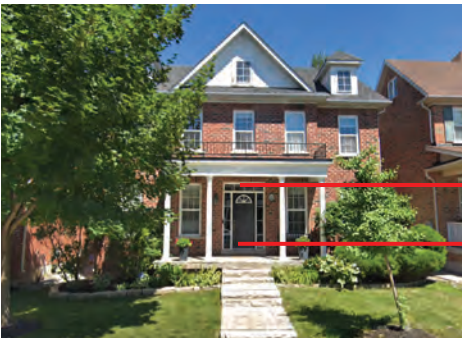
6.2 PROPOSED SCALE, MASSING AND HEIGHT



Design of the door to be compatible with the style of the house



Colour to individualize entrances



Consideration of sidelights and transom windows to increase the scale of entry
Stained or painted doors

6.2 PROPOSED SCALE, MASSING AND HEIGHT



Porches, Porticos and Front Landings



Details such as Entrance Door, Window Location, Architectural Features in Mouldings



Details such as Entrance Door, Window Location, Architectural Features in Mouldings

This design approach visually recesses the garage and places it in shadow.

In addition to the above measures, doorways should be given prominence. A variety of measures are recommended:

1. Design of the door to be compatible with the style of the house
2. Use of mouldings and surrounding details to increase the visual presence of the entranceway
3. Consideration of sidelights and transom windows to increase the scale of entry
4. Use of colour to individualize entrances
5. Stained or painted doors
6. Lighting above entrances
7. Use of complimenting architectural accessories adjacent to the door, such as attractive house numbers or distinctive lighting fixtures

The staggering front yard setbacks shall give individuality to each residential unit. Because of the proposed development for townhouses, there also has to be an aspect of compatibility. The application of the 1.5 storey gable roof form to the majority of the house designs built both achieves compatibility within the proposed development and with the surrounding community. The repetitions of adjacent units will be avoided, and should it occur, a similar unit plan can appear totally different with the application of a variety of architectural measures. Individuality can be achieved by one or more of the following:

1. Change in style
2. Change in details such as entrance door, window location, architectural features such as mouldings
3. Application of porches, porticos and front landings

6.3 MATERIALITY



6.3 MATERIALITY

While there is a variety of materials used within the community of Alton there is a definite prevalence of five of them within the built structures.

- A. Brick, sometimes a uniform colour sometimes two tone (mix of red and buff)
- B. Stone
- C. Board & Batten Siding
- D. Asphalt Shingles
- E. Metal Roofing

Many of the buildings demonstrate a uniformity of material. For example, a brick building should utilize brick in its detailing and a stone building should utilize stone in its detailing. This is the predominant nature of the community with the instances of combining these materials is in the minority. Where such combinations occur it is often with Board & Batten siding and it is used to delineate a garage or a second floor.

6.3 MATERIALITY



- 6 over 6 Double Hung Window
- Multipane Windows with Divided Lights
- Detailed Stone Sill

Alton Mill with Original Red Multipane Windows
Source: ATA Architects Inc. (2022)



Example of Restored Buildings or New Buildings with Simulated Divided Lights
Source: Riddle Windows and Doors

In reviewing the cultural heritage of the surrounding community, the heritage houses were built with one material. It is therefore recommended that the homes be built of one material in contrast to the more contemporary use of materials to define upper and lower floors on the front façade and from rear and side elevations. The proposed 1.5 storey range of styles for the development site are:

Regency Cottage, Victorian Revival Farmhouse, Georgian and Ontario Vernacular revisions of each.

Natural materials were used in constructing each style of building. The predominant materials were brick, stone and wood cladding. The same materials are proposed for this housing development; to be employed in a heritage palette of colours.

An important part of the exterior walls and especially the streetscape façade are the openings. Doorways and windows are important elements in creating the character and visual interest. Large picture windows and single pane windows are not appropriate. On the front façade view, in particular, their use creates dark voids, in the wall face that are unsympathetic to the traditional styles. Multipane windows with simulated divided lights are recommended. The glass panes in windows were initially small, but as technology developed windowpanes grew in size and the number of panes decreased in each window. In all locations, the window pattern should not be less than 2 over 2, whether a casement or double/single hung window. In priority locations, a greater number of divisions should be considered such as 6 over 6. The advantage of the window divisions is: compatibility with the cultural heritage of the surrounding community, compatibility with traditional architectural styles and added detail, texture and visual interest to the façade.

6.3 MATERIALITY

The theme of the proposed development is traditional. The interest is compatibility with the adjacent cultural heritage resources. Like the surrounding community there are numerous vernacular interpretations of historic styles. The proposed development is an interpretation of those styles, utilizing their basic principles of form, mass and proportion to create an enclave of townhomes. The goal is not to differentiate by a theme, but rather integrate the development within the community of Alton.

6.3 MATERIAL PALETTE



Board and Batten Siding

- Colour schemes should be complementary with surrounding materials colours .



Wood Siding

- Cladding material should be high-quality and low maintenance.
- Colour schemes should be complementary with surrounding materials colours .



Brick Veneer

- Only one material was typically used on the exterior.
- In the case of brick it is acceptable to use contrasting colours to highlight architectural details such as quoining, window arches, etc.



Brick Veneer

- Colour of brick can vary throughout the development so long as it is consistent and uniform throughout a unit design.



Natural or Cultured Stone

- Natural or cultured stone is encouraged as the exterior cladding material, particularly for priority lots



Roof Shingles

- Roof and shingle colour should complement the colour of the primary wall cladding.

6.3 MATERIAL PALETTE



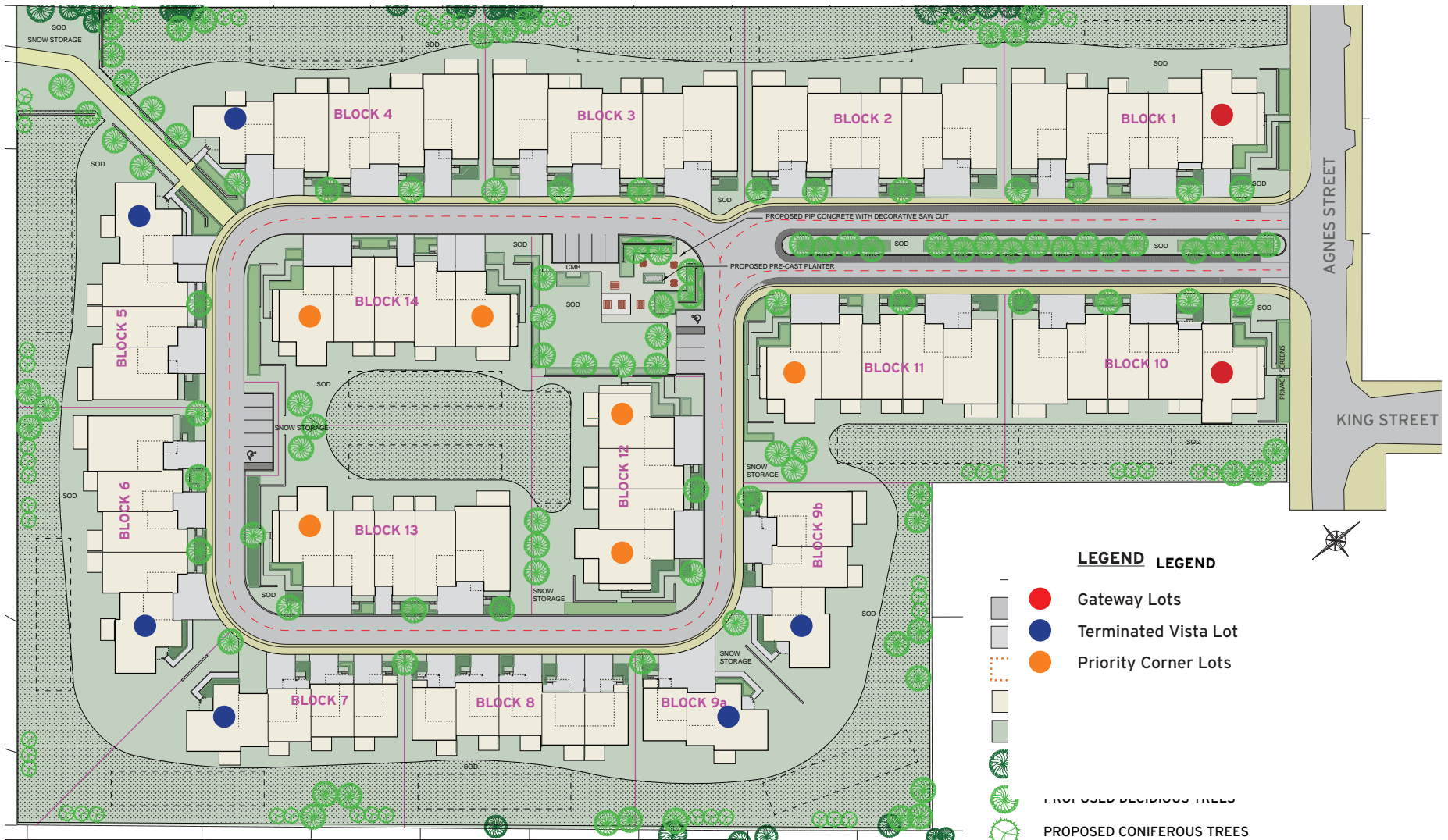
Paint Colours

- Colour schemes should be complementary with surrounding materials colours.
- The above is a selection of colours, not limited to heritage colours, located throughout Alton that the new development can reference.

MATERIAL PALETTE

The adjacent Material Palette highlights recommended materials and colours that can be used throughout the proposed development. During future design development phase, a more detailed material sample board should be presented for review.

6.4 PRIORITY LOT CONSIDERATIONS



6.4 PRIORITY LOT CONSIDERATIONS

Priority Lots are special residential lots that occupy highly visible and prominent locations in the community. These lots are typically located at the end of a view corridor or visible from the road way. Examples of priority lots include gateway lots, priority corner lots, and terminated vista lots.

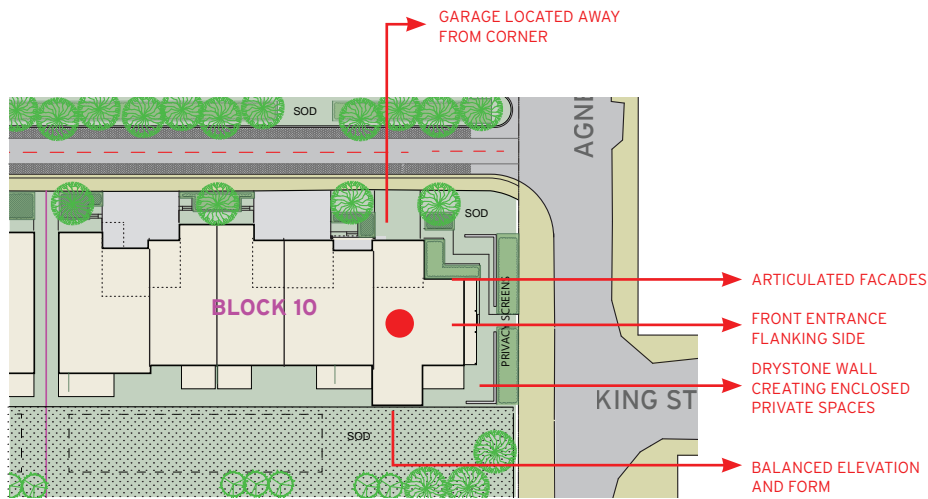
Given their visual prominence and contribution to the overall character of the community, priority lots should receive greater design attention and enhancements compared to other lots. This will be achieved through greater design articulation, including but not limited to building shape or massing, main entry design, garage treatment and location, architectural detailing, and exterior building materials and/or color.

At the detailed design stage, particular attention is to be paid to each priority lot, taking into account its exposure level and unique features. The site plan application should identify the development's priority lots and establish specific architectural enhancements as outlined in this document to ensure their aesthetic appeal and reinforce the community's character.

Within the proposed development, the priority lots are along Agnes Street, surrounding the amenity area and the interior and exterior corners of the site. Refer to the concept site plan, which identifies these priority sites. Units at the ends of townhouse blocks vary in design but define the edges of blocks and are given architectural importance. Every unit, however, must be functional and appealing.

The priority lots are proposed modified visions of the Regency Cottage, 19876 Main Street, except for the outside corners, here Victorian Revival-style homes are illustrated. The outside corners are also suitable locations of 2 storey Georgian style homes all three examples are taken from the cultural heritage of the surrounding community.

6.4 PRIORITY LOT CONSIDERATIONS



LEGEND

● Gateway Lots

Gateway Lots

Gateway Lots are located at a prominent entrance point where they serve as a transition between different community characters or uses, providing a welcoming sense of entry and arrival for residents and visitors. These lots are strategically positioned to offer a visually stunning and welcoming experience, and as such, will receive a greater degree of design attention.

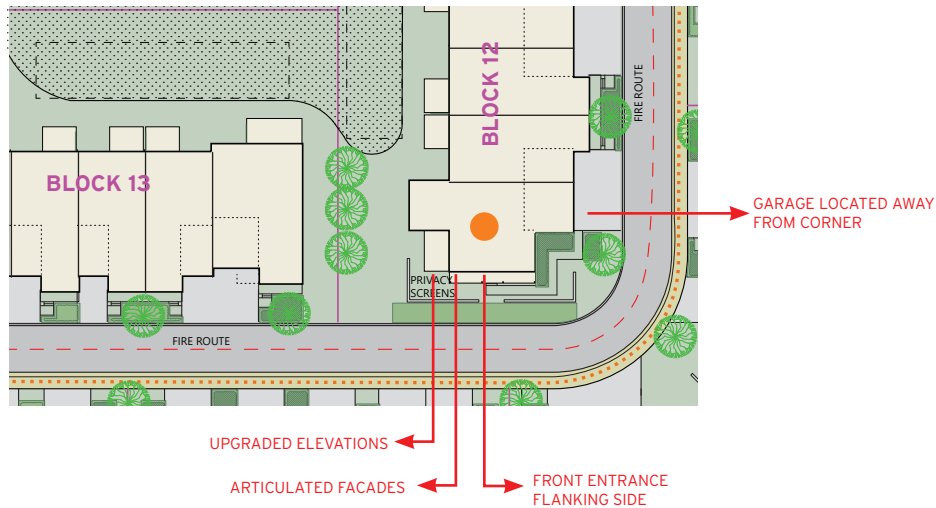
The design of Gateway Lots will prioritize architectural detailing, such as the building shape, massing, and exterior finishes, to ensure they are visually prominent and in harmony with the surrounding community's character. Additionally, the landscape design of Gateway Lots will feature enhanced planting and hardscaping features that serve to further enhance the lot's visual appeal.

**6.4 PRIORITY LOT
CONSIDERATIONS**



Agnes St - Concept of Entry
Source: Orchard Design (2023)

6.4 PRIORITY LOT CONSIDERATIONS



LEGEND

● Priority Corner Lots

Priority Corner Lots

Corner lots are characterized by their unique positioning, as they have frontage on two streets, which allows for various configurations of main entry and garage access.

Priority Corner Lots can also abut open spaces, which has a high level of exposure and warrant high design quality and architectural detailing. These lots contain exposed side and rear elevations that shall be highly articulated with similar materials as the main façade to provide visual interest from publicly accessible spaces.

Corner Lots should have an active frontage on both sides of the streets, by designing secondary entrances or different active entrances such as garages on one street and main entrance on another, to enhance safety and security (CPTED)

Whenever possible, designers should incorporate design elements that add visual interest to the building. For instance, breaking up the roofline of corner buildings or incorporating varying wall planes or projecting bays with gable features will add aesthetic appeal and enhance the streetscape.

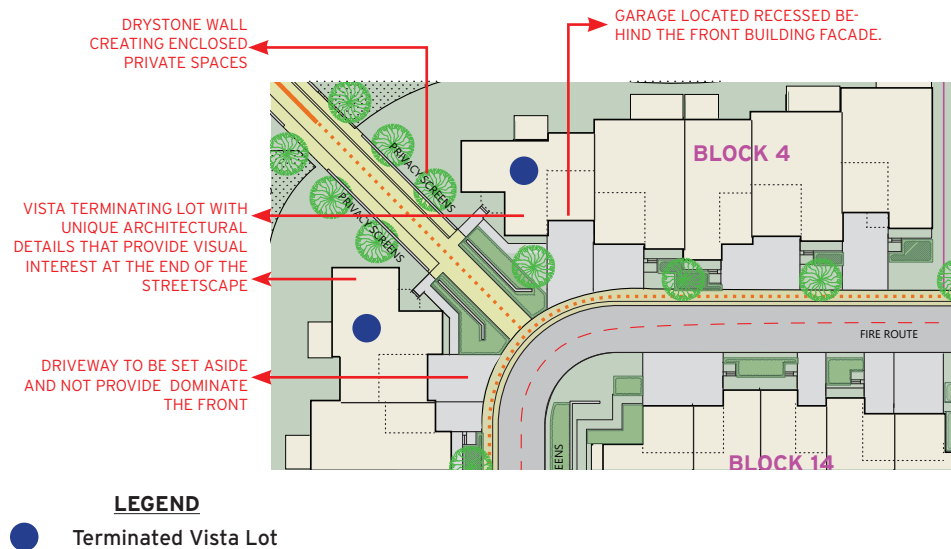
To maintain a cohesive and visually appealing streetscape, lots adjacent to open spaces should locate their driveways as far as possible from the public space.

6.4 PRIORITY LOT
CONSIDERATIONS



Agnes St - Concept of Common Area
Source: Orchard Design (2023)

6.4 PRIORITY LOT CONSIDERATIONS



Terminated Vista Lots

Terminated Vista Lots are strategically placed at the end of view corridors or insider curved corners, making them highly visible and prominent to passersby. As such, they require special attention in terms of their design.

To minimize the presence of cars on Terminated Vista Lots, building models should aim to adopt dual frontage facades. Alternatively, the orientation of the lots should de-emphasize the garage and driveway, positioning them to the periphery of the axial view. To minimize their visual impact, garages may also be recessed behind the building's main wall or located to the terminus view's periphery. The sides of the garage exposed to the public should have additional fenestration, and materials used should be consistent with those on the building's front elevation. Additionally, driveway locations of adjoining lots should not merge at the street line.

On curved streets, architectural details on the front façade should be extended around and continued on the interior side elevations to account for the curve and bend of the streets, which expose the interior side elevation.

Terminated Vista Lots should incorporate architectural detailing that enhances their visual interest within the streetscape. This can be achieved by upgrading facade designs, including increased fenestration, a mix of masonry types and colours, window and entry features, and accentuated roof lines where possible.

**6.4 PRIORITY LOT
CONSIDERATIONS**



Agnes St - Concept of Terminus
Source: Orchard Design (2023)

6.5 SUSTAINABILITY



The proposed development should consider sustainable initiatives within its dwelling design to minimize environmental impact and reduce energy and water consumption: The following sustainable features should be considered:

- Incorporation of water conservation features such as low-flow toilets, water-efficient appliances, rain water harvesting systems and gray water recovery should be considered to reduce water consumption and costs.
- Utilization of energy-efficient appliances and fixtures throughout the development to reduce energy consumption and operating costs.
- Use of high-quality insulation and windows to minimize thermal loss and reduce heating and cooling costs.
- Utilization of sustainable building materials and construction methods such as use of recycled materials, local materials, and certified wood products where feasible to minimize environmental impact.
- Use of low volatile organic compounds (VOCs) emitting materials to promote healthier indoor air quality.
- Use of energy-efficient lighting such as LED to reduce energy consumption and costs.
- Implementation of smart thermostats for energy-efficient heating and cooling.
- Use of energy-efficient water heaters to reduce water consumption and costs.
- Consider including rough-ins of future sustainable features such as EV charging stations.
- Consider pursuing a recognized rating system or equivalency throughout the development.
- Performance measurement systems such as LEEDS, HERS or equivalents will be explored to ensure technologies that maximize environmental benefits in the most cost efficient manner are employed.

7.0 CONCLUSION

The Agnes Street Development's proposed vision is to establish an integrated community that is sustainable and active while preserving the natural and cultural heritage resources surrounding it. The development's built form is designed to be in harmony with the neighboring community and respect the existing natural and cultural heritage resources. All policies and guidelines applicable to the site have been implemented throughout the development proposal.

The proposed development optimizes the number of dwelling units within the site while creating visually captivating features, views, and vistas. All dwelling units will have access to amenity spaces in the center of the development. The circulation throughout the site creates opportunities for views and interesting landscape vistas. The proposed development also encourages connections to the surrounding trail and community networks by establishing linkages and walkways. The proposal includes a pedestrian-scaled, safe, and accessible street.

The proposed development reintroduces native plants to the site, maintains appropriate setbacks, and controls and treats all stormwater on the site before it enters the river systems. New landscaping elements, including trees, shrubs, privacy screens, dry stone walls, and street furniture, will contribute to the creation of an attractive community.

The design of the proposed buildings has been carefully planned to reference the surrounding cultural heritage resources while creating a unique look that complements the town. Sustainable practices for water control and energy reduction will also be implemented.

7.0 CONCLUSION

This comprehensive Urban Design and Cultural Heritage Brief provides an appropriate approach for the proposed development that considers the existing cultural heritage resources within the surrounding community and guides the design principles to ensure compatibility and placemaking through appropriate transition and community integration.

7.0 CONCLUSION

Note: This report may be revised once feedback is received through the development process. Minor changes to conceptual site plan contained in the report may be also be required as a result of the development review process and as long as the overall intent of the recommendations contained in this report are maintained, adjustments to the plan won't necessitate updates to this report

The following are reports for the proposed development (by others):

- Noise Impact Assessment Report
- Phase 1. Environmental Site Assessment
- Phase 1 and Phase 2 Archaeological Survey and Report
- Preliminary Stormwater Management Report
- Arborist Report and Tree Preservation Plan
- Planning Justification Report
- Traffic Impact Assessment
- Hydrogeological Investigation and Septic Impact Assessment
- Geotechnical Report
- Functional Servicing Report
- Healthy Development Assessment
- Waste Management Plan
- Sewage System Design and Functional Servicing Report

APPENDIX

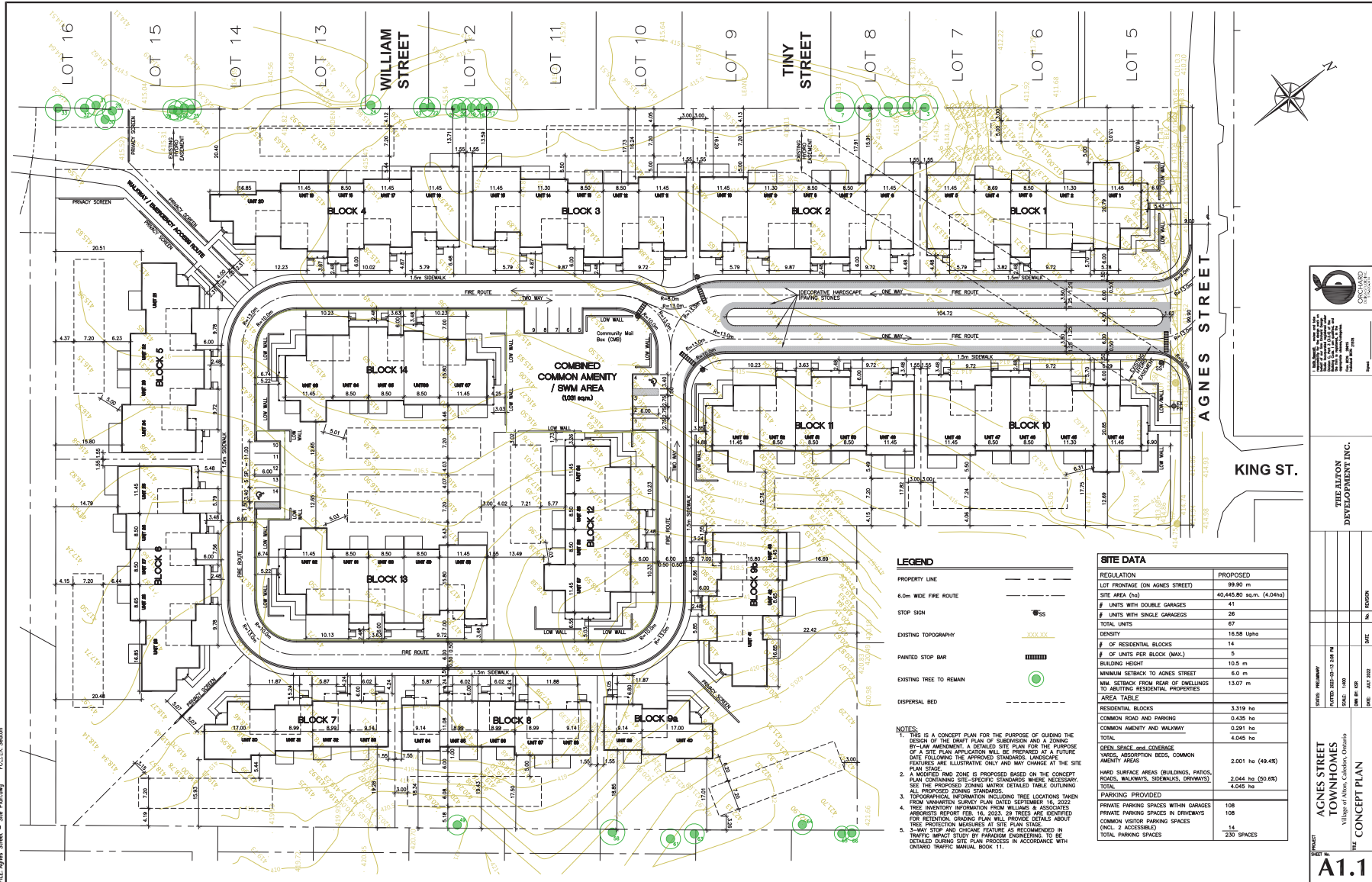
CONCEPT PLAN

LANDSCAPE PLAN

RECOMMENDED PLANT LIST

BIBLIOGRAPHY

CONCEPT PLAN



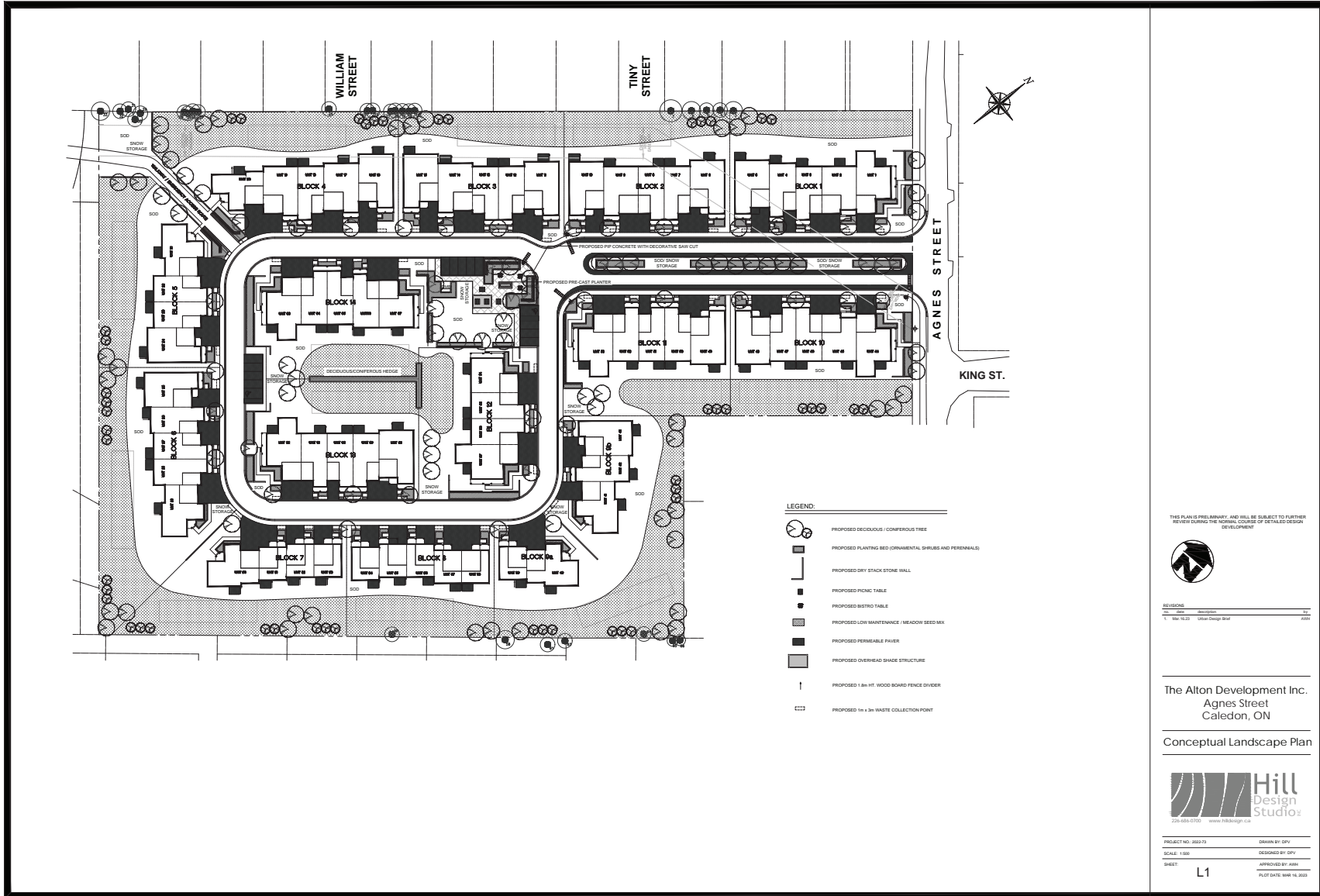
THE ALTON DEVELOPMENT INC.

AGNES STREET TOWNHOMES
 Village of Alton, Cambridge, Ontario

CONCEPT PLAN

A1.1

LANDSCAPE PLAN



THIS PLAN IS PRELIMINARY AND WILL BE SUBJECT TO FURTHER REVIEW DURING THE NORMAL COURSE OF DETAILED DESIGN DEVELOPMENT



REVISIONS	DATE	DESCRIPTION	BY
1.	Mar 16, 20	Urban Design Brief	ADP

The Alton Development Inc.
Agnes Street
Caledon, ON

Conceptual Landscape Plan



PROJECT NO. 2022-71 DRAWN BY: DPV
SCALE: 1:500 DESIGNED BY: DPV
SHEET: APPROVED BY: AMM
PLOT DATE: MAR 16, 2020

L1

RECOMMENDED PLANTING LIST

The following are recommended plant list provided by Hill Design Studio.

- Ironwood (*Ostrya virginiana*)
- Blue Beech (*Carpinus caroliniana*)
- Burr Oak (*Quercus macrocarpa*)
- Hackberry (*Celtis occidentalis*)
- Serviceberry (*Amenlancher laevis*)
- Sugar Maple (*Acer saccharum*)
- Sumac (*Rhus typhina*)



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