

# 84 NANCY STREET

BOLTON, TOWN OF CALEDON

## CULTURAL HERITAGE IMPACT ASSESSMENT

ISSUED: July 2, 2019



ERA

Cover Photo: View of Site from end of Nancy Street (ERA, 2018).

Project # 18-171-01  
Prepared by PE / SI / EC / SC

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# EXECUTIVE SUMMARY

## Background

This Heritage Impact Assessment (HIA) has been prepared by ERA Architects, Inc. (ERA). It considers a proposal for the redevelopment of 84 Nancy Street, in the Town of Caledon (the “Site”).

## Cultural Heritage Value

The Site contains a single detached home, a garage and open space. It is designated under Part V of the *Ontario Heritage Act*, as part of the Village of Bolton Heritage Conservation District (“HCD” or the “District”). The buildings on the Site are categorized as “non-contributing buildings” in the HCD Plan.

## Proposed Development

The proposed redevelopment anticipates the construction of an 8-storey residential building set into the natural slope of the land at the southern boundary of the HCD.

## Impact on Heritage Resources

The proposed development will not have a physical impact on nearby heritage resources or the District. However, it will have a visual impact on some of the District’s heritage attributes, including its setting and viewsapes described in the HCD Plan.

## Mitigation

Given the anticipated visual impact of the proposed development, we recommend the following mitigation strategies:

- Modify the building massing to reduce its perceived scale in the context of Bolton’s “green bowl” landscape;
- Shift the building volume away from the Queen Street South edge of the property to maintain legibility of the Queen Street Gateway;
- Position volumes strategically to obstruct utility structures (e.g. water towers) from views within the valley;

- Minimize hard and straight silhouette lines above the tree line that demarcates the bowl;
- Provide a lush and textured landscape, preferably with native species, to extend the “green bowl”;
- Utilize recommended tree and shrub species in the HCD Plan;
- Reference planting context in the landscape plan, specifically the naturalized areas between Nancy Street and Queen Street, Ted Houston Memorial Park, and prevalence of Black Walnuts on Nancy Street;
- Reference existing slope in grading and landscape plan;
- Blend/screen any necessary surface parking into the “green bowl” (e.g. turf-grid permeable surface, extend tree canopy over parking, lush and sustainable landscaping, etc.);
- Ensure building materials are complimentary to the District’s character; and
- Provide high quality architecture that is of its time.

## Conclusion

The redevelopment of the Site presents an opportunity to improve the transition at the southern boundary of the District, between the Community Centre and its water towers and the established Nancy Street streetscape and Village core. The building will add to the growing number of medium density residential buildings in Bolton and support the evolving built character of the Village.

The proposed design will have a visual impact on heritage attributes of the District, in particular views to the valley slopes and green buffer that surrounds the Village of Bolton. This impact can be mitigated to improve the relationship of this development to the HCD and surrounding valley lands. This report recommends mitigation measures in service of that objective.



# 1 INTRODUCTION

## 1.1 Scope of the Report

ERA Architects Inc. (ERA) were retained as the heritage consultant for the redevelopment of 84 Nancy Street (the “Site”). This report considers the impact of the proposal on the Bolton Heritage Conservation District.

The purpose of an HIA is to evaluate the proposed development in relation to cultural heritage resources and recommend an overall approach to the conservation of the heritage value of these resources.

This report was prepared with reference to the following:

- Ontario Heritage Tool Kit;
- Parks Canada Standards and Guidelines (2010);
- Provincial Policy Statement (2014);
- Town of Caledon Official Plan (2018); and
- Village of Bolton Heritage Conservation District Plan (2015).



## 1.2 Site Location and Description

The Site is located on Nancy Street, south of King Street East and west of Queen Street South, in the community of Bolton, the Town of Caledon's largest urban centre. The Site is bounded by a residential neighbourhood to the north, a wood lot and park to the west, and a community center and water tower to the south.

The Site is currently occupied by a single detached home, a garage and open space.



Property maps, Site identified in blue (Town of Caledon Maps, annotated by ERA).





Aerial view, with the Site outlined in blue (Google Images).



Looking south towards the house on the Site (ERA, 2018).



Looking south on the Site (ERA, 2018).



Looking north on the Site (ERA, 2018).

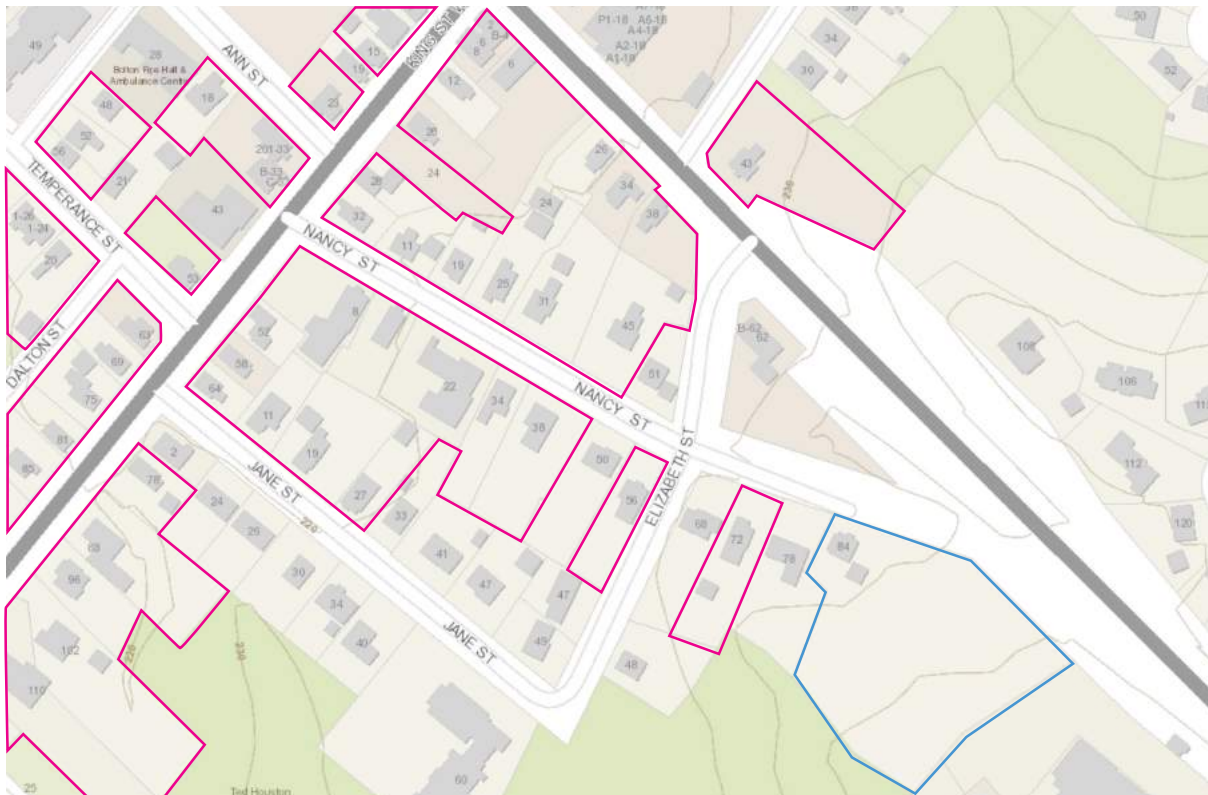
### 1.3 Heritage Status

The Site is designated under Part V of the *Ontario Heritage Act*, as part of the Village of Bolton Heritage Conservation District (the “HCD” or the “District”).

The buildings on the Site are identified as “non-contributing” within the HCD Plan. Non-contributing buildings are generally modern buildings or heavily altered historic buildings that no longer contribute to the historic character of the village.

### 1.4 Adjacent Heritage

There are no contributing buildings adjacent to the Site. However, the Site is nearby to contributing buildings, which includes buildings on many of the properties on Nancy Street north of Elizabeth Street.



Properties with contributing buildings identified in pink, and Site in blue (Town of Caledon Maps, annotated by ERA).



## 2 EVOLUTION OF BOLTON

The Village of Bolton is situated along the Humber River, and on the traditional lands of the Haudenosaunee, Huron-Wendat and Anishinabewaki First Peoples. The Humber River provided an integral connection for Indigenous peoples between the northern shore of Lake Ontario and the Lake Simcoe Georgian Bay region.

The Village of Bolton developed as a 19th century mill village nestled in the valley lands, which has evolved into a contemporary village, within the Town of Caledon. Suburban development expanded outward from the historic village, over the valley crest, which forms today's larger community of Bolton.

First surveyed in 1819 by James Chewitt, the village's origins are directly linked to the land purchase and construction of the first gristmill by George Bolton in 1822. The mill was located on a 200-acre site along the Humber River at the bend of Mill Street. Precedented by this established industry, several other industries located nearby, benefiting from the Humber River's waterpower.

By 1840, Bolton had grown to include 14 log buildings, two blacksmiths, two shoemakers, a tailor and a hotel. Several new businesses opened or expanded over the next 30 years. In 1870, construction of the Toronto and Grey Bruce Railway line between Weston and Bolton contributed to the village's growth, which led to Bolton's incorporation as a village in 1872.

Once incorporated, development of schools, churches and other municipal services occurred. Several companies and businesses established themselves in the village, contributing to further expansion. While Bolton's establishment and growth can be attributed to the prosperity of milling and other industrial activity on the Humber River, consistent growth carried forward through to the early 20th century.



Looking south on Queen Street towards the south hill.  
c. 1920s (PAMA).



1939 Fire Insurance Map (PAMA).

## POST-1945 EXPANSION

Further expansion and development of Bolton continued and the village thrived post-1945. Residential areas began to appear outside the core, and evidence of the village's growth appeared on the valley slopes, including a house at the top of the south east hill and a water tower at the south west hill, by the 1950s.



Looking south on Queen Street towards the south hill, c. 1950s (PAMA).

Between the late 1950s and 70s Queen Street was widened, and realigned north of the village core. This supported the growth of the larger community of Bolton, including the development of the existing subdivisions north of the core up to Columbia Way, east and west off of King Street, and the industrial lands to the south.



Aerial photo c. 1956, Site circled in red (PAMA).



Aerial photo c. 1978, Site circled in red (PAMA).

## BOLTON TODAY - EMERGING CHARACTER

Today, Bolton's history is evident in the village's varying architectural styles and built form. Many residential and commercial structures built between Bolton's settlement and incorporation have survived and remain a part of village's fabric and distinct character.

Some of the village's original structures were removed and their properties redeveloped in the late 1900s and early 2000s. This included most of the properties on the west side of Queen Street between Sterne and King Streets, and the south-east corner of King Street and Queen Street.

The recent addition of a 5-storey residential condominium at 60 Ann Street is an indication of change in the village. Current applications in the area anticipate similar developments:

- 50 Ann Street, a 5-storey, 72 unit residential condominium development;
- 53 King Street West, a 3-storey apartment building complex containing 6 units; and
- 336 King Street East, a 4-storey residential block of townhomes containing 16 units.

The scale and form of these developments represent an evolved character within the village.



Looking south along Queen Street, evidence of early village buildings on the left and later developments on the right (ERA, 2019).



60 Ann Street (ERA, 2018).



### 3 CONDITION ASSESSMENT

ERA visited the Site on September 11, 2018 and March 19, 2019.

The existing house on the Site was constructed after 1945. The majority of the Site is a sloped open space occupied by domestic and pioneering plant species and few trees. The site is bordered by a fence to the south and east and a wooded area to the west. Informal footpaths are found on the eastern edge leading from Nancy Street south towards the Albion & Bolton Community Centre, and from the top of slope towards Ted Houston Memorial Park to the west.



View looking south on the Site (ERA, 2018).



View looking north on the Site (ERA, 2018).

## 4 HERITAGE POLICY REVIEW

### *Overview*

The following documents comprise the policy framework relevant to the heritage resources on the Site:

- Ontario’s Provincial Policy Statement, 2014 (the “PPS”);
- Town of Caledon Official Plan, 2018; and
- Village of Bolton Heritage Conservation District Plan, 2015.

### *Provincial Policy Statement*

The PPS provides policies to ensure that development and site alteration is not permitted on lands adjacent to protected heritage properties unless it has been demonstrated that the heritage attributes of the heritage property will be conserved as part of the proposed development.

### *Town of Caledon Official Plan*

Section 3.3.3 of the Official Plan provides policies that guide cultural heritage conservation, including HCDs. Section 3.3.3.4.5 provides that, when reviewing proposals for new development within an HCD, the Town will be guided by the HCD Plan as well as certain general principles. The Official Plan’s general principles include:

*3.3.3.4.5(d) New construction and/or infilling should fit the immediate physical context and streetscape and be consistent with the existing heritage architecture by, among other things: being generally of the same height, width and orientation as adjacent buildings; of similar setback; of like materials and colours; and using similarly proportioned windows, doors and roof shape.*

### *Village of Bolton Heritage Conservation District Plan*

The Site is located at the southern boundary of the Village of Bolton HCD. The HCD Plan (the “Plan”) identifies the existing dwelling on the Site as a non-contributing building, noting that it was constructed after 1945.

One of the objectives of the Plan is to enhance and contribute to the Village of Bolton’s unique sense of place by encouraging compatible new construction and development. The Plan allows for growth and encourages change that maintains and enhances the District’s cultural



heritage value, including its built form, streetscapes, land uses and geography.

## Heritage Attributes

### *Setting & Pattern of Development*

The District is strongly valued for its village ambiance and location within the “green bowl” and topography of Humber River valley. The Plan has identified this geography and its influence on the District’s pattern of development as “heritage attributes” of the district, noting in particular, the containment of development within the base of the valley and absence of development on the green valley slopes. Development proposals will be assessed to determine whether they preserve the topography of the Humber River valley, including the mature trees and natural valley slopes.

### *Viewscape*

The Plan has identified key viewscape in the District that should be carefully considered in any major redevelopment or new construction project. Some of the key viewscape include views descending north and south along Queen Street from the top of the south and north hills, and views from within the District to the south valley slopes. These particular views have been identified as they provide a panorama of the village, which emphasizes the topography of the Humber River valley and green backdrops to the village, and reinforce the village setting’s sense of containment.

### *Streetscape*

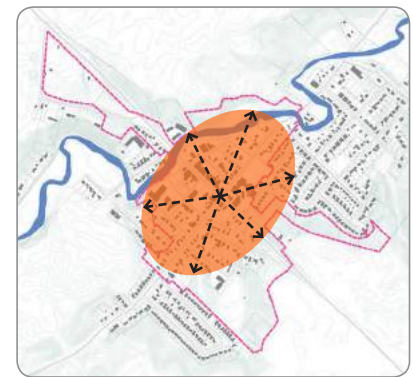
The Plan identifies the Nancy Street streetscape as a contributor to the character and heritage value of the District. Specifically, the Plan identifies the street’s mature soft landscaping, mature tree canopy, predominance of black walnut trees, land use patterns and concentration of fine examples of architecture. Development proposals will be assessed to determine whether they maintain and enhance the distinctive character of key streetscapes.

### *Public Realm*

The Plan has identified pedestrian connections between the village, park and humber river trail as a valued amenity to the District. The Plan



View south showing village’s topography (ERA, 2019).



HCD Viewscope: panorama from village (see additional diagrams at p.15) (HCD Plan).



View looking north on Nancy Street from Elizabeth Street (Google Maps).

encourages the Town and TRCA to work with developers to enable any potential new connections when considering a new development.

### **Demolition Guidelines**

Demolition of a non-contributing building is generally accepted following the City's approval of a replacement building design that complies with the Plan.

### **Design Guidelines**

The Plan has categorized the District by its three land use forms: residential, commercial and public realm (see map below). The Site has been identified as residential, and as such is guided by the Plan's Residential Design Guidelines (the "Guidelines").

The Guidelines at Section 3.5 of the Plan provide direction for new residential buildings within the boundaries of the HCD. The following is encouraged for new buildings:

- Contemporary high quality design, which is complementary to and compatible with neighbouring contributing buildings;
- Consideration for the existing pattern of building setbacks on the surrounding streetscape, as well as the massing, scale, height and materiality of neighbouring contributing buildings;
- Use of traditional materials such as brick and wood; stone veneer and real stone are not appropriate;
- Break up new medium and high density residential buildings visually to reduce their perceived scale and to reflect the small and varied scale of residential buildings in the District; and
- Locate parking to the side or rear of new buildings.

## 5 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed development contemplates an 8-storey residential building set within the slope of the land. The proposed massing is L-shaped with landscaped amenity areas at the south end of the Site.

A surface parking lot, providing 31 at-grade parking spaces, is proposed at the front (north end) of the Site. The surface parking supplements three levels of underground parking, for a total of 182 spaces.



VIEW LOOKING FRONT FROM NANCY STREET



VIEW LOOKING TOWARDS REAR OF BUILDING

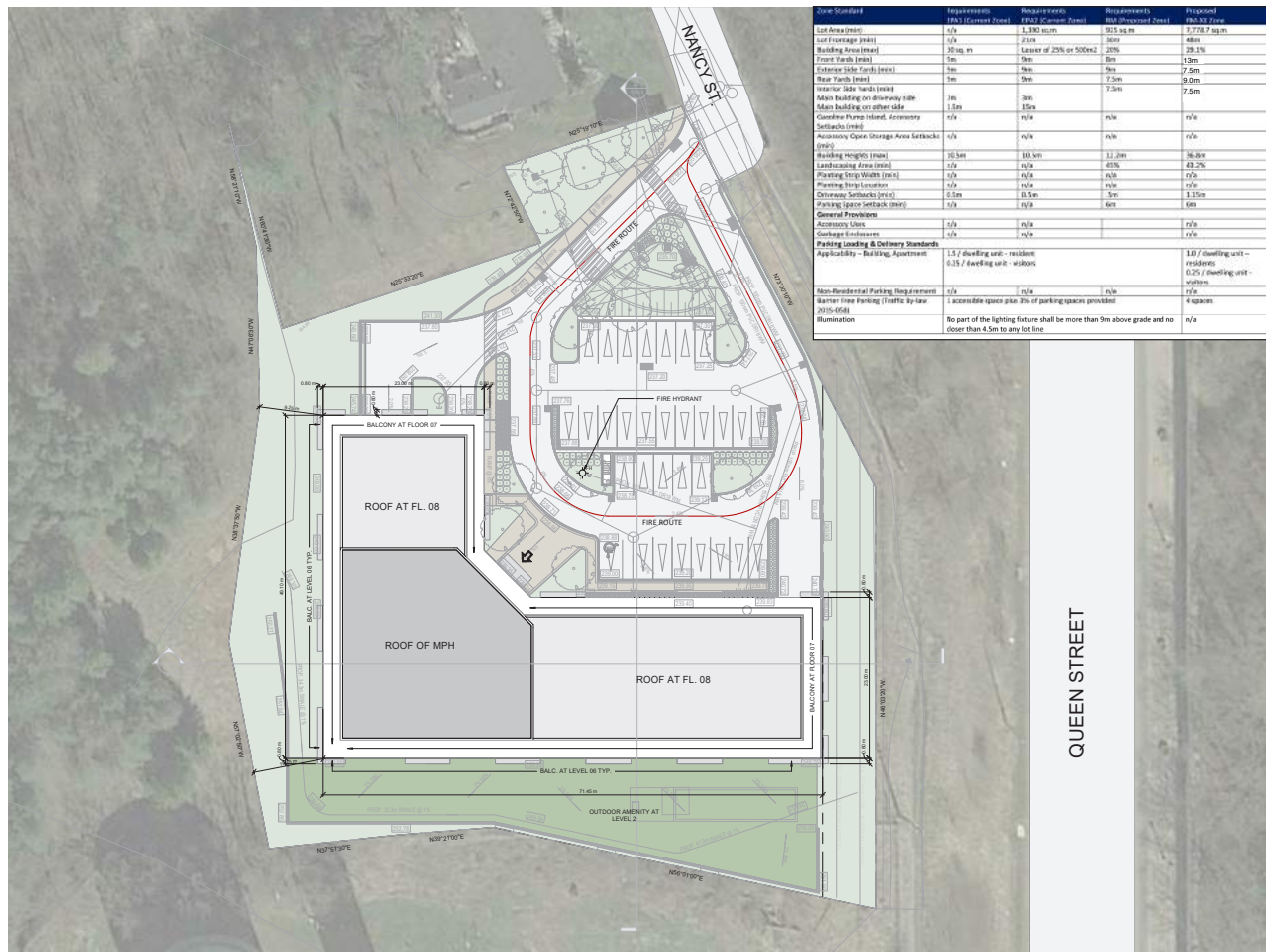


VIEW OF THE DEVELOPMENT FROM NANCY STREET



AERIAL VIEW OF THE DEVELOPMENT FROM QUEEN STREET

3D Model (Turner Fleischer, 2019).



Site Plan (Turner Fleischer, 2019, annotated by ERA).

## 6 IMPACT ASSESSMENT

### 6.1 Viewscapes and Setting

The Village of Bolton’s “sense of place,” which is referenced in the HCD Plan, is directly related to its setting within the Humber River Valley topography. The HCD Plan specifically describes the “green bowl and topography of the Humber River Valley” as an attribute that contributes to the character of Bolton and identifies five key views from and into the valley that will be conserved.

This visual impact assessment documents the Site’s existing conditions within the identified viewscapes and evaluates the impact of the proposed development.

#### 6.1.1 Methodology for Visual Impact Assessment

##### Sampling

Where the description of the viewscape lacks a precise location from which the view is taken, ERA selected one or more key viewpoints based on our understanding of the objectives achieved by protecting the view.

##### Documentation of existing character

We took photographs from the identified viewpoints toward the Site, using the Albion & Bolton Community Centre water towers as a proxy for the Site’s location.

##### Visual Impact Assessment

We evaluated impact on the viewscapes using a composite image of the existing conditions and the digital model of the proposed development.

##### **Viewscape:**

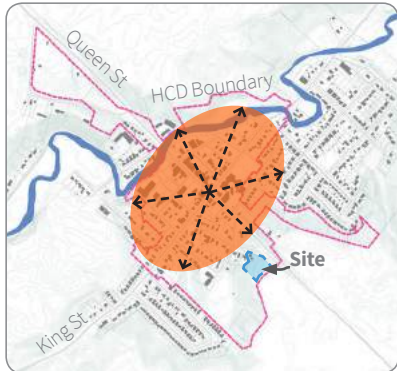
*A viewscape can include scenes, panoramas, vistas, visual axes and sight lines.*

*In designed landscapes, a viewscape may have been established following the rules of pictorial composition: elements are located in the foreground, middle ground and background.*

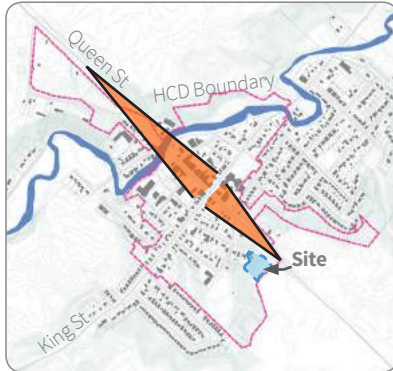
*A viewscape may also be the chief organizing feature when a succession of focal points is introduced to draw the pedestrian onward through a landscape.*

*- Standards & Guidelines for the Conservation of Historic Places, 2010*

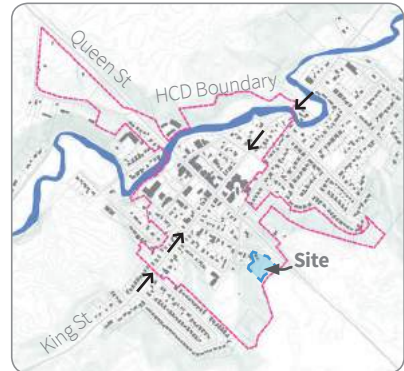




VIEWScape 1: Panorama from village



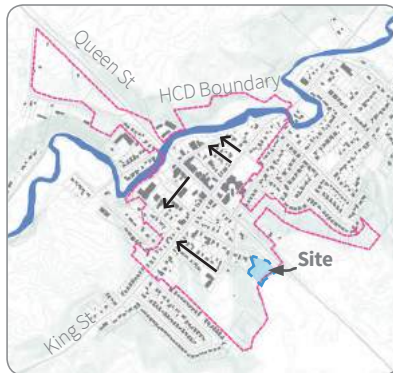
VIEWScape 2: Descending Queen Street



VIEWScape 3: King Street



VIEWScape 4: Humber River



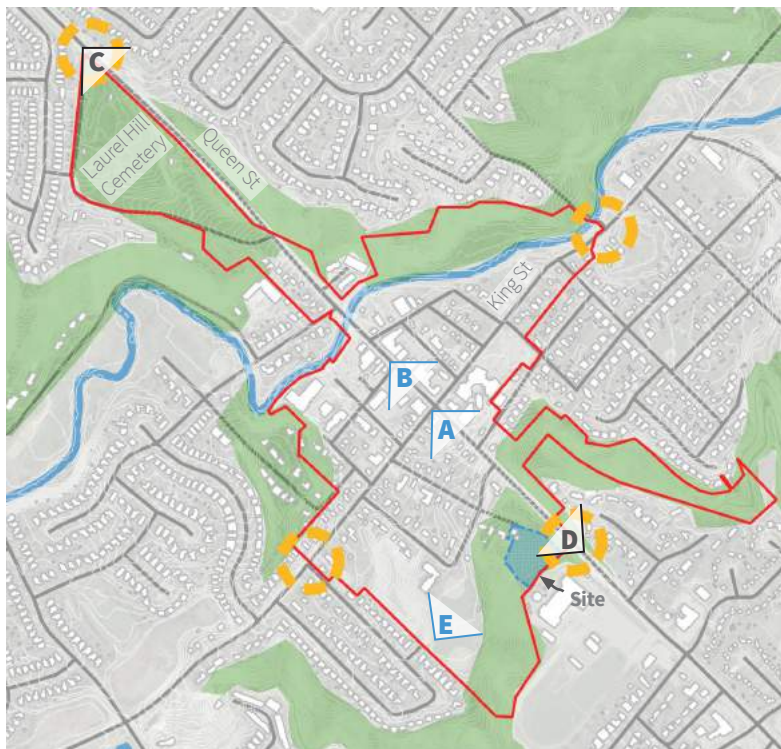
VIEWScape 5: Terminating views

Identified viewscales of the HCD Plan, with the Site identified by ERA (HCD Plan, annotated by ERA).

## 6.1.2 Viewscales and Key Viewpoints

The identified viewscales were visited on September 2018, March 2019 and June 2019 to evaluate impact and document existing condition. The photographs in Section 6.1.3 were taken in March 2019 (winter) and June 2019 (summer).

### Map of key viewpoints



Aerial image (Google), roads, contours, and building footprint (Peel Open Data), and annotations (ERA, 2019)

- HCD Boundary
- Vegetated Valley Slopes "Green Bowl"
- Gateways into Bolton HCD
- Site
- A Viewscape 1 (viewpoints identified by ERA)
- C Viewscape 2 (viewpoints identified in HCD Plan)

#### Applicable Heritage Attributes of the Bolton HCD 1.6.3

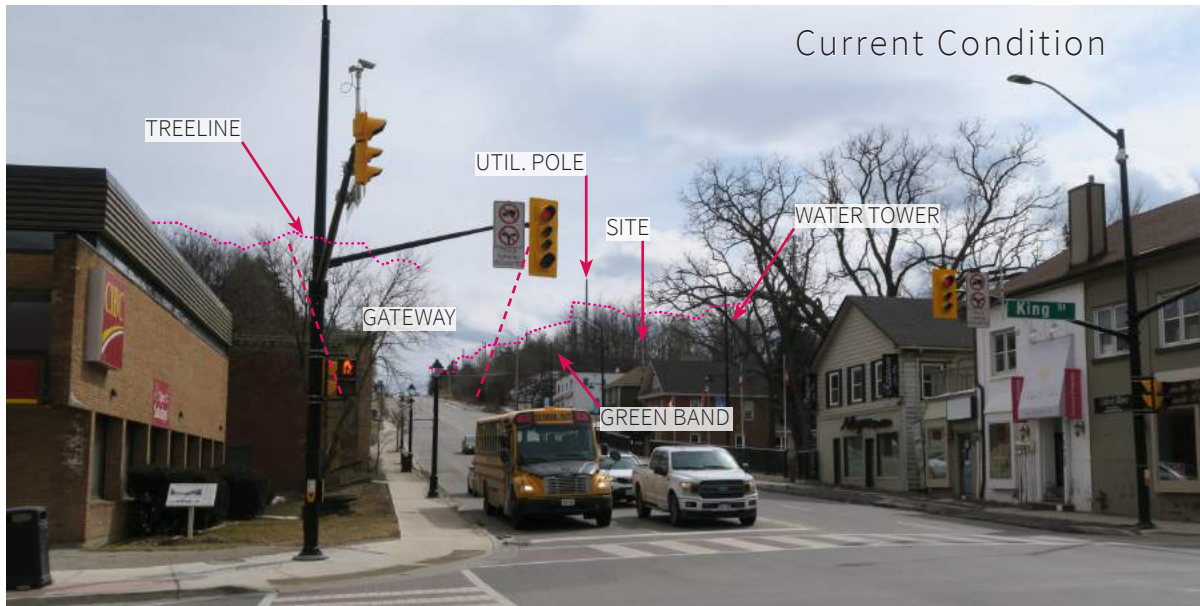
- The green bowl and topography of the Humber River valley, which give the District a distinct setting and green threshold, screening the village from surrounding development.
- The green thresholds at the north and south entrances to the village, which provide a transition from the densely treed and green valley slopes to the openness of the commercial core and the centre of the village with views to the surrounding residential neighbourhoods.
- The containment of development in the village at the base of the valley and the absence of development on the green valley slopes

- Village of Bolton Heritage Conservation District Plan, 2015

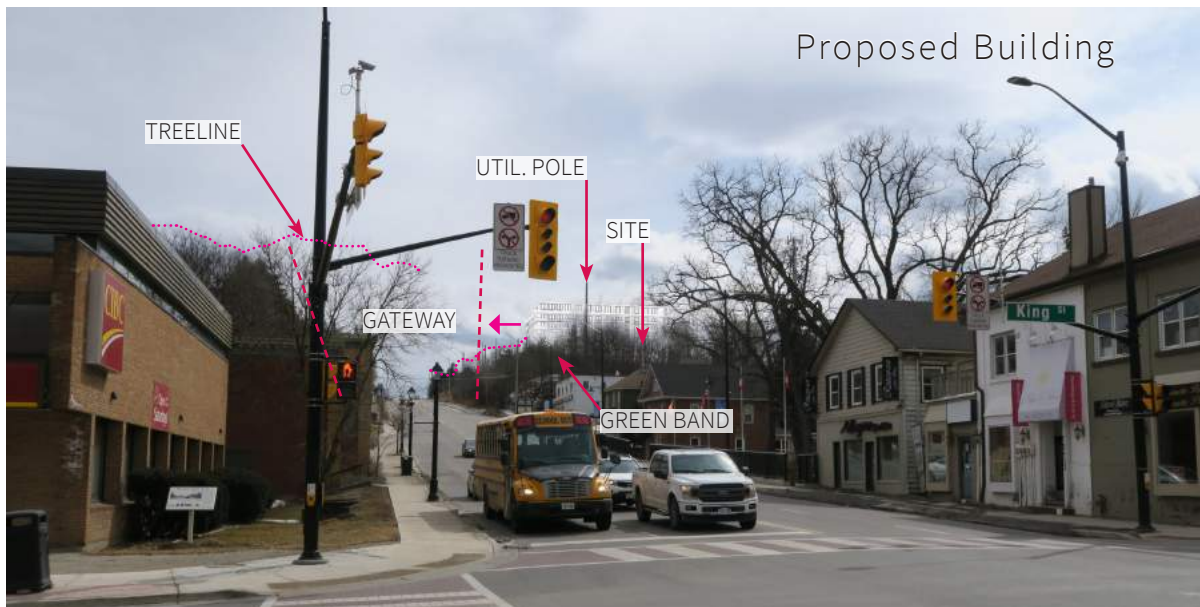


### 6.1.3 Impact Assessment

#### Key Viewpoint A - Queen St and King St Intersection (Winter)



From the intersection of King St and Queen St. The soft treeline, “green bowl” and the Queen Street gateway are legible and intact. A skylining post and water towers appear through leafless trees. The soft treeline remains intact (ERA 2019).



The proposed building skylines above the “green bowl”, disrupts the soft treeline and obstructs view to the water towers. The monolithic Queen St façade diminishes the open nature of the gateway (ERA 2019).

## Key Viewpoint A - Queen St and King St Intersection (Summer)



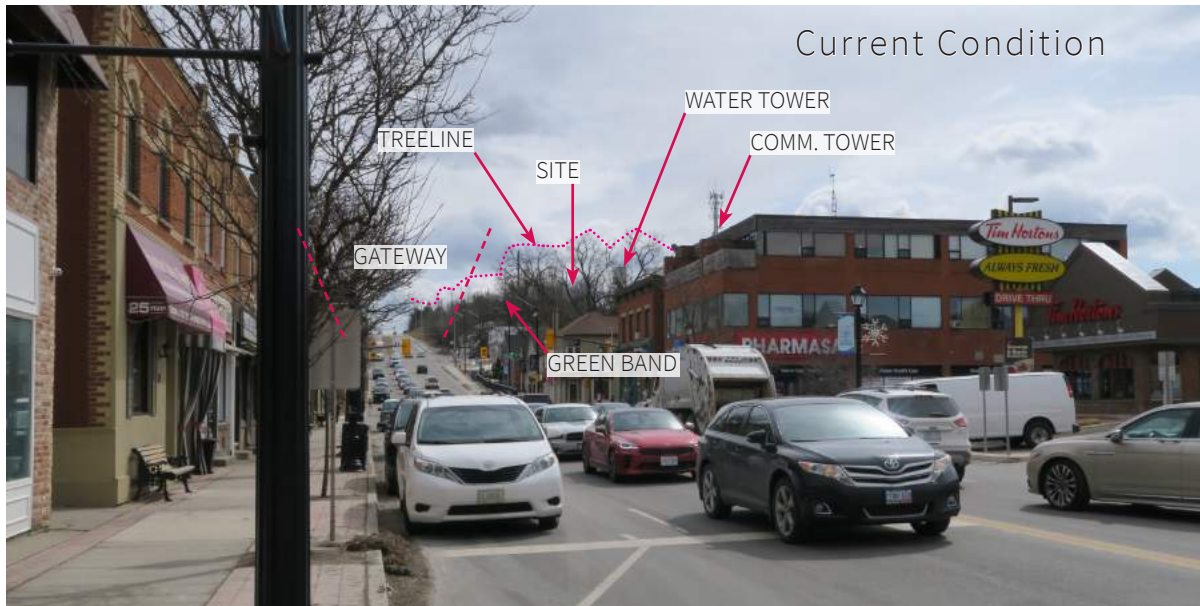
From the intersection of King St and Queen St. Skylining elements (e.g. utility pole) are less visible and the “green bowl” is pronounced during leaf-on season (ERA 2019).



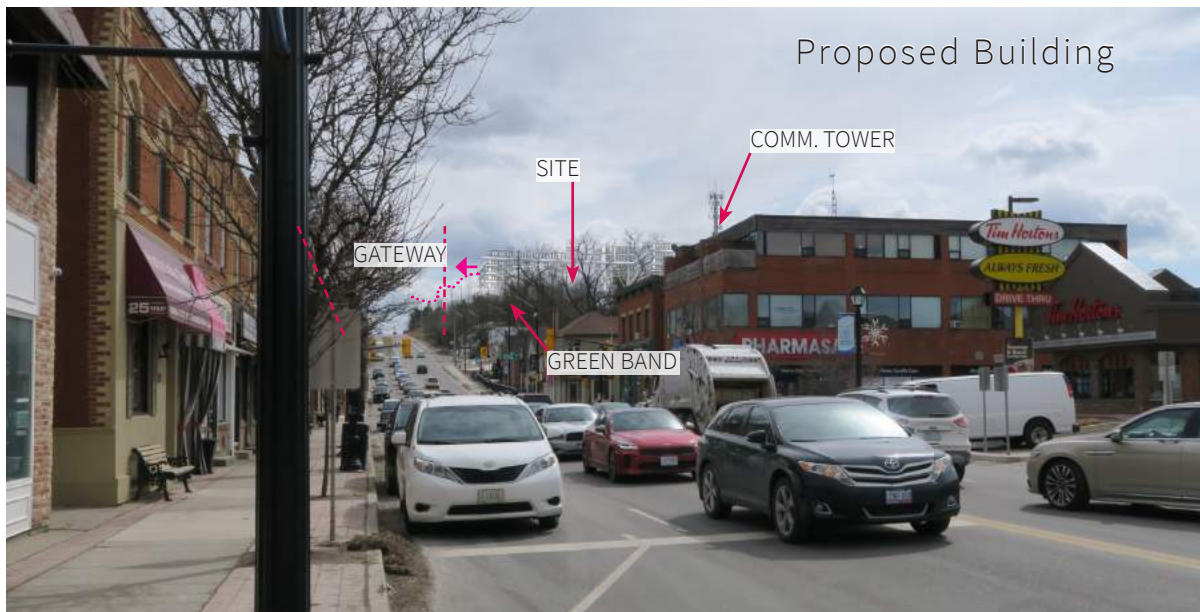
The proposed building skylines above the “green bowl”, disrupts the soft treeline. The monolithic Queen St façade diminishes the open nature of the gateway (ERA 2019).



## Key Viewpoint B - Queen St and Sterne St Intersection (Winter)



From the intersection of Queen St and Sterne St. The foreground buildings interrupt the continuity of the “green bowl” and the soft treeline. Telecommunication structures beyond the HCD skyline above the village. (ERA 2019).



The proposed building skylines above the “green bowl” and built fabric in the valley further diminishing containment by the valley. The monolithic Queen St façade diminishes the open nature of the gateway (ERA 2019).

## Key Viewpoint B - Queen St and Sterne St Intersection (Summer)



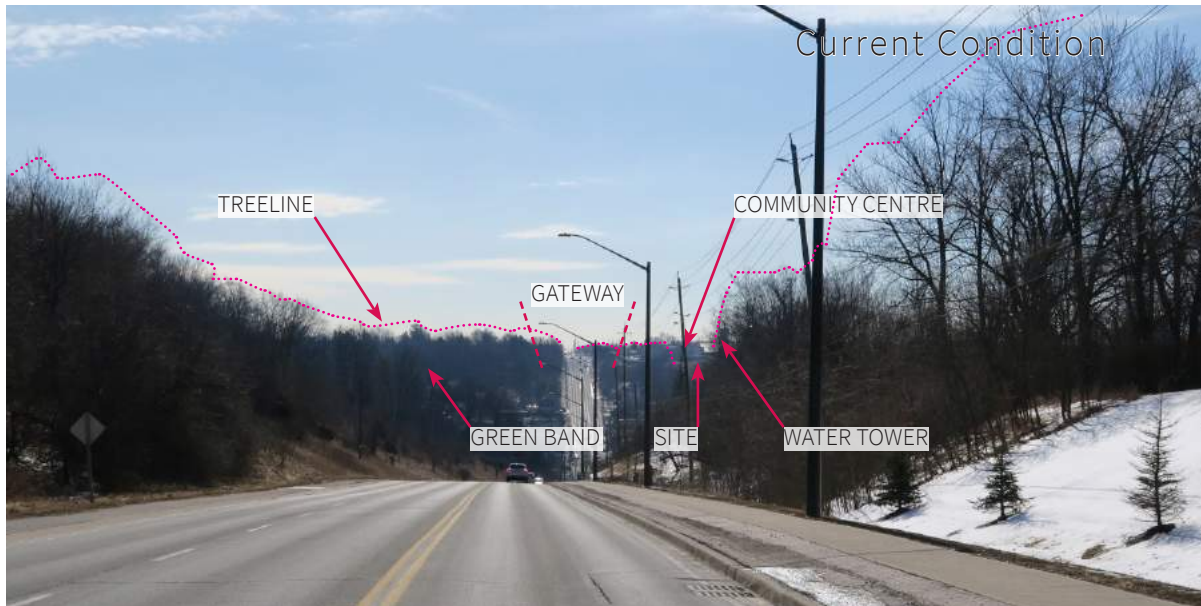
From the intersection of Queen St and Sterne St. The foreground buildings interrupt the continuity of the “green bowl” and the soft treeline. Telecommunication structures beyond the HCD skyline above the village. (ERA 2019).



The proposed building skylines above the “green bowl” and appears behind foliage during leaf-on season. The monolithic Queen St façade diminishes the open nature of the gateway (ERA 2019).



## Key Viewpoint C - Queen St N at Laurel Hill Cemetery (Winter)

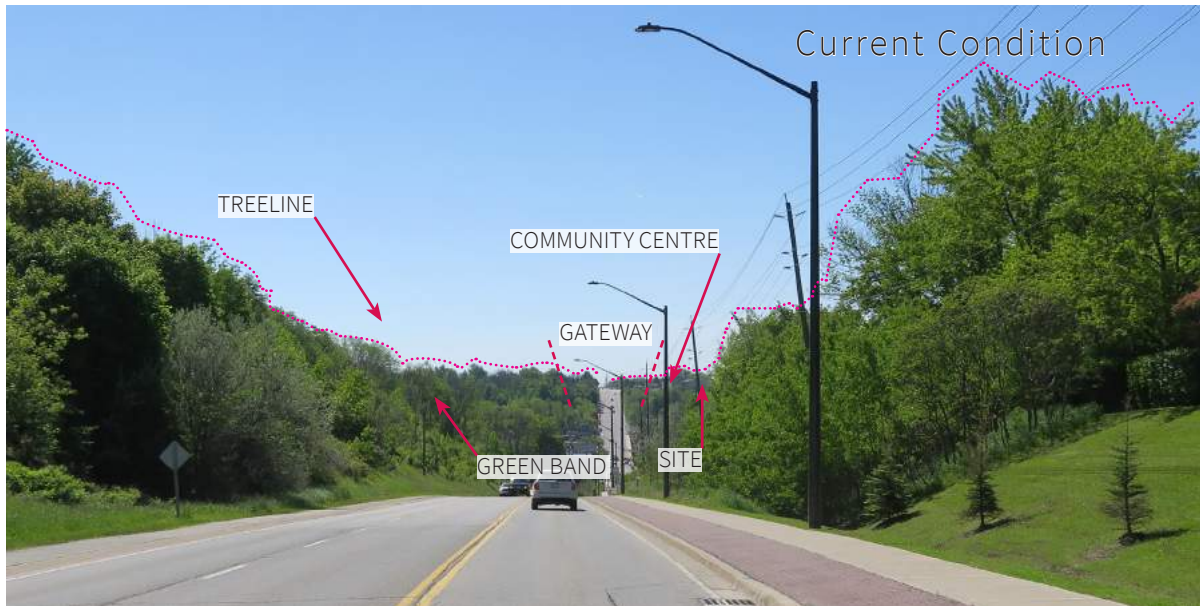


From Queen St North at Laurel Hill Cemetery. The soft treeline, “green bowl” and the Queen Street gateway are legible and intact. Water towers appear through leafless trees. The soft treeline is interrupted at the Site (treeless clearing), rendering the Albion & Bolton Community Centre visible (ERA 2019).



Most floors of the proposed building are visible above the “green bowl”, disrupting the soft treeline and obstructs view to the water towers. The monolithic Queen St façade diminishes the open nature of the gateway (ERA 2019).

## Key Viewpoint C - Queen St N at Laurel Hill Cemetery (Summer)



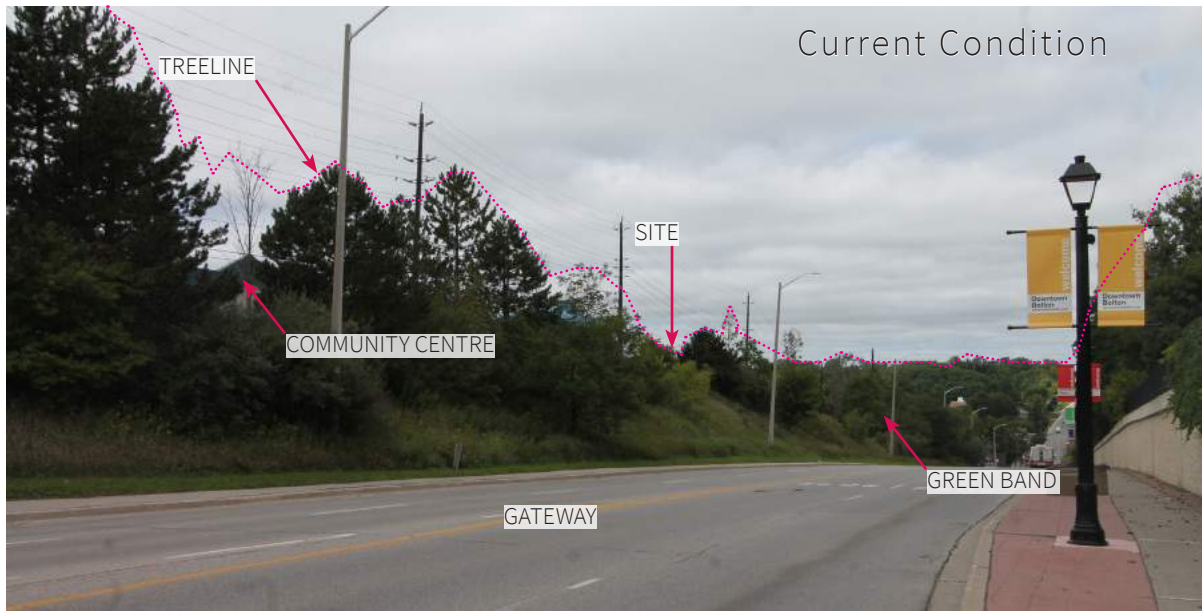
From Queen St North at Laurel Hill Cemetery. The soft treeline, “green bowl” and the Queen Street gateway are legible and intact. Water towers do not appear in the view. The green slope reduces the visibility of the Albion & Bolton Community Centre (ERA 2019).



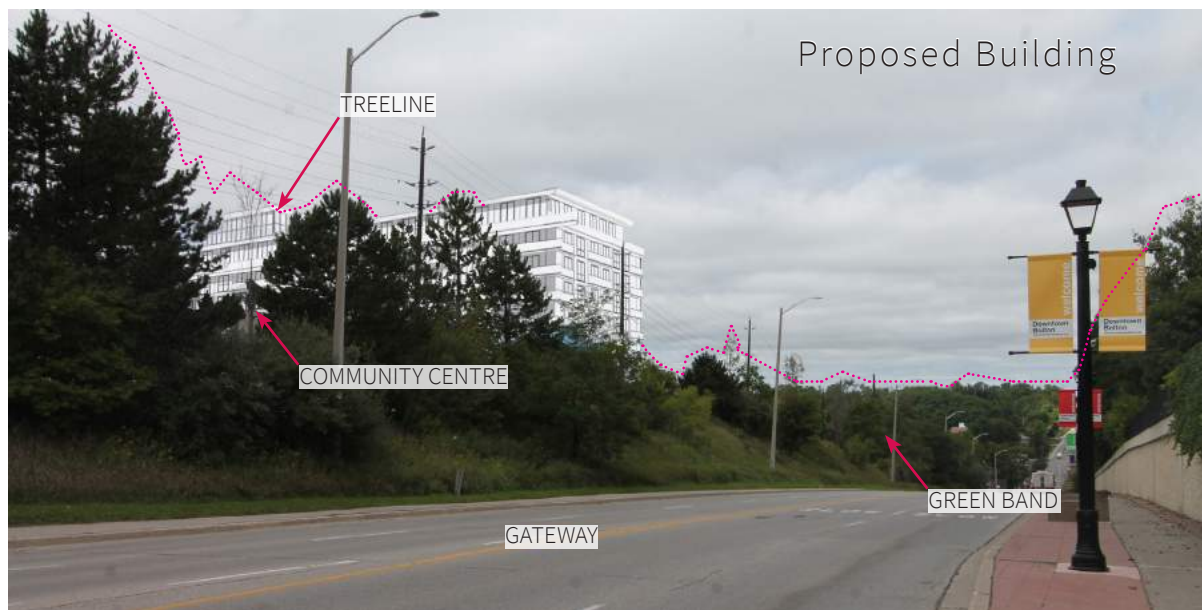
Most floors of the proposed building are visible above the “green bowl”, disrupting the soft treeline and screens the Albion & Bolton Community Centre. The monolithic Queen St façade diminishes the open nature of the gateway (ERA 2019).



## Key Viewpoint D - Queen St S at Community Centre (Winter)



From Queen Street South at Albion & Bolton Community Centre. The soft treeline, “green bowl” and Queen Street North gateway are legible and intact, interrupted only by skylining street lights and utility poles. The Albion & Bolton Community Centre is visible through the trees (ERA 2019).



The development skylines above the treeline and alters the green nature of the gateway. The Albion & Bolton Community Centre is visible through the foliage (ERA 2019).



## Key Viewpoint D - Queen St S at Community Centre (Summer)

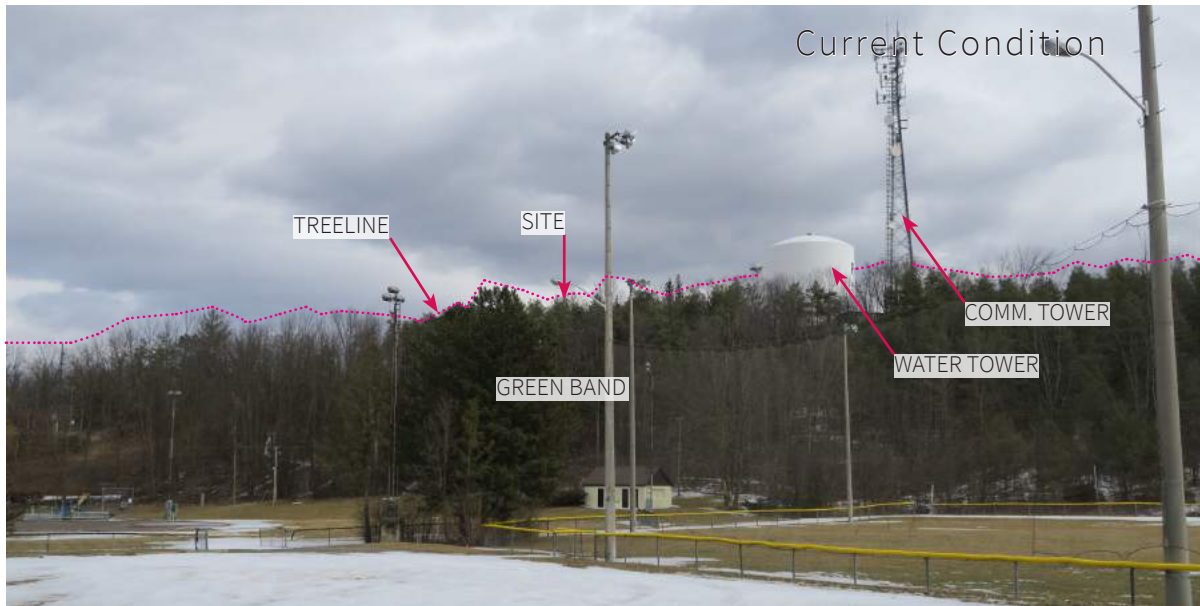


From Queen Street South at Albion & Bolton Community Centre. The soft treeline, “green bowl” and Queen Street North gateway are legible and intact, interrupted only by skylining street lights and utility poles. The Albion & Bolton Community Centre is visible through the trees (ERA 2019).



The development skylines above the treeline and alters the green nature of the gateway. The Albion & Bolton Community Centre is visible through the foliage (ERA 2019).

## Key Viewpoint E - Ted Houston Memorial Park (Winter)



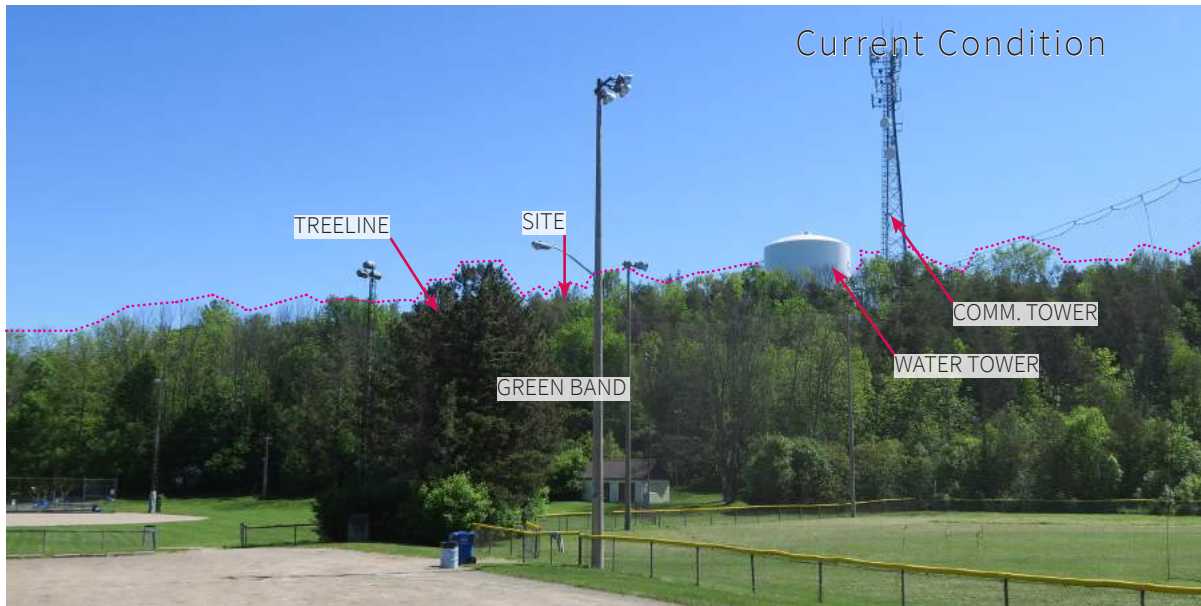
From Ted Houston Memorial Park. The soft treeline and “green bowl” are legible. Utility structures within and outside the HCD pierce above the soft tree line (ERA 2019).



From Ted Houston Memorial Park. Upper floors are visible behind the treeline and does not obstruct utility structures (ERA 2019).



## Key Viewpoint E - Ted Houston Memorial Park (Summer)



From Ted Houston Memorial Park. The soft treeline and “green bowl” are legible. Utility structures within and outside the HCD pierce above the soft tree line (ERA 2019).



From Ted Houston Memorial Park. Upper floors are visible behind the treeline and does not obstruct utility structures (ERA 2019).

The proposed building impacts HCD Plan Identified Viewscapes 1 and 2. While the legibility of the valley lands is not affected, the proposed massing impacts the legibility of the gateway, reduces continuity of the green band, and interrupts the soft treeline with a geometric silhouette at the skyline. The lower part of the proposed building may be visible through the trees depending on seasonal leaf-on/off condition.

See Appendix A for further details on the visual impact investigation.

Identified Viewscapes (HCD Plan Section 5.4)*		Defining qualities as interpreted by ERA	Impact
.1	Panoramic 360 degree viewscapes from within the village to the surrounding valley slopes, which reinforce the unique sense of containment and intimacy of the village setting.	Legible vegetated threshold at the top of slope surrounding developed bottom lands.	<b>Yes</b> - Proposed building visible from built up areas in the village and commercial crossroads.
.2	Viewscapes descending north and south along Queen Street, which emphasize the impact of the topography and geography of the Humber River and valley on the origins of the village and offer panoramas of much of the village.	A corridor view down Queen Street towards developed bottom lands and vista of the opposite green slope and Queen Street gateway.	<b>Yes</b> - Site and proposed building visible as one descends into the valley along Queen Street
.3	Views from the entrances to the District on King Street, looking into the village from the east and west, which create a picturesque sequence of framed views of the transition from the “rural” valley to the residential neighbourhoods to the commercial crossroads.	Picturesque view corridor along King Street towards the intersection of King Street and Queen Street.	No - Site situated off of King Street view corridor
.4	The view east from the bridge on Queen Street North along the Humber River, which provides a tangible reminder of the impact of the river on the village’s industrial origins.	Green slope, river bank, and view of linear park along Humber River.	No - Site not visible from viewscape
.5	The terminating views at Mill and Temperance streets and King Street West, which provide framed views of historic buildings of architectural value and/or of the surrounding green valley bowl.	Streetscape of contributing properties with a terminating backdrop of contributing building and/or green slope.	No - Views do not terminate in the direction of site or on Nancy Street.

\*Village of Bolton Heritage Conservation District Plan, 2015

## 6.2 Streetscape

Though the Plan provides that Nancy Street contributes to the District's character and value, the stretch of Nancy Street south of Elizabeth Street—where the Site is located—does not exhibit the same streetscape character or attributes as Nancy Street to the north. The only character possessed by the southern section of Nancy Street that relates to the District's core value is the presence of a mature tree canopy and its location within the valley slope.

Elizabeth Street characteristically acts as a dividing line between the manicured streetscape to the north and less established streetscape to the south, which forms an edge condition for the Site outside of the District's core.

Design details of the proposed redevelopment, such as materiality and articulation, will be required to further assess whether the proposal maintains and/or enhances the streetscape character. Though, given the Site's location at the south end of Nancy Street, it will likely have minimal to no impact.



View looking north on Nancy Street from Elizabeth Street (Google Maps).



View looking south on Nancy Street from Elizabeth Street (ERA, 2018).

## 6.3 Public Realm

The HCD Plan has identified pedestrian connections as a valued amenity to the District. There are currently no formal pathways on the Site, though there is evidence of foot paths that lead from the community centre to the north to Ted Houston Memorial Park and Nancy Street. The proposed development does not anticipate formalizing these path networks.

## 6.4 Landscaped Areas

The HCD Plan has identified Bolton's mature deciduous tree canopy and soft landscaping at the edges of the property as significant heritage attributes of the District. The proposed development anticipates a planted entry way that provides some screening of the parking lot, and conical evergreens at Queen Street and the northern boundary. The amenity area north of the building will be bounded by retaining walls.

## 7 RECOMMENDED MITIGATION STRATEGY AND CONSIDERED ALTERNATIVES

The proposal for 84 Nancy Street development will impact Viewscape 1 and 2 in the Bolton HCD Plan. Additional design details are required to further assess the proposed development's compatibility with the District.

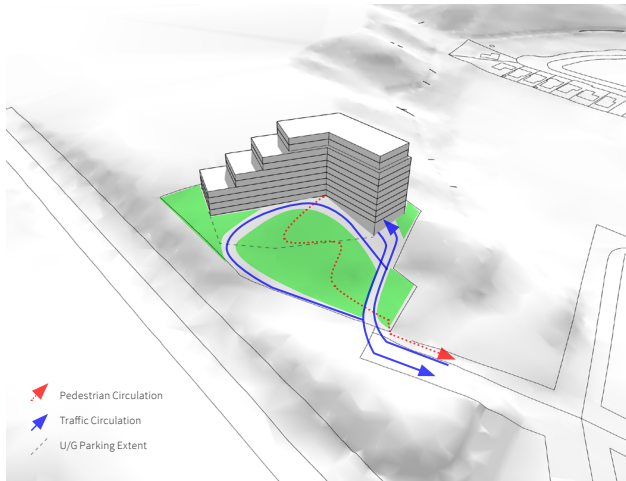
Given the anticipated visual impact of the proposed development, we recommend the following mitigation strategies at this stage:

- Modify the building massing to reduce its perceived scale in the context of Bolton's "green bowl" landscape;
- Shift the building volume away from the Queen Street South edge of the property to maintain legibility of the Queen Street Gateway;
- Position volumes strategically to obstruct utility structures (e.g. water towers) from views within the valley;
- Minimize hard and straight silhouette lines above the tree line that demarcates the bowl;
- Provide a lush and textured landscape, preferably with native species, to extend the "green bowl";
- Utilize recommended tree and shrub species in the HCD Plan;
- Reference planting context in the landscape plan, specifically the naturalized areas between Nancy Street and Queen Street, Ted Houston Memorial Park, and prevalence of Black Walnuts on Nancy Street;
- Reference existing slope in grading and landscape plan;
- Blend/screen any necessary surface parking into the "green bowl" (e.g. turf-grid permeable surface, extend tree canopy over parking, lush and sustainable landscaping, etc.);
- Ensure building materials are complimentary to the District's character; and
- Provide high quality architecture that is of its time.

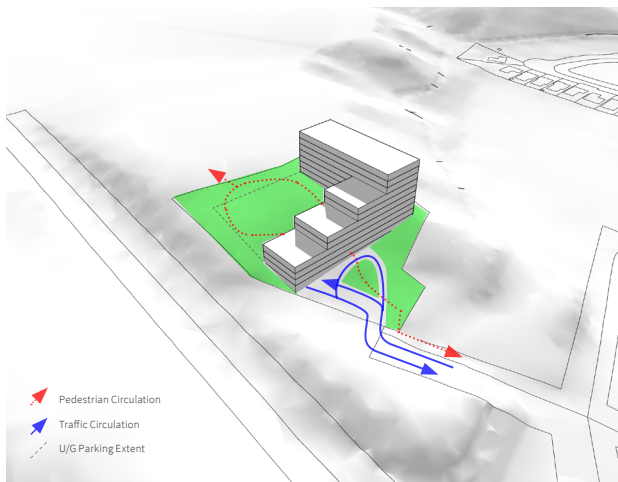
Two alternatives are considered on the facing page; each incorporates these recommendations.

The redevelopment of the Site presents an opportunity for new pedestrian connections from the southern boundary of the District and the community centre to the south with the village and Ted Houston Memorial Park. We would encourage an exploration of potential connection in the landscape plan.

**Considered Alternative 1:** Massing and siting concept and composite image from key viewpoint C; massing stepped to reduce impact.



**Considered Alternative 2:** Massing and siting concept and composite image from key viewpoint C; massing orientation pushed downhill to reduce impact.





## 8 CONCLUSION

The redevelopment of the Site, if appropriately mitigated, has the opportunity to improve the transition at the southern boundary of the District, between the community centre and water towers to the south, and the established Nancy Street streetscape and the Village core to the north.

The proposed development anticipates an 8-storey building set into the natural slope of the land. The proposed design will have a visual impact on heritage attributes of the District. Mitigation strategies can be incorporated into the redevelopment to reduce the impact and improve the proposed condition on the valley slope.

## 9 PROJECT PERSONNEL

### Philip Evans

Philip Evans is a principal of ERA Architects and the founder of small. In the course of his fourteen-year career, he has led a range of conservation, adaptive reuse, design, and feasibility planning projects. Philip is a professional member of CAHP.

### Samantha Irvine

Samantha Irvine is an associate with the heritage planning team at ERA Architects. She holds a BA in History and Sociology from McGill University, an MA in Historic and Sustainable Architecture from NYU, an MA in Sustainable Urbanism (University of Wales), and a JD from Queen's University.

### Emily Collins

Emily Collins is a planner with ERA Architects. She received her Bachelor of Environmental Studies with a major in Honours Planning from the University of Waterloo.

### Stuart Chan

Stuart Chan is a landscape designer with ERA Architects. He holds an Honours BA in Geography and Environmental Studies from the University of Toronto and an MLA from the University of Guelph. He is also an associate member of the OALA.

## 10 REFERENCES

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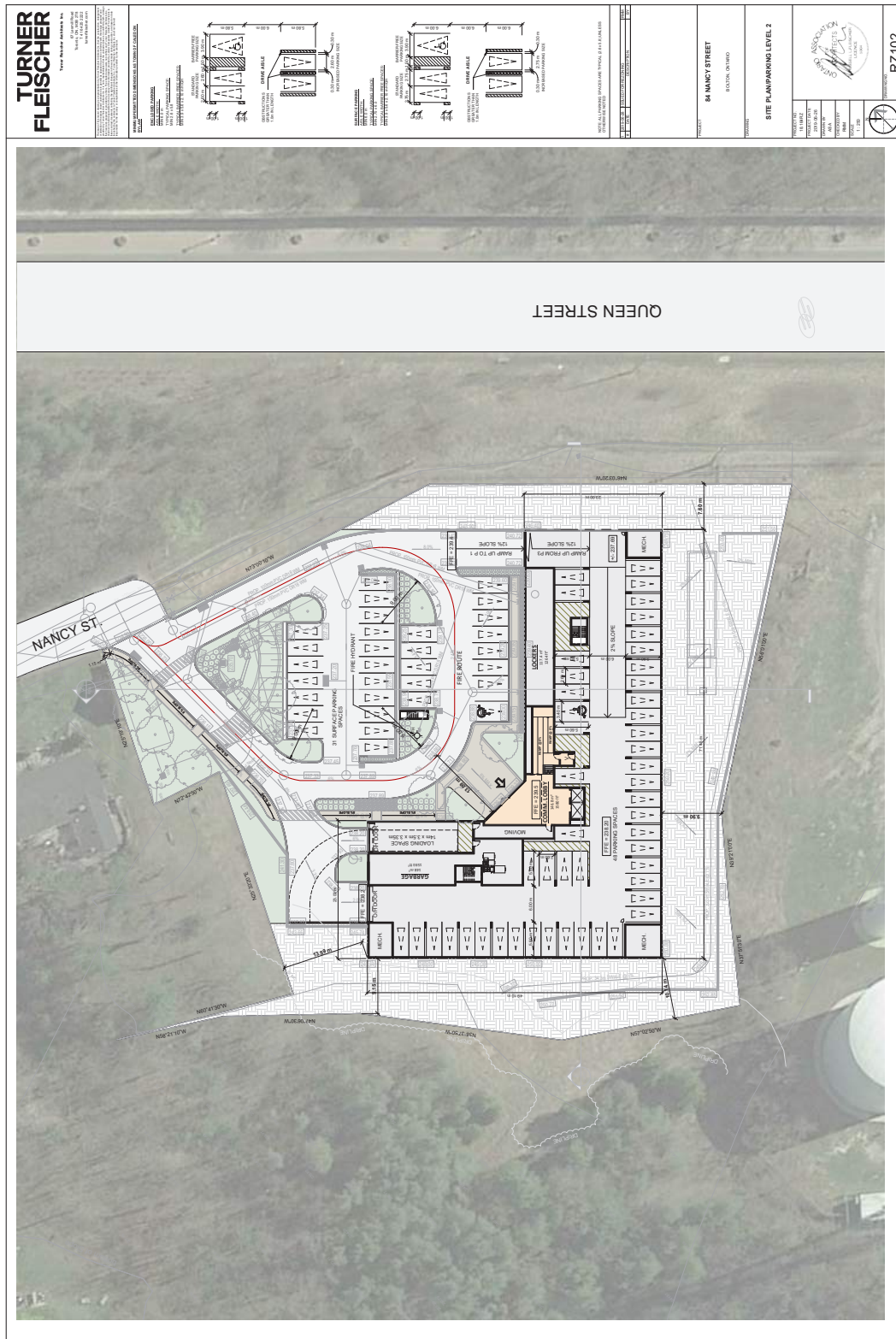
Village of Bolton Heritage Conservation District Plan, 2015.

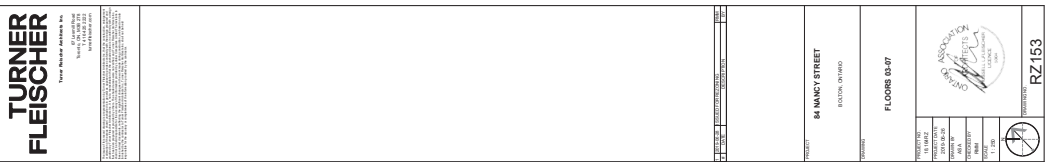
## EBA

(Transcript Filed 10/20/2010)





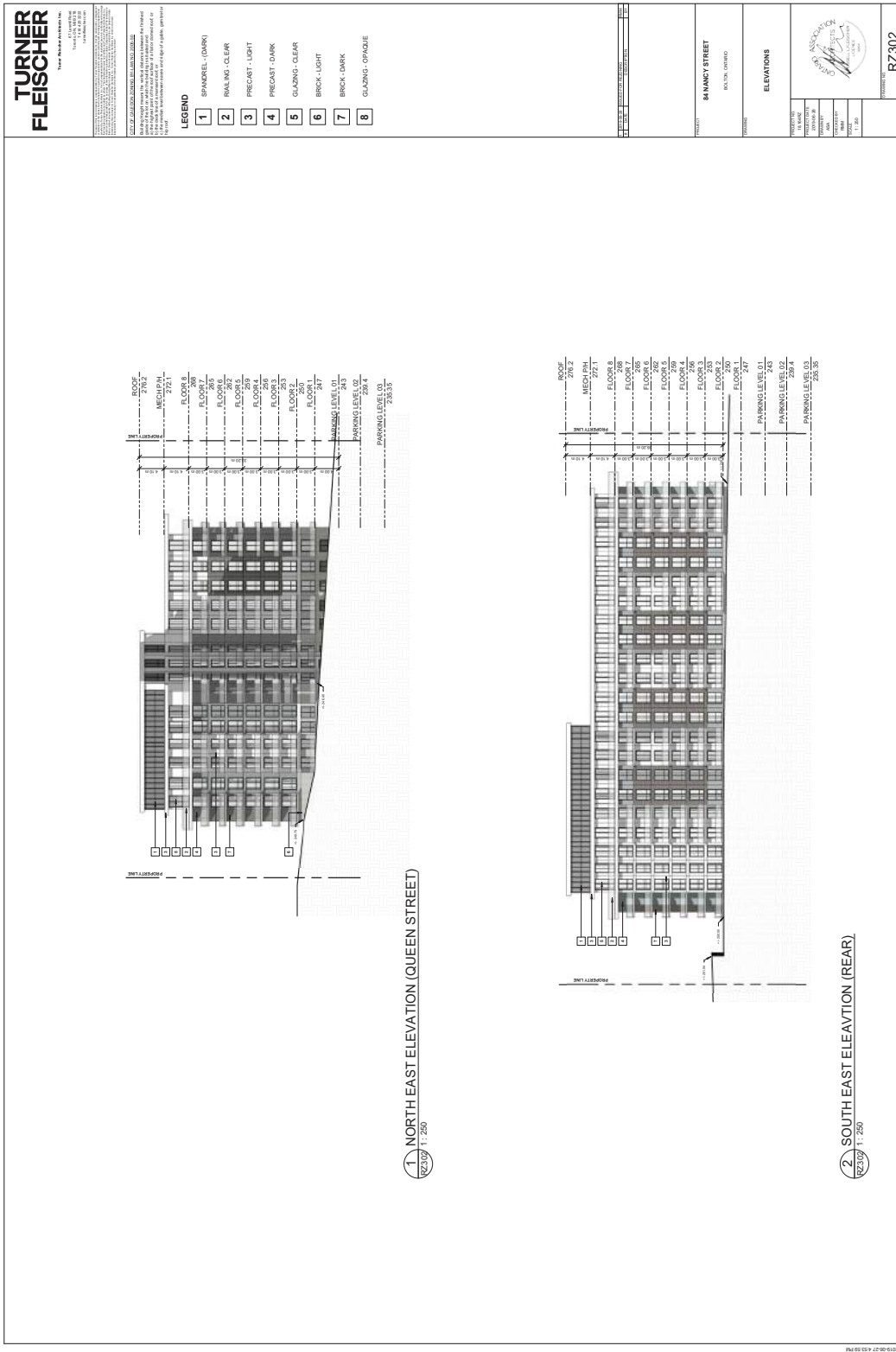















(Turner Fleischer, 2019)




VIEW LOOKING FRONT FROM NANCY STREET



VIEW LOOKING TOWARDS REAR OF BUILDING



AERIAL VIEW OF THE DEVELOPMENT FROM QUEEN STREET



VIEW OF THE DEVELOPMENT FROM NANCY STREET

**TURNER FLEISCHER**

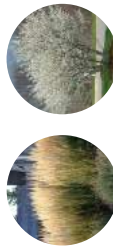
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PROJECT	84 NANCY STREET BOSTON, ONTARIO
DESIGNER	TURNER FLEISCHER ARCHITECTS
DATE	2019-06-10
SCALE	1:100
PROJECT NO.	2019-06-10
PROJECT NAME	84 NANCY STREET
PROJECT ADDRESS	BOSTON, ONTARIO
PROJECT TYPE	3D PERSPECTIVES
PROJECT NO.	RZ801

(Turner Fleischer, 2019)

PL-000000-000000

# APPENDIX B: LANDSCAPE CONCEPT PLAN



Amelanchier canadensis  
Syringaria



Thuja occidentalis  
Eastern White Oak



Red Elder  
Sambucus racemosa ssp. racemosa



Black Eyed Susan  
Rudbeckia hirta



Blue Oak Grass  
Helianthus scaberrimus



Hick's Yew  
Taxus media 'Hicks'



Little Bluestem  
Schizanthus luteus



Purple Cone Flower  
Echinacea purpurea



Japanese Maple  
Acer palmatum



Silver Maple  
Acer saccharinum



Aleghany Serviceberry  
Amelanchier lamarckii



Feather Reed Grass  
Calamagrostis canadensis



Synburi Hedgehog  
Geoffelia incanthes 'Synburi'



Horsetail  
Geoffelia incanthes var. horsetail



Common Hackberry  
Celtis occidentalis



Red Oler Dogwood  
Cornus amomum



MHBC  
MIDLAND HERITAGE  
BIOLOGICAL CONSULTING

DATE: June 27, 2019  
SCALE: 1:250  
SUBJECT TO CHANGE DURING DESIGN  
DEVELOPMENT AND CONSTRUCTION

## 84 NANCY STREET | LANDSCAPE CONCEPT



## APPENDIX C: VISUAL IMPACT INVESTIGATION DETAILS

### Important elements of Viewscape 1 and 2

Viewscape 1 and 2 are generally composed of five elements:

1. Built up area in the valley forming a foreground or mid-ground in the composition;
2. A gateway at Queen Street South flanked by mature trees;
3. A green band above the village forming a background in the composition;
4. A soft tree line where the “green bowl” meets the sky; and
5. Structures beyond the HCD appearing above the tree line or through a clearing.



Typical view towards the site from within the village (ERA, 2019).

ERA identified viewpoints

Viewscapes described in the HCD Plan generally identified a specific location for a viewpoint. However, Viewscape 1 describes a general panoramic view from within the village which necessitated narrowing down the viewscape to a set of key viewpoints to aide in this specific analysis.

Through an iterative process identifying culturally significant locations, ERA has identified three

Key Viewpoints	Location	Significance of Viewpoint
A	Queen + King Street Intersection	The intersection of Queen and King Street is the centre of Village of Bolton, historically and presently.
B	Queen + Sterne Street Intersection	The intersection of Queen Street North and Sterne Street is the centre of the commercial strip in the Village of Bolton.
E	Ted Houston Memorial Park entrance	Ted Houston Memorial Park is a contributing attribute to the village setting and mature tree canopy. It is also adjacent to the site.

(ERA, 2019)

## Impact to Viewscope Elements

Impact of the proposed building to individual elements that compose the HCD Plan viewsapes

Elements of existing views	Impact (High/Min/None)	Applicable Viewpoints	Description of impact
Built up area in the valley forming a foreground or mid-ground in the composition	None	n/a	Legibility of the buildings in the valley is not affected.
A gateway at Queen Street South flanked by mature trees	High	A, B, C, and D	The proposed development's Queen Street façade creates a vertical street wall, changing the nature of the gateway.
A green band above the village forming a background in the composition	High	All	The primacy of the green band is reduced as significant mass is introduced on the slope.
A soft tree line where the "green bowl" meets the sky	High	All	The proposed development skylines in all key viewpoints and introduces a geometric silhouette to the skyline.
Structures beyond the HCD appearing above the tree line or through a clearing	Varies	High - A, B, and C. None - D, E.	The proposed development obscures the water towers structures beyond the HCD in viewpoints A, B, and C.

