

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

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CLIENT: Intermarket Real Estate Group
489 Queen St. East
Suite 201
Toronto, ON M5A 1V1
Telephone: 416-864-6552
Contact: Sandy Acchione

ARCHITECT: Turner Fleischer
67 Lesmill Rd.
Toronto, ON M3B 2T8
Telephone: 416-425-2222
Contact: Raza Mehdi

HERITAGE: ERA Architects Inc.
625 Church St.
Suite 600
Toronto, ON M4Y 2G1
Telephone: 416-963-4497
Contact: Samantha Irvine

URBAN PLANNER: Weston Consulting
268 Berkeley St.
Toronto, ON M5A 2X5
Telephone: 416-640-9917
Contact: Sara Gregory


LANDSCAPE ARCHITECT: MacNaughton Hermesen
Britton Clarkson Planning Ltd.
7050 Weston Rd,
Woodbridge, ON L4L 8G7
Telephone: 905-851-7479
Contact: Nicke Miele

CIVIL ENGINEER: Calder Engineering
6440 King St.
Caledon East, ON L7C 0S1
Telephone: 905-857-7600
Contact: Robert Whyte

SURVEYOR: ERTL Surveyors
1234 Reid St
Suite 10
Richmond Hill, ON L4B 1C1
Telephone: 905-731-7834



Sheet Number	Sheet Name
RZ000	COVER SHEET
RZ001	STATISTICS
RZ004	CONTEXT PLAN
RZ005	SITE PLAN (ROOF)
RZ101	PARKING LEVEL 03
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RZ817	SHADOW STUDIES

2019-06-28	ISSUED FOR REZONING	RMM
#	DATE	BY
	DESCRIPTION	
PROJECT		
284 NANCY STREET		
BOLTON, ONTARIO		
DRAWING		
COVER SHEET		
PROJECT NO. 18.164RZ		
PROJECT DATE 2019-06-26		
DRAWN BY ASA		
CHECKED BY RMM		
SCALE AS NOTED		
DRAWING NO. RZ000		

BOLTON, ONTARIO

TOWN OF CALEDON ZONING BY-LAW NO. 2006-50

LAND USE	m ²	ft ²	%
BUILDING COVERAGE (GROUND FLOOR)	2,267.0	24,402	29.1%
LANDSCAPED OPEN SPACE	3,359.5	36,161	43.2%
PAVED AREA	2,152.2	23,166	27.7%
TOTAL SITE AREA	7,778.7	83,729	100.0%

	AREA (M2)		PROVIDED
LOT COVERAGE	2,267.0	24,402	29%
BUILDING HEIGHT			36.80M

BUILDING SETBACKS	
NORTH SETBACK	13.59 M
SOUTH SETBACK	9.90 M
EAST SETBACK	8.50 M
WEST SETBACK	9.15 M

PARCEL	USE	GFA		FSI
BUILDING 1		m ²	ft ²	
	RESIDENTIAL	23,897.2	257,227	3.07
	TOTAL	23,897.2	257,227	

TOWN OF CALEDON ZONING BY-LAW NO. 2006-50

Floor Area, Gross means the aggregate of all floor areas of all of the buildings or structures on a lot

TOWN OF CALEDON ZONING BY-LAW NO. 2006-50

Building Height means the vertical distance between the finished grade of the lot on which the building is situated and:

- a) the highest point of the roof surface of a flat or domed roof; or
- b) the deck line of a mansard roof; or

FLOORS	GFA	
	m²	ft²
U/G 1 - U/G 3	6,612.0	71,171
FLOOR 1 - FLOOR 9	17,285.2	186,056
TOTAL	23,897.2	257,227.3

BUILDING 1	GROSS FLOOR AREA BREAKDOWN											
	FLOOR	# OF UNITS	RESIDENTIAL								TOTAL	
			SALEABLE		NON-SALEABLE		SERVICE AREAS		INDOOR AMENITY			
		#	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²
	P3				28.0	301	2,098.0	22,583			2,126.0	22,884
P2				147.0	1,582	2,120.0	22,819			2,267.0	24,402	
P1				46.0	495	2,173.0	23,390			2,219.0	23,885	
1	8	643.0	6,921	150.0	1,615	91.0	980	1,322.0	14,230	2,206.0	23,745	
2	23	1,883.0	20,268	173.0	1,862	71.0	764			2,127.0	22,895	
3	23	1,911.0	20,570	145.0	1,561	71.0	764			2,127.0	22,895	
4	23	1,911.0	20,570	145.0	1,561	71.0	764			2,127.0	22,895	
5	23	1,911.0	20,570	145.0	1,561	71.0	764			2,127.0	22,895	
6	23	1,911.0	20,570	145.0	1,561	71.0	764			2,127.0	22,895	
7	23	1,911.0	20,570	145.0	1,561	71.0	764			2,127.0	22,895	
8	13	1,484.0	15,974	133.0	1,432	71.0	764			1,688.0	18,169	
FLOOR 9/MPH						629.2	6,773			629.2	6,773	
TOTAL	159	13,565.0	146,014	1,402.0	15,091	7,608.2	81,894	1,322.0	14,230	23,897.2	257,229	

[illegible]

FLOOR	UNIT TYPE							TOTAL
	STUDIO	1B	1B+D	2B	2B+D	3B	3B+D	
1		2	3		2	1		8
2		3	10		4	3	3	23
3		3	9		4	4	3	23
4		3	9		4	4	3	23
5		3	9		4	4	3	23
6		3	9		4	4	3	23
7		3	9		4	4	3	23
8					2	6	5	13
SUBTOTAL		20	58		28	30	23	
TOTAL UNITS		78		28		53		159
UNIT MIX		49.1%		17.6%		33.3%		100.0%

BUILDING 1	TYPE	PROVIDED			
		RATIO		m2	ft2
	INDOOR AMENITY	8.3	m2 / UNIT	1,322.0	14,230
	OUTDOOR AMENITY	5.6	m2 / UNIT	894.0	9,623
	TOTAL AMENITY	13.9	m2 / UNIT	2,216.0	23,853

BUILDING 1	USE	RATIO (MIN.)	UNITS / GFA (m²)	SPACES (MIN.)
	VISITOR	0.25 / UNIT	159	39
	RESIDENTIAL	1.50 / UNIT	159	238
	TOTAL RESIDENTIAL			277

TOWN OF CALEDON ZONING BY-LAW NO. 2006-50 (VEHICULAR RATES FOR APARTMENTS AND SENIORS HOME)

BUILDING 1	FLOOR	USE		TOTAL
		RESIDENTIAL	VISITOR	
	PARKING LEVEL 3	49		49
	PARKING LEVEL 2	48		48
	PARKING LEVEL 1	54		54
	SURFACE PARKING	9	22	31
	TOTAL PROVIDED	160	22	182

	FLOOR	USE	TOTAL
	RESIDENTIAL		
	PARKING LEVEL 3	1	1
	PARKING LEVEL 2	1	1
	PARKING LEVEL 1	1	1
	SURFACE PARKING	1	1
	TOTAL PROVIDED		4

TURNER FLEISCHER

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1	2019-06-28	ISSUED FOR REZONING	RMM
#	DATE	DESCRIPTION	BY

PROJECT	84 NANCY STREET
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BOLTON, ONTARIO

DRAWING

STATISTICS

PROJECT NO. 18.164RZ	
PROJECT DATE 2019-06-26	
DRAWN BY ASA	
CHECKED BY RMM	
SCALE	

DRAWING NO. RZ001

67 Lesmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

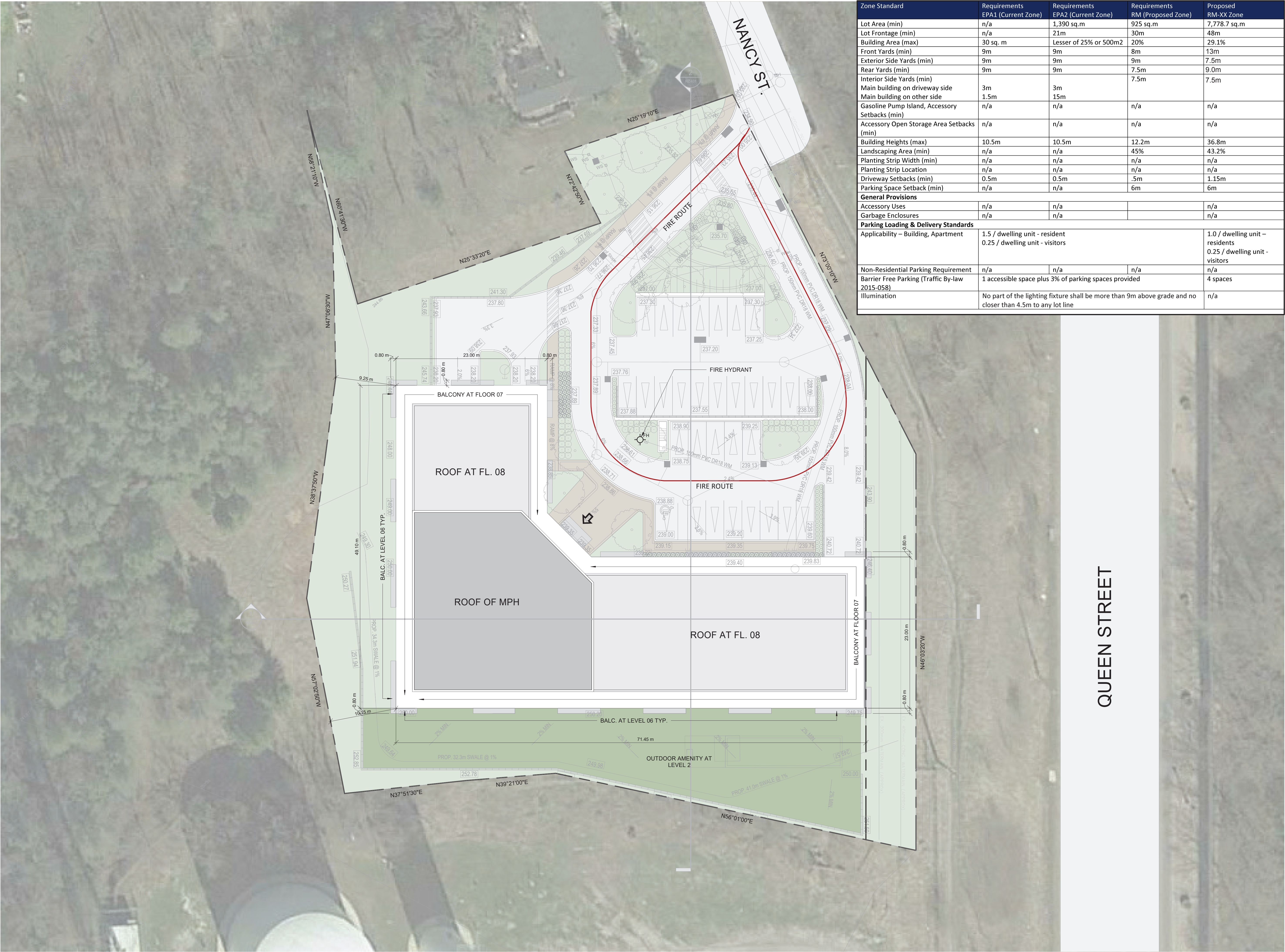
The issues of this record drawing is a representation by Turner Fletcher Architects Inc. that the construction, enlargement or alteration of the areas shown unshaded is in general as applied to provide conformity with the design prepared and provided by Turner Fletcher Architects Inc. It is not a representation that the unshaded area is in conformity with a design that has been prepared or provided by others. The shaded areas were not verified, and Turner Fletcher Architects Inc. shall not be held responsible for the accuracy of the information provided by Loblaw Companies Limited. The revisions to these contract documents, reflecting the significant changes in the work made during construction, are based on data furnished by the contractor to Turner Fletcher Architects Inc. Turner Fletcher Architects Inc. shall not be held responsible for the accuracy or completeness of the information provided by the contractor.

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BOLTON, ONTARIO



DRAWING NO. RZ004



Zone Standard	Requirements EPA1 (Current Zone)	Requirements EPA2 (Current Zone)	Requirements RM (Proposed Zone)	Proposed RM-XX Zone
Lot Area (min)	n/a	1,390 sq.m	925 sq.m	7,778.7 sq.m
Lot Frontage (min)	n/a	21m	30m	48m
Building Area (max)	30 sq. m	Lesser of 25% or 500m2	20%	29.1%
Front Yards (min)	9m	9m	8m	13m
Exterior Side Yards (min)	9m	9m	9m	7.5m
Rear Yards (min)	9m	9m	7.5m	9.0m
Interior Side Yards (min)			7.5m	7.5m
Main building on driveway side	3m	3m		
Main building on other side	1.5m	15m		
Gasoline Pump Island, Accessory Setbacks (min)	n/a	n/a	n/a	n/a
Accessory Open Storage Area Setbacks (min)	n/a	n/a	n/a	n/a
Building Heights (max)	10.5m	10.5m	12.2m	36.8m
Landscaping Area (min)	n/a	n/a	45%	43.2%
Planting Strip Width (min)	n/a	n/a	n/a	n/a
Planting Strip Location	n/a	n/a	n/a	n/a
Driveway Setbacks (min)	0.5m	0.5m	.5m	1.15m
Parking Space Setback (min)	n/a	n/a	6m	6m
General Provisions				
Accessory Uses	n/a	n/a		n/a
Garbage Enclosures	n/a	n/a		n/a
Parking Loading & Delivery Standards				
Applicability – Building, Apartment	1.5 / dwelling unit - resident 0.25 / dwelling unit - visitors			1.0 / dwelling unit – residents 0.25 / dwelling unit - visitors
Non-Residential Parking Requirement	n/a	n/a	n/a	n/a
Barrier Free Parking (Traffic By-law 2015-058)	1 accessible space plus 3% of parking spaces provided			4 spaces
Illumination	No part of the lighting fixture shall be more than 9m above grade and no closer than 4.5m to any lot line			n/a

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PROJECT

84 NANCY STREET

BOLTON, ONTARIO

DRAWING

SITE PLAN (ROOF)

PROJECT NO.
18.164RZ

PROJECT DATE
2019-06-26

DRAWN BY
ASA

CHECKED BY
RMM

SCALE
1 : 250

ONTARIO ASSOCIATION OF ARCHITECTS

RUSSELL FLEISCHER

LICENCE 5004

DRAWING NO.

RZ005

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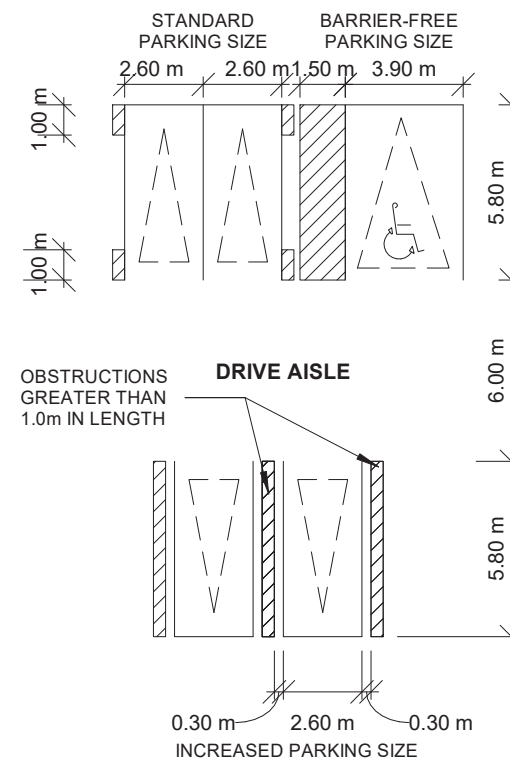
MINIMUM PERMITTED DIMENSIONS AS TOWN OF CALEDON BYLAW

ENCLOSED PARKING

AISLE WIDTH:

TYPICAL PARKING SPACE
MIN 2.6 x 5.8

TYPICAL BARRIER FREE SPACES
MIN 3.9 x 5.6 x 2.10 m HIGH

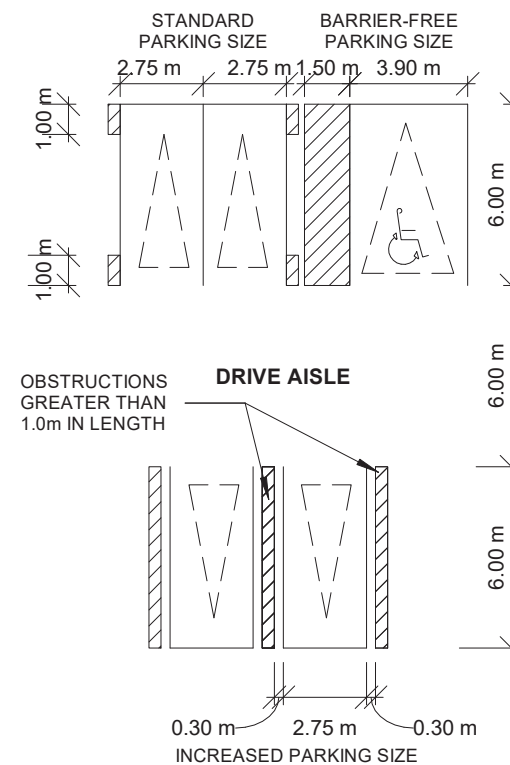


SURFACE PARKING

AISLE WIDTH:

TYPICAL PARKING SPACE
MIN 2.75 x 6.0

TYPICAL BARRIER FREE SPACES
MIN 3.9 x 5.6 x 2.10 m HIGH



NOTE: ALL PARKING SPACES ARE TYPICAL (2.6 x 5.8) UNLESS OTHERWISE NOTED

1	2019-06-28	ISSUED FOR REZONING	RMM
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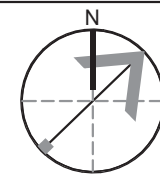
PROJECT	84 NANCY STREET
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BOLTON, ONTARIO

DRAWING

SITE PLAN/PARKING LEVEL 2

PROJECT NO.	18.164RZ
PROJECT DATE	2019-06-26
DRAWN BY	ASA
CHECKED BY	RMM

DRAWING NO.
RZ102