

**TOWN OF CALEDON
PLANNING
RECEIVED**

July 31, 2020

PLANNING JUSTIFICATION REPORT

8281 & 0 Healey Road

Caledon (Bolton), Ontario

Town File: RZ 2020-0007

PREPARED FOR

8281 Healey Road GP Limited, c/o ONE Properties

PREPARED BY



ZELINKA PRIAMO LTD
A Professional Planning Practice

July 2020

TABLE OF CONTENTS

	Page No.
1.0 INTRODUCTION	1
1.1 Background	1
1.2 Description of the Subject Lands	1
1.3 The Proposal	3
1.4 Pre-Consultation	4
2.0 PLANNING DOCUMENTS	5
2.1 Provincial Policy Statement (2020)	5
2.2 Growth Plan (2019).....	7
2.3 Region of Peel Official Plan	8
2.4 Town of Caledon Official Plan.....	13
2.5 Coleraine West Employment Area Secondary Plan	18
2.6 Town of Caledon's Comprehensive Town-Wide Design Guidelines	22
2.7 Guide to Eco-Business Zone Planning and Development.....	23
2.8 Town of Caledon Comprehensive Zoning By-law No. 2006-50	23
3.0 PROPOSED AMENDMENTS	28
3.1 Zoning By-law Amendment.....	28
4.0 PLANNING ANALYSIS	29
4.1 Provincial Policy Statement	29
4.2 Growth Plan (2019).....	30
4.3 Region of Peel Official Plan	31
4.4 Town of Caledon Official Plan.....	32
4.5 Coleraine West Employment Area Secondary Plan	33
4.6 Town of Caledon's Comprehensive Town-Wide Design Guidelines	34
4.7 Guide to Eco-Business Zone Planning and Development.....	35
4.8 Location and Compatibility.....	35
4.9 Environmental Impact Study	35
4.10 Functional Servicing and Stormwater Management Report	36
5.0 CONCLUSIONS	37

1.0 INTRODUCTION

1.1 BACKGROUND

On behalf 8281 Healey Road GP Limited and ONE Properties, Zelinka Priamo Ltd. has submitted an application to the Town of Caledon to amend the Zoning By-law for lands known municipally as 8281 and 0 Healey Road, in the Town of Caledon (the subject lands). The amendments to the Zoning By-law are proposed to rezone a portion of the lands from Environmental Policy Area 1 (EPA1) to Serviced Industrial Exception-579 (MS-579) and Prestige Industrial Exception-580 (MP-580), and from Serviced Industrial Exception-579 (MS-579) and Prestige Industrial Exception-580 (MP-580) to Environmental Policy Area 1 (EPA1) in order to refine the limit of the EPA1 lands.

The purpose of the following land use assessment is to provide planning justification for the proposed Zoning By-law Amendment.

1.2 DESCRIPTION OF THE SUBJECT LANDS

The subject lands comprise approximately 13.56 ha (33.51 ac) and are generally located on the south side of Healey Road, west of Coleraine Drive, in the Town of Caledon (see Figures 1 and 2).

The subject lands are relatively flat, vacant of structures, and are currently utilized for agricultural purposes. The Clarkway Tributary Corridor extends through the south and eastern portions of the property.

Figure 1
8281 Healey Road



Location and boundaries are approximate

Figure 2
Photo of the Subject Lands (Google Streetview)



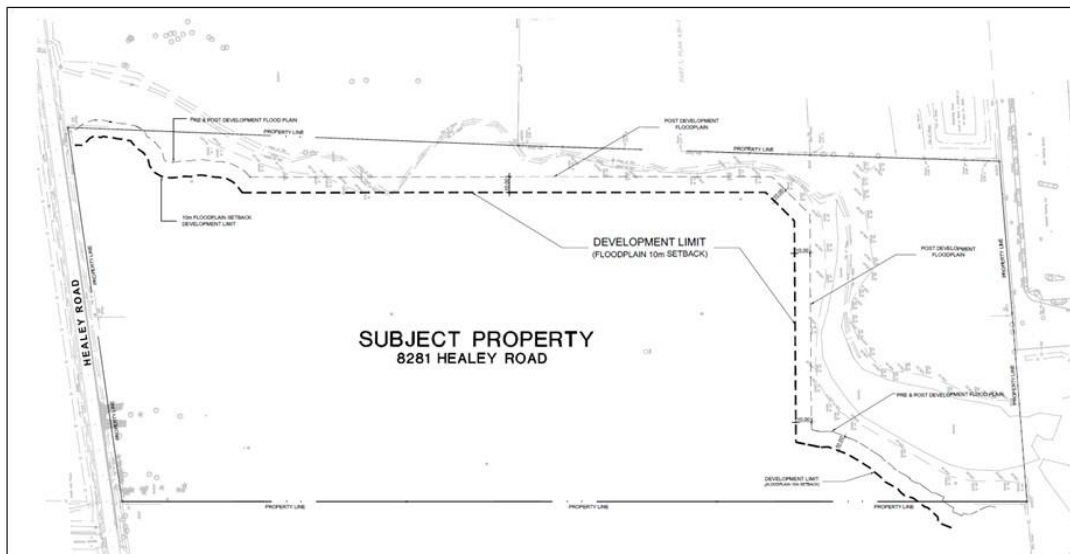
View looking south from Healey Road

Surrounding land uses include: rural residential uses to the northwest and west; primarily agricultural uses to the southwest, industrial development under construction to the east and south; and the Canadian Tire Distribution Facility to the north.

1.3 THE PROPOSAL

8281 Healey Road GP Limited are proposing to develop the subject lands within the context of the permitted uses under the MP-580 and MS-579 zones under the Town of Caledon Zoning By-law 2006-50, as amended. However, prior to finalizing the details of development, adjustments to the EPA1 Zone Boundary that extends through the subject lands are proposed (see Figure 3). The proposed zone boundary refinement is based upon additional environmental analysis of the Clarkway Tributary Corridor. The proposed boundary refinement will continue to maintain the ecological integrity of the Clarkway Tributary Corridor, while making efficient use of the surrounding lands by creating a more developable footprint. Site design matters are to be finalized following the refinement of the zoning boundaries proposed by the Zoning By-law Amendment application.

Figure 3
Concept Plan (Baldassarra Architects)



Location and boundaries are approximate

1.4 PRE-CONSULTATION

A pre-consultation meeting was held on March 12, 2020 with the DART form signed by Staff on March 25, 2020 in which planning and other departmental comments were received, and a list of required reports and studies was conveyed in relation to the proposed development.

2.0 PLANNING DOCUMENTS

2.1 PROVINCIAL POLICY STATEMENT (2020)

The 2020 Provincial Policy Statement, issued under the authority of Section 3 of the *Planning Act*, “provides policy direction on matters of provincial interest related to land use planning and development” in order to ensure efficient, cost-effective development and the protection of resources. The PPS requires that decisions affecting planning matters “shall be consistent with” the policy direction established by the Plan.

In particular, Policy 1.1.1 states that healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs; and
- c) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs.

Policy 1.1.3.1 states that settlement areas shall be the focus of growth and development. Policy 1.1.3.2 states that land use patterns within settlement areas shall be based on densities and a mix of land use which: a) efficiently use land and resources.

Policy 1.1.3.4 notes that appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.

Policy 1.1.3.6 states that new development taking place in designated growth areas should occur adjacent to the existing built-up area and shall have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities.

Section 1.3.1 speaks to employment and requires planning authorities to promote economic development and competitiveness by:

- a) providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs;
- b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses; and
- d) encouraging compact, mixed-use development that incorporates compatible employment uses to support liveable and resilient communities, with consideration of housing policy 1.4;

With regard to Long Term Economic Prosperity, Policy 1.7.1 states that long term economic prosperity should be supported by: a) promoting opportunities for economic development and community investment-readiness.

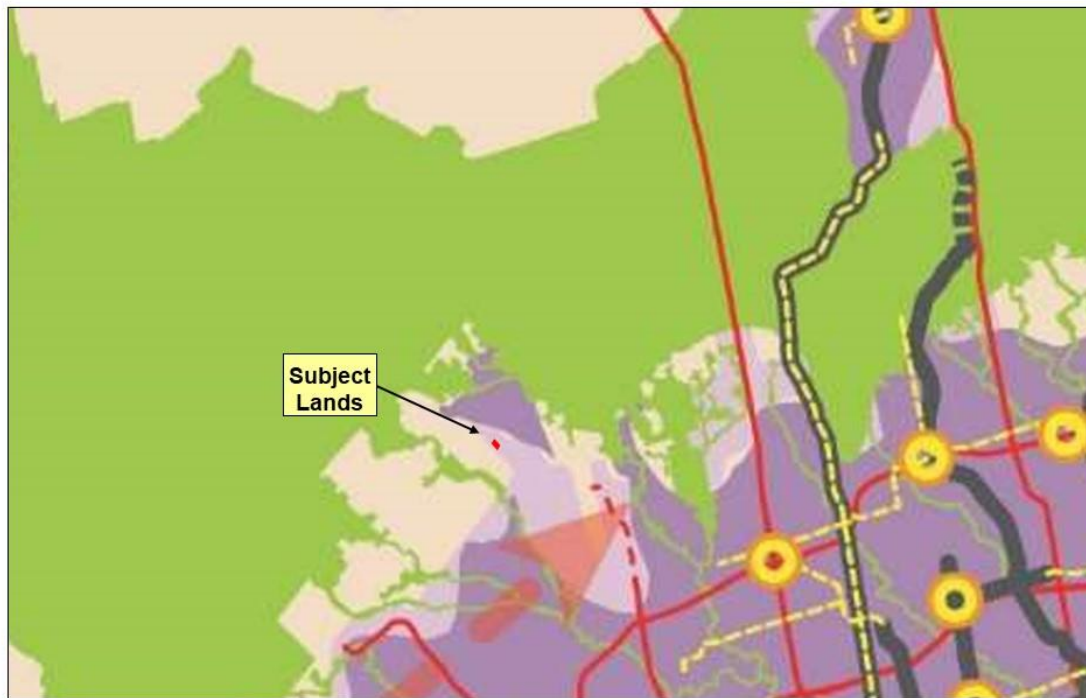
Under Policy 2.1, Natural Heritage policies include:

- Natural features and areas shall be protected for the long term (Policy 2.1.1); and
- The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features (Policy 2.1.2).

2.2 GROWTH PLAN (2019)

The 2019 Growth Plan for the Greater Golden Horseshoe (Growth Plan) provides guidance for policy directions relating to development and growth in the Greater Golden Horseshoe to 2041. The aim of the Growth Plan is to support economic prosperity, protect the environment and help communities achieve a high quality of life. Under the Growth Plan, the Subject Lands are shown as within the Designated Greenfield Area - Conceptual (see Figure 4).

Figure 4
Growth Plan (2019) – A Place to Grow Concept (Schedule 2)



Location and boundaries are approximate

Under Policy 2.2.1, Managing Growth policies include:

- The vast majority of growth will be directed to settlement areas that have existing or planned municipal water and wastewater systems and can support the achievement of complete communities (Policy 2.2.1.2.a);
- Development will be generally directed away from hazardous lands (Policy 2.2.1.2e); and

- Applying the policies of this Plan will support the achievement of complete communities that (Policy 2.2.1.4): a) feature a diverse mix of land uses including convenient access to local stores and services; and e) provide for a more compact built form and a vibrant public realm.

Under Policy 2.2.5, Employment policies include:

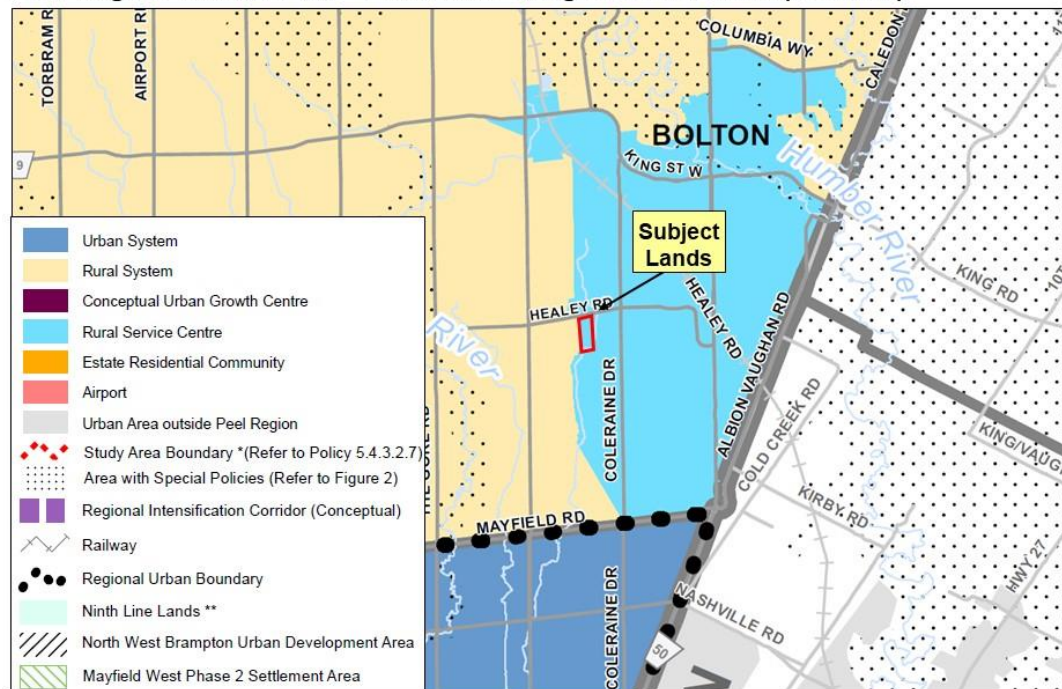
- Economic development will be promoted by (a) making more efficient use of existing employment areas and underutilized employment lands and increasing employment densities and (d) integrating and aligning land use planning and economic development goals and strategies to retain and attract investment and employment (Policy 2.2.5.1);
- Municipalities should designate and preserve lands within settlement areas located adjacent to or near major goods movement facilities and corridors, including major highway interchanges, as areas for manufacturing, warehousing and logistics, and appropriate associated uses and ancillary facilities (Policy 2.2.5.5); and
- Municipalities will plan for all employment areas within settlement areas by: (c) providing an appropriate interface between employment areas and adjacent non-employment areas maintain land use compatibility (Policy 2.2.5.7).

2.3 REGION OF PEEL OFFICIAL PLAN

According to the Region of Peel Official Plan Schedule D Regional Structure, the subject lands are within the Rural Service Centre (see Figure 5). The subject lands are adjacent to lands identified as Rural System on Schedule D. According to Schedule D4 of the Region of Peel Official Plan, the subject lands are within the Designated Greenfield Area (see Figure 6). Growth within the Rural System is generally directed to the three Rural Service Centres (including Bolton as the subject lands are considered) (Policy 5.4.2.2). It is the policy of the Official Plan to designate three Rural Service Centres as locations for growth outside of Peel's Urban System, providing a range and mix of residential, employment, commercial, recreational and institutional land uses and community services to those living and working in the Rural System (Policy 5.4.3.2.1). Bolton is one of the only three Rural Service Centres in the Town of Caledon (Policy 5.4.3.2.7).

Figure 5

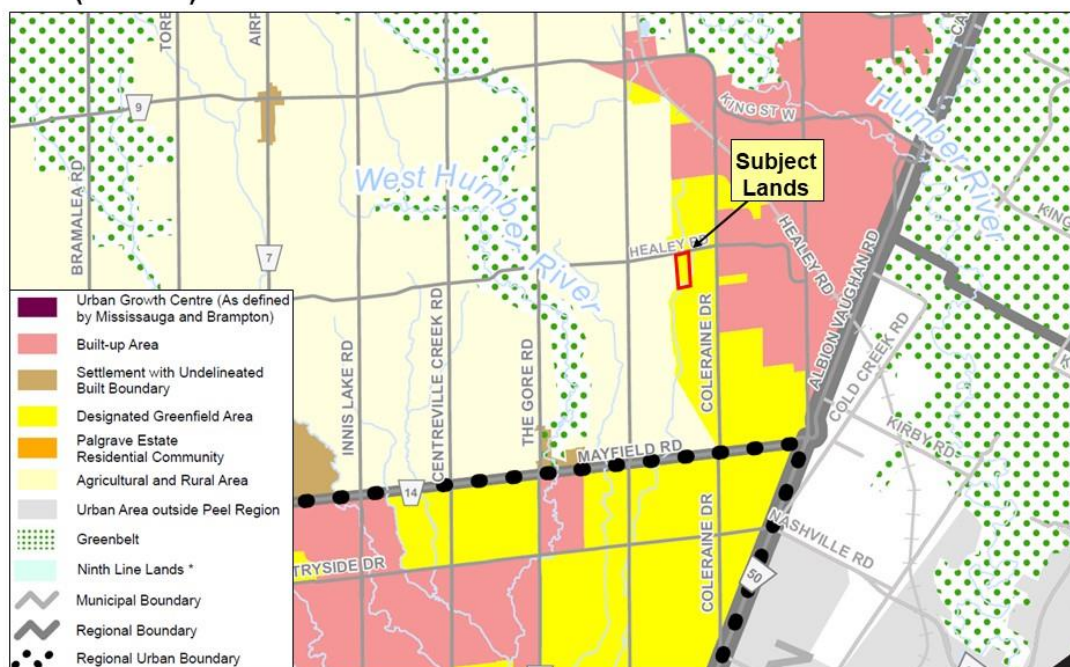
Peel Region Official Plan – Schedule D Regional Structure (in effect)



Location and boundaries are approximate

Figure 6

Peel Region Official Plan – Schedule D4 The Growth Plan Policy Areas in Peel (in effect)



Location and boundaries are approximate

An overall goal for the Regional Structure is to provide a diversity of healthy complete communities for those living and working in Peel Region, offering a wide range and mix of housing, employment, and recreational and cultural activities (Goal 5.1.2). A General Objective for the Rural System is to promote healthy rural communities that collectively contains living, working and recreational opportunities, and respect the natural environment and resources (General Objective 5.4.1.3).

The General Policies for Growth Management include to direct the area municipalities to incorporate official plan policies to develop complete communities that are compact, well-designed, transit-oriented, offer transportation choices, include a diverse mix of land uses, accommodate people at all stages of life and have an appropriate mix of housing, a good range of jobs, high quality public open space, and easy access to retail and services (Policy 5.5.2.1).

Municipalities are to plan to achieve a minimum greenfield density target of 50 people and jobs combined per hectare by 2031, to be measured over Peel's designated greenfield area excluding major environmental features as defined by the Growth Plan (Policy 5.5.4.2.1), and that development within the Town of Caledon shall be designed to meet or exceed a density of 42 residents and jobs combined per hectare (Policy 5.5.4.2.2).

The policies for Employment Areas include to require the area municipalities to include a range of employment designations in their official plans for employment areas within the Rural Service Centres, to achieve the employment forecasts and to accommodate a variety of employment uses in accordance with the location and market requirements for these uses (Policy 5.6.2.2). Policy 5.6.2.6 notes that it is the policy of the Region to protect and support employment areas for employment uses, as defined and designated in area municipal official plans. For the purposes of this policy, employment areas are those that contain lands designated in Caledon as Prestige Industrial, General Industrial and Dry Industrial.

The Greenlands System in Peel is made up of features that are identified on Schedule A of the Official Plan, as well as including Natural Areas and Corridors, which are to be interpreted, protected and shown, as appropriate, in the area municipal official plans (Policy 2.3.2.1). The Natural Areas and Corridors of the Greenlands System are defined as including any other valley and stream corridors that have not been defined

as part of the Core Areas (Policy 2.3.2.9). The existing Clarkway Tributary Corridor therefore forms part of the Greenlands System.

Appropriate policies for valley and stream corridors will be contained in the area municipal plans. Policy 2.3.2.16 directs that area municipalities, in consultation with the conservation authorities, to continue to refine the boundaries of valley and stream corridors, establish setbacks and buffers for watercourses, and valley and stream corridors and define headwater areas through subwatershed or broad scale environmental studies.

2.3.1 Regional Official Plan Amendment 30 (ROPA 30)

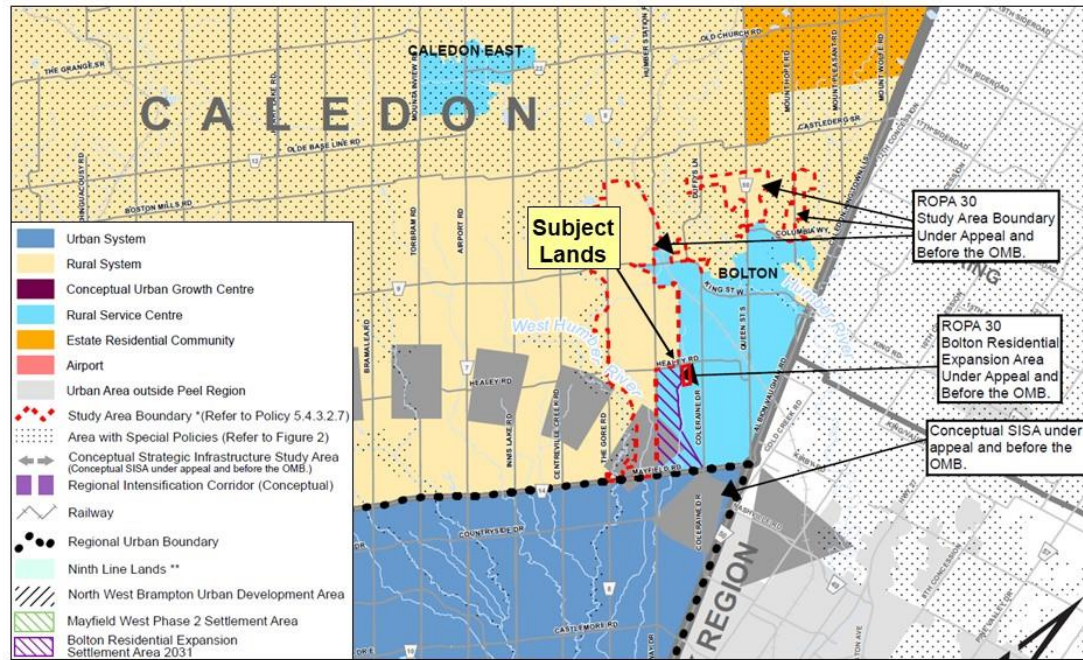
An Amendment to the Regional Official Plan (ROPA 30) was adopted by the Region of Peel on December 8, 2016 through the passing of By-law 67-2016. ROPA 30 remains under appeal at the LPAT as of the date of this Report.

The purpose and effect of the adopted amendment is to revise and add policies to the Regional Official Plan, including related Schedule revisions, to expand the Bolton Rural Service Centre in order to accommodate planned Caledon and Region of Peel growth to 2031 in accordance with the Provincial Growth Plan. Figure 7 displays the areas subject to ROPA 30.

A number of areas around Bolton were identified for the proposed expansion, and the adopted amendment identified Option 6 as the preferred expansion area. The adopted expansion area is located towards the southwest of Bolton, directly adjacent to the subject lands. The expansion area would have the effect of introducing approximately 10,300 people and 2,500 jobs to the Bolton Rural Service Centre.

Figure 7

Peel Region Official Plan – Schedule D Regional Structure (ROPA 30 Appealed)



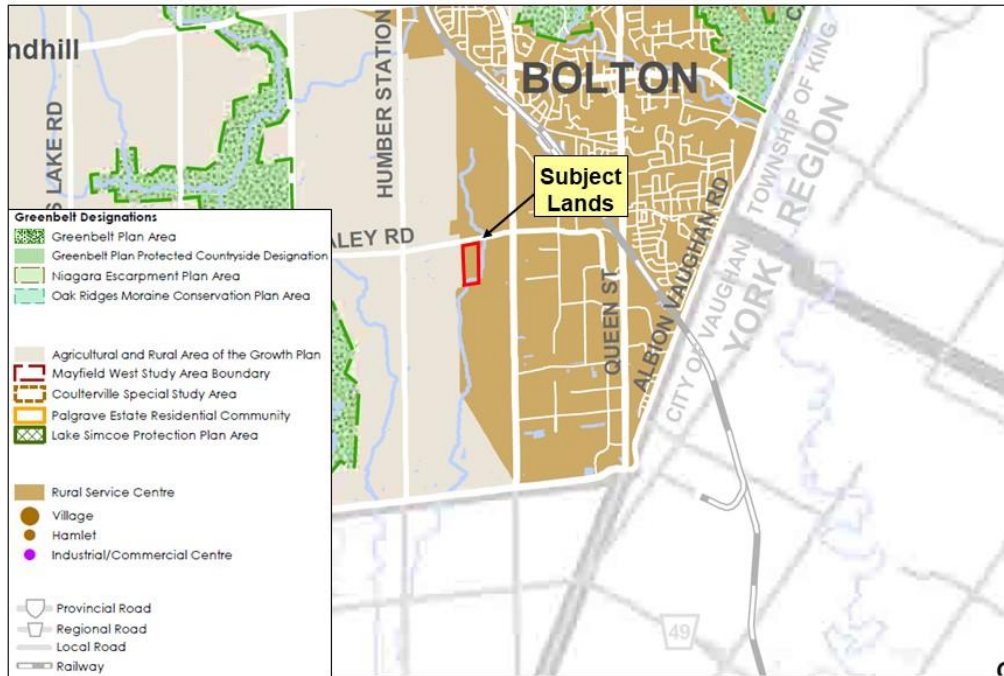
Location and boundaries are approximate

2.4 TOWN OF CALEDON OFFICIAL PLAN

Under the Town of Caledon Official Plan Schedule A1 Town Structure, the subject lands are located within the Rural Service Centre (see Figure 8).

Figure 8

Town of Caledon Official Plan – Schedule A1 Town Structure

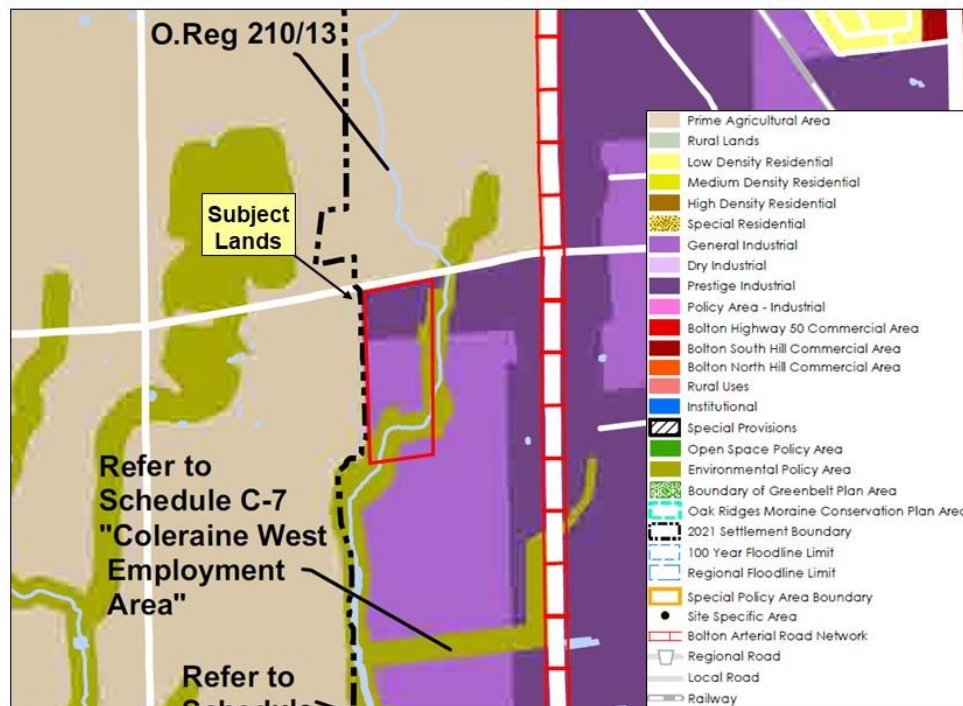


Location and boundaries are approximate

According to Schedule C Bolton Land Use, the subject lands are within the 2021 Settlement Boundary Area and are designated a combination of Prestige Industrial, General Industrial, and Environmental Policy Area (see Figure 9). Development within the Designated Greenfield Area shall be designed to meet or exceed the minimum overall density of 42 residents and jobs combined per hectare (Policy 4.2.2.3.1).

Figure 9

Town of Caledon Official Plan – Schedule C Bolton Land Use Plan



Location and boundaries are approximate

Objectives for Employment Areas include:

- To attract a broad range of industries, including corporate office commercial uses, to provide for long-term local employment and economic stability (Objective 5.5.2.1); and
- To promote the expansion of existing businesses and attract new industrial enterprises (Objective 5.5.2.2).

Relevant policies for employment areas include:

- Employment areas within the Town will be focused primarily in the Rural Service Centres of Mayfield West, and Bolton in order to: concentrate industrial activities and employment opportunities within the Town; maximize use of available sanitary, water, and transportation infrastructure; and, provide locations for industrial growth proximate to larger markets to the south and east (Policy 5.5.3.1);

- Employment Areas may be further classified as: Prestige Industrial; General Industrial; and Dry Industrial, with each type of land use being identified in separate industrial classifications in the implementing Zoning By-law. These designations are generally described as follows: a) Prestige Industrial applies to employment lands with full municipal water and sewer services which provide for clean industry as well as office uses on landscaped lots in a park-like surrounding; b) General Industrial applies to employment lands with full municipal water and sewer services which provide for various industrial uses including manufacturing, fabricating, and accessory outside storage (Policy 5.5.3.21);
- Lands designated Prestige Industrial are shown on Schedule C. Prestige uses will be located within enclosed buildings with no outside storage and uses shall be encouraged to occupy prominent locations along major roads and highways. Prestige Industrial uses shall be developed on full regional piped water and sewer services (Policy 5.5.4);
- The Prestige Industrial classification of land shall permit the following uses: a) Manufacturing, fabricating, printing, processing, assembling and packaging operations; b) Warehousing and wholesale operations; c) Laboratories, d) Computer and data processing; e) Research and development facilities; f) Corporate offices; g) Offices related to permitted industrial uses; h) Complementary uses, such as open space and recreation facilities, public uses and utilities, which do not detract from, and which are compatible with the development and operation of prestige industrial uses; i) Day care facility; and, j) Commercial uses in accordance with Section 5.5.3 (Policy 5.5.4.1);
- Lands designated General Industrial will be developed for industrial uses which require full piped regional sewer and water services (Policy 5.5.5);
- The General Industrial classification of land means that the predominant use of land shall be as follows: a) Manufacturing, fabricating, printing, processing, assembling and packaging operations; b) Warehousing and wholesale operations; c) Laboratories, d) Computer and data processing; e) Research and development facilities; f) Transportation terminals; g) Contractor's yards; h) Offices related to industrial uses; i) Complementary uses, such as open space and recreation facilities, public uses and utilities, which do not detract from, and which are compatible with the development and operation of

- industrial uses; j) Automotive uses, excluding motor vehicle sales, rental or leasing agencies; k) Accessory outdoor storage; and l) Commercial uses in accordance with Section 5.5.3. m) Adult videotape stores (Policy 5.5.5.1);
- To achieve a high standard of building design, landscape and streetscape the following guidelines will be used in conjunction with site plan approval to evaluate the design aspects of industrial development proposals: a) Buildings and streetscapes in the industrial areas and industrial business parks will be designed to provide for quality setting through the treatment of features, forms, massing, scale, site layout, orientation, landscaping, ingress and egress; b) Innovative building forms will be encouraged; c) Visual and functional relationships between individual buildings will be handled in ways appropriate to their function; d) The following are basic landscaping and planting guidelines: i) use of landscaping and planting to assist in the definition of pedestrian and vehicular routes and to enhance the sense of human-scale in outdoor pedestrian areas; ii) use of landscaping and planting to screen unattractive views, buffer adjacent land uses, and assist in making a satisfactory transition between different land use areas; and, iii) use of landscaping and planting to reduce maintenance, control erosion, and to stabilize soils; e) The design of parking and utility areas on building sites shall take into account both convenience and visual acceptability (Policy 5.5.7.1);
 - Lands with a prominent visual exposure or lands adjacent to residential uses shall be developed in a compatible manner utilizing such provisions as landscaping, berming, site design, and on-site open space and landscaping features (Policy 5.5.7.2); and
 - Lands adjacent to any non-industrial uses shall be developed in a compatible manner utilizing such provisions as landscaping, berming, and site design (Policy 5.5.7.4).

Relevant policies for Environmental Policy Areas include:

- New development is prohibited within areas designated EPA on the Land Use Schedules to this Plan, with the exception of the permitted uses as specified in policy 5.7.3.1.2 (Policy 5.7.3.1.1);
- The uses permitted in EPA shall be limited to: legally existing residential and agricultural uses; a building permit on a vacant existing lot of record; portions

- of new lots; activities permitted through approved Forest Management and Environmental Management Plans; limited extractive industrial; non-intensive recreation; and, essential infrastructure (Policy 5.7.3.1.2);
- All lands designated EPA in this Plan shall be zoned in a separate classification in the implementing Zoning By-law which conforms to the provisions of this designation (Policy 5.7.3.1.3);
 - As more detailed environmental information becomes available, such as information derived from approved studies or site investigations/inspections, minor refinements to the limits of lands designated EPA on the Schedules to this Plan, including minor additions or deletions, may be permitted without an amendment to this Plan, provided such a minor refinement is satisfactory to the Town and other relevant agencies (Policy 5.7.3.1.4); and
 - Proposed new development adjacent to EPA will be required to complete an Environmental Impact Study and Management Plan (EIS and MP) to the satisfaction of the Town and other relevant agencies. (Policy 5.7.3.7.1).

The General Policies for Bolton include:

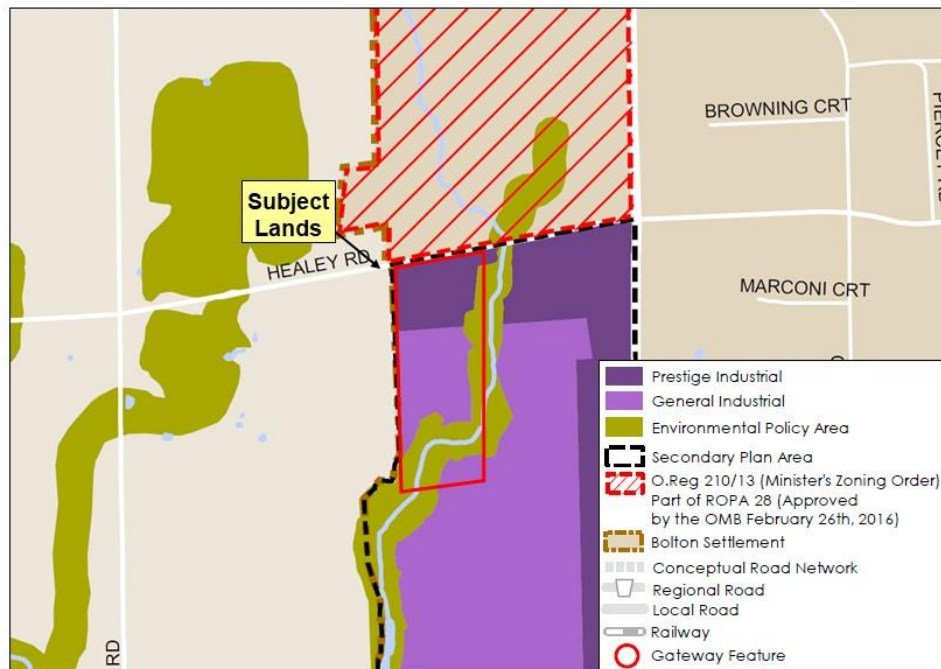
- The boundary of the Bolton Rural Service Centre is shown on Schedule C, Bolton Land Use Plan. This boundary represents the land needs for the settlement for the 2021 time frame (Policy 5.10.4.5.2.1); and
- A Secondary Plan, entitled the Coleraine West Employment Area Secondary Plan, has been completed in order to expand the Bolton Employment Area. The detailed policies are contained in Section 7.15 of this Plan (Policy 5.10.4.5.9.6).

2.5 COLERAINE WEST EMPLOYMENT AREA SECONDARY PLAN

The Coleraine West Employment Area Secondary Plan establishes detailed land use policies for lands within the Secondary Plan area. According to Schedule C-7 for the Coleraine West Employment Area, the subject lands are within the Bolton Settlement area and are designated Prestige Industrial, General Industrial and Environmental Policy Area (see Figure 10).

Figure 10

Town of Caledon Official Plan – Schedule C-7 Coleraine West Employment Area Land Use Plan



Location and boundaries are approximate

As to goals under Section 7.15.4, the Coleraine West Employment Area Secondary Plan promotes high quality industrial development in a comprehensive manner consistent with the Official Plan. Specific goals for the Coleraine West Employment Area Secondary Plan include the following: To provide for a mix of employment uses that contributes to the Town's employment and commercial/industrial assessment base; To provide for logical and orderly development on full municipal services; To ensure a high standard of community design is provided along all arterial roads; and

To recognize, protect and enhance significant environmental features and functions through good planning.

The General Policies under Section 7.15.5 are as follows:

- The Coleraine West Employment Area Secondary Plan provides for prestige industrial and general industrial uses;
- The Prestige Industrial designation is intended to provide employment uses for the community. It is the intent that the high quality urban design and uses such as, research and development and light manufacturing and offices would be encouraged to be located within the Prestige Industrial designation. The Prestige Industrial designation will also permit a broader range of land uses;
- The General Industrial designation will be more suitable for manufacturing, processing, distribution and outdoor storage uses. Development of individual sites will be integrated with the possibility of buildings and uses straddling the Prestige Industrial and General Industrial designations. Open storage uses shall not be permitted in the Prestige Industrial designation; and
- The land use proposed will respect the natural features and functions of the Secondary Plan area, associated with the Clarkway Tributary corridor. Wetlands, woodlots, and hedgerows within the Secondary Plan Area will be subject to the recommendations of an Environmental Impact Study (EIS) to the satisfaction of the Town and Conservation Authority.

Community Design policies include:

- All development is strongly encouraged to conform to the Guide to Eco-Business Zone Planning and Development guidelines (Policy 7.15.6.4);
- Buildings placed within the Prestige Industrial designation shall generally front and provide their primary building entrance on Coleraine Drive, Mayfield Road, George Bolton Parkway or Healey Road. Generally loading bays, within the Prestige Industrial designation, shall be placed along the walls of the building not facing these major roads to minimize their visual impact along these major roads (Policy 7.15.6.5);
- Visual impacts of parking and loading facilities shall be minimized (Policy 7.15.6.6);

- Enhanced building and landscape design is required along Coleraine Drive, Mayfield Road, Healey Road and George Bolton Parkway (Policy 7.15.6.7); and
- All development shall conform to the General Design Policies of Section 5.5.7 of this Plan, as well as the Industrial/Commercial Institutional Site Plan Design Guidelines, adopted by Council on June 24, 2002, as may be amended by Council from time to time (Policy 7.15.6.10).

With regard to Secondary Plan Uses:

- Development on lands designated Prestige Industrial on Schedule C-7 shall be permitted in accordance with the policies of Sections 5.5.4, 5.10.4.5.9.1 and 7.15.7.1.5 of this Plan as well as the following specific policies (Policy 7.15.7.2.1);
- The Prestige Industrial designation shall apply to lands adjacent to Coleraine Drive, Mayfield Road, George Bolton Parkway and Healey Road with the intent that the development adjacent to these major roads will be attractive and developed to a high standard of community design with buildings that appear to front onto major roads (Policy 7.15.7.2.2); and
- Development on lands designated General Industrial on Schedule C-7 shall be permitted in accordance with policies of Section 5.5.5 and 7.15.7.1.5 of this Plan (Policy 7.15.7.3.1).

Environmental Policy Area policies include:

- The lands associated with the Clarkway Tributary corridor within the Coleraine West Employment Area Secondary Plan are designated as an Environmental Policy Area on Schedule C-7 (Policy 7.15.8.1);
- All lands within the Plan are subject to the Ecosystem Planning and Management and Sustainability provisions of Section 3.1 of this Plan (Policy 7.15.8.2);
- The Natural Heritage System is designated as Environmental Policy Area (EPA) (Policy 7.15.8.3.1);
- Proposed new development adjacent to the Environmental Policy Areas will require an EIS to the satisfaction of the Town of Caledon, TRCA and the Region of Peel to refine the site-specific limits to the NHS (Policy 7.15.8.3.2);

- The refined development limit will be set through the completion of an EIS to the satisfaction of the Town of Caledon and the Conservation Authority and, based on the current planning policies of this Plan, relevant Region of Peel, Provincial and Conservation Authority policies (Policy 7.15.8.3.3); and
- Where appropriate and as permitted in accordance with applicable Regional, Provincial and Conservation Authority policies, the refined development limit may result in alterations, additions, eliminations or relocations of the Environmental Policy Areas, which will not require amendment to this Plan. Exact limits will be implemented through zoning (Policy 7.15.8.3.4).

Servicing policies include:

- All development in the Secondary Plan Area shall be serviced by full municipal water and sanitary sewers, municipal roads, hydro, fiber optic trenches and other utilities (Policy 7.15.11.1); and
- An integrated stormwater management system shall be required as generally envisioned in the Comprehensive Environmental Impact Study and Management Plan (CEISMP) and to the satisfaction of the Town and the Conservation Authority. The development of stormwater management infrastructure, including the location, design, size and function of facilities shall be generally in accordance with the CEISMP. Prior to the submission of site-specific planning applications, a comprehensive stormwater management study will be required to the satisfaction of the Town and Conservation Authority. Where an initial comprehensive stormwater management study has been completed, an addendum to this study shall be required in support of subsequent planning applications (Policy 7.15.11.2).

Implementation policies include:

- The land use pattern shown on Schedule C-7 is conceptual and may be adjusted in the plan of subdivision or site plan approval processes, taking into account such matters as the preservation of environmental features, stormwater management requirements, heritage resources, and the provision of full municipal services, emergency services, detailed land use relationships and street patterns. (Policy 7.15.13.2);

- Minor variations of land use boundaries and street patterns shall not require an amendment to this Secondary Plan providing that the intent of the Plan is maintained. Land use boundary change as a result of an EIS or natural hazard assessment shall not require amendment to this Plan but may require an amendment to the Zoning By-law. An amendment to the Zoning By-law to reflect a revision to the boundaries of the Environmental Policy Area shall be deemed to comply with this Plan. (Policy 7.15.13.3); and
- Appropriate zoning by-law(s) shall be enacted to implement the land use designations of this Plan (Policy 7.15.13.5).

2.6 TOWN OF CALEDON'S COMPREHENSIVE TOWN-WIDE DESIGN GUIDELINES

The Town of Caledon Comprehensive Town-Wide Design Guidelines (TWDG) dated November 2018 were prepared to provide comprehensive town-wide and area specific urban design, landscape and architectural solutions. As it relates to the Development Community, the "TWDG will assist members of the development industry and their consultant teams by providing a clear, comprehensive and concise source of guidance for development, Townwide. Development applications are required to demonstrate conformity with the Town's design policies and guidelines" (Section 1.1.1). The TWDG provides for three categories of guidelines: Design Standards, which are mandatory; Design Requirements, where compliance with design requirements is expected; and Encouraged Practices, where it is desirable to comply (Section 2.3).

The TWDG guidelines relate generally to site design and layout, as well as built form considerations. The proposed amendment to the Zoning By-law is limited to the refinement of the existing zoning boundaries. Once the zoning boundaries have been refined, site layout and building design matters will be addressed with consideration for the relevant TWDG guidelines.

The Guidelines will be addressed and applied, as appropriate, through a future site plan approval application, which can adequately address site design and built form matters.

2.7 GUIDE TO ECO-BUSINESS ZONE PLANNING AND DEVELOPMENT

The Town of Caledon and the Toronto Region Conservation Authority prepared A Guide to Eco-Business Zone Planning & Development, dated March 24, 2014 (the “Guide”). According to Purpose, Section 1.1, the Guide “provides staff guidance on the planning, design and subsequent development of eco-business zones in new employment areas”.

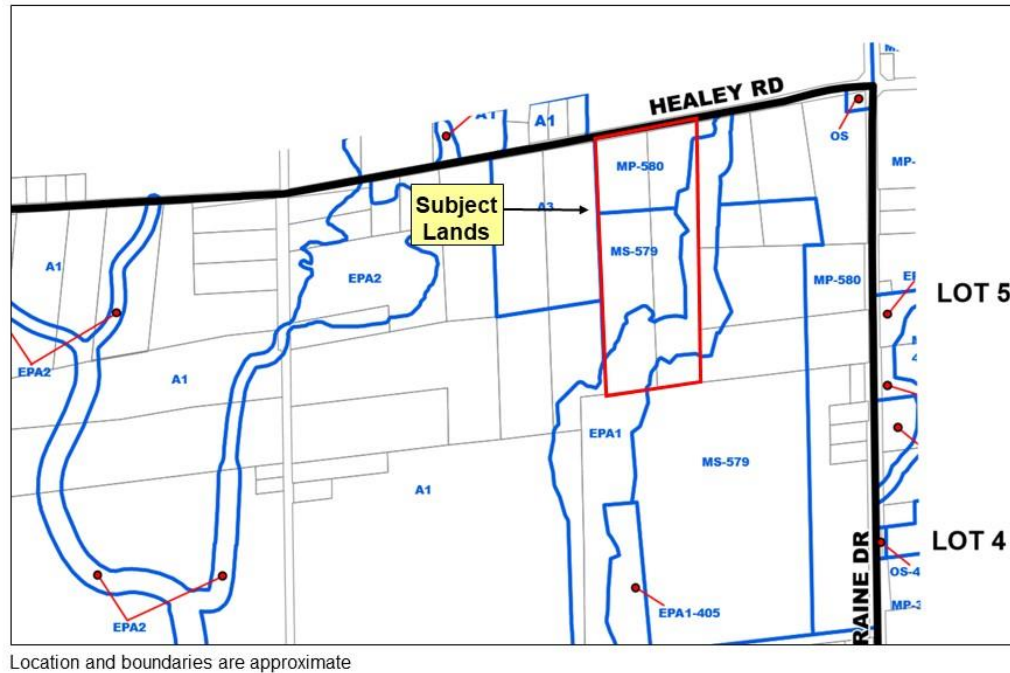
Section 6 of the Guide relates to parcel development, offering guiding principles for site development including site layout and built form considerations. The proposed amendment to the Zoning By-law is limited to the refinement of the existing zoning boundaries. Once the zoning boundaries have been refined, site layout and building design matters will be addressed with consideration for the relevant Eco-Business Zone guidelines.

The Guide will be addressed and applied, as appropriate, through a future site plan approval application, which can adequately address site design and built form matters.

2.8 TOWN OF CALEDON COMPREHENSIVE ZONING BY-LAW NO. 2006-50

Under the Town of Caledon Comprehensive Zoning By-law No. 2006-50, as amended, the subject lands are zoned Prestige Industrial Exception-580 (MP-580), Serviced Industrial Exception-579 (MS-579) and Environmental Policy Area 1 (EPA1) (see Figure 11).

Figure 11
Town of Caledon Zoning By-law 2006-50 Zone Map 2



Special Provisions 579 and 580 establish specific permitted uses as follows:

Use	MS-579	MP-580
Bulk Storage Facility	X	
Business Office	X	X
Contractor's Facility	X	
Convenience Store (A)	X	X
Day Nursery, Accessory		X
Drive Through Service Facility, Accessory (B)		X
Dry Cleaning or Laundry Plant	X	
Equipment Storage Building	X	X
Factory Outlet	X	X
Financial Institution (A)		X
Fitness Centre, Accessory		X
Gasoline Pump Island, Accessory	X	X
Industrial Use	X	X
Light Equipment Rental Establishment	X	X
Maintenance Garage, Accessory	X	X
Merchandise Service Shop	X	

Motor Vehicle Body Shop	X	
Motor Vehicle Gas Bar	X	
Motor Vehicle Repair Facility	X	
Open Storage Area, Accessory	X	
Outside Display or Sales Area, Accessory	X	
Place of Assembly		X
Place of Worship		X
Research Establishment	X	X
Restaurant (A)		X
Training Facility		X
Transportation Depot	X	
Vehicular Trailer Storage, Accessory	X	X
Warehouse	X	X
Warehouse, Public Self-Storage	X	
Warehouse, Wholesale		X
Footnote A – For the purpose of this zone, Section 13.1.1.5 shall not apply and the uses denoted with footnote A shall only be permitted as an accessory use to a lot, or as a freestanding use that is accessory and incidental to the other permitted uses in the zone.		
Footnote B – subject to compliance with Section 4.7.		

Special Provisions 579 and 580 establish a number of site specific provisions, several of which overlap. The site specific provisions applicable to both the MS-579 and MP-580 include:

- Building Area (Maximum) 60%
 - For the purpose of this zone, the maximum Building Area shall be calculated as a percentage of the lot area.
- Front Yard (Minimum) 6.0m
- Exterior Side Yard (Minimum) 6.0m
- Private Garbage Enclosures
 - In addition to the requirements for private garbage enclosures within the General Provisions of the Zoning By-law, private garbage enclosures are not permitted in a front yard or exterior side yard.
- Parking Space Setback (Minimum)
 - From a Front Lot Line 6.0m
 - From an Exterior Side Lot Line 6.0m
 - From an Interior Side Lot Line 3.0m

- From a Rear Lot Line 3.0m
- Notwithstanding the provisions noted above to the contrary, where a lot line abuts an EPA-1 Zone the required setback shall be reduced by 50%.
- Height Exceptions
 - For the purpose of this zone, the building or structure height provisions of this By-law shall not apply to the following uses:
 - Renewable energy mechanical systems
 - Green roof mechanical systems
- Illumination
 - Light fixtures shall be no more than 19.0m above finished grade.

Site specific provision applicable to the MS-579 zone include:

- No parking spaces or aisle shall be located closer than 6.0 metres from a front yard or exterior side yard.
- Loading Space Setback (Minimum)
 - No loading space shall be located between the building and the street.
- Delivery Space Setback (Minimum)
 - No delivery space shall be located between the building and the street.
- Driveway Setbacks (Minimum)
 - From the point at which a Front Lot Line and an Exterior Side Lot Line meet: 6.0m
- Open Storage Area, Accessory
 - For the purpose of this zone, no open storage area, accessory is permitted in the front yard or exterior side yard.
 - All open storage areas, accessory shall be screened with fencing a minimum of 2.0m high with solid opaque materials.
- Vehicular Trailer Storage, Accessory Use
 - All vehicular trailer storage areas shall be screened with year round screening.
- Building Height (max) 18.0m

Site specific provision applicable to the MP-580 zone include:

- Building Mass

- For the purpose of this zone, where a lot abuts a Regional Road, the combined sum of all building widths shall be no less than 50% of the lot frontage.
- Parking Space Location
 - A maximum depth of 18.0 metres may be dedicated to parking spaces and one aisle located between the planting strip and the building along a front or exterior side yard.
- Loading Space Setback (Minimum)
 - Notwithstanding any setback requirement related to loading spaces, loading spaces shall be set back 3.0m behind any wall facing the front or exterior lot line, and, shall be screened with a solid wall.
- Delivery Space Setback (Minimum)
 - Notwithstanding any setback requirement related to delivery spaces, delivery spaces shall be set back 3.0m behind any wall facing the front or exterior lot line, and, shall be screened with a solid wall.
- Driveway Setbacks (Minimum)
 - From the point at which a Front Lot Line and an Exterior Side Lot Line meet - 6.0m
- Vehicular Trailer Storage, Accessory Use
 - For the purpose of this zone, no vehicular trailer storage is permitted in the front yard or exterior side yard.
 - No vehicular trailer storage shall exceed 5.0m in height.
 - All vehicular trailer storage areas shall be screened with year round screening.

Permitted uses under the EPA1 zone include: environmental management; farm, existing; forest management; and recreation, non-intensive.

The boundary of the EPA1 zone is proposed to be modified in accordance with the site plan prepared by Baldassarra Architects. The MS-579 and MP-580 zone boundaries are proposed to be refined adjacent to the EPA1 zone lands. The zoning regulations that apply to the MS-579 and MP-580 zones would apply to the newly rezoned lands, respectively.

3.0 PROPOSED AMENDMENTS

3.1 ZONING BY-LAW AMENDMENT

A Zoning By-law Amendment is proposed for a portion of the subject lands as follows:

- To remove a portion of the Environmental Policy Area 1 (EPA1) and apply the Serviced Industrial Exception-579 (MS-579) and the Prestige Industrial Exception-580 (MP-580);
- To remove a portion of the Serviced Industrial Exception-579 (MS-579) and apply the Environmental Policy Area 1 (EPA1); and
- To remove a portion of the Prestige Industrial Exception-580 (MP-580) and apply the Environmental Policy Area 1 (EPA1).

A draft Zoning By-law Amendment is found in Appendix A.

4.0 PLANNING ANALYSIS

4.1 PROVINCIAL POLICY STATEMENT

The proposed Zoning By-law Amendment is consistent with the 2020 Provincial Policy Statement for reasons including:

- The proposed zoning by-law amendment will assist in achieving the Province's policy direction of promoting efficient development and land use patterns that sustain the financial well-being of the Province and the Town of Caledon over the long-term by creating a more developable footprint area (Policy 1.1.1.a);
- The proposed zoning by-law amendment will assist the Town of Caledon in meeting the long-term needs for employment (industrial) uses (Policy 1.1.1.b);
- The proposed zoning by-law amendment provides for cost-effective development standards (Policy 1.1.1.e);
- The subject lands are within the Bolton Rural Service Centre settlement area, where growth and development is focused (Policy 1.1.3.1);
- The proposed refinement of the zoning boundaries will allow a more efficient use of the subject lands through creating a more developable footprint area (Policy 1.1.3.2a);
- The proposed zoning by-law amendment retains the zoning permissions of the existing MS-579 and MP-580 zones, which represent established appropriate development standards (Policy 1.1.3.4);
- The subject lands are located within an identified growth area, and the proposed zoning standards allow for a compact form to allow for the efficient use of land (Policy 1.1.3.6);
- The proposed refinement of the zoning boundaries promotes economic development by expanding the potential development footprint of a future employment use to create a more uniform lot configuration, and maintains the range of potential economic opportunities (Policy 1.3.1);
- The proposed Zoning By-law Amendment supports long term economic prosperity by promoting the opportunity for economic development through the expanded developable area (Policy 1.7.1a); and
- As demonstrated in the supporting submission materials, natural features and areas within the EPA will be protected for the long term (Policy 2.1.1) and the

diversity and connectivity of the EPA natural features will be maintained (Policy 2.1.2).

4.2 GROWTH PLAN (2019)

The proposed Zoning By-law Amendment conforms to the 2019 Growth Plan and the goal to build compact, vibrant and complete communities under the Where and How to Grow Policies, including:

- The subject lands are within the Bolton Rural Service Centre, which has existing municipal water and wastewater systems, and can support the achievement of complete communities (Policy 2.2.1.2.a);
- The proposed zoning boundary refinement ensures that future development is appropriately directed away from hazardous lands (Policy 2.2.1.2e);
- The proposed Zoning By-law Amendment will assist in achieving the overall policy direction of encouraging municipalities to develop as complete communities with a diverse mix of land uses and a range and mix of employment types in a compact built form as a result of opening up the potential development footprint for employment uses (Policy 2.2.1.4);
- The proposed refined zoning boundaries expand and create a more uniform potential development footprint, which promotes economic development and competitiveness by allowing for a more efficient use of the employment area (Policy 2.2.5.1.a) while aligning land use planning and economic development goals and strategies to retain and attract investment and employment (Policy 2.2.5.1.d);
- The subject lands are located along Coleraine Drive and are an appropriate location for warehousing and logistics uses, which are uses permitted by the proposed zoning (Policy 2.2.5.5); and
- As demonstrated in the supporting submission materials, the proposed Zoning By-law Amendment provides for an appropriate interface between the Coleraine West Employment Area and the Clarkway Tributary to the east, in order to maintain land use compatibility (Policy 2.2.5.7).

4.3 REGION OF PEEL OFFICIAL PLAN

The proposed Zoning By-law Amendment conforms with the Region of Peel Official Plan for reasons including:

- The existing Clarkway Tributary Corridor forms part of the Greenlands System in Peel (Policy 2.3.2.1 and 2.3.2.9), and as demonstrated in the Environmental Impact Study, the proposed Zoning By-law Amendment refines the boundary of the Environmental Policy Area (Policy 2.3.2.16);
- The proposed development will assist in achieving the overall goal of providing for complete communities with a wide range of activities, including employment uses (Goal 5.1.2);
- The proposed Zoning By-law Amendment is consistent with the General Objectives for the Rural System including promoting healthy rural communities by providing employment opportunities that respect the natural environment (General Objective 5.4.1.3);
- The proposed Zoning By-law Amendment facilitates growth in the Bolton Rural Service Centre and expands the development potential for a range of employment uses (Policy 5.4.2.2 and Policy 5.4.3.2.1);
- The proposed development will contribute to creating a complete community by providing employment in the Bolton Rural Service Centre as well as the larger Town of Caledon (Policy 5.5.2.1);
- The proposed refinement to the zoning boundary will result in a more developable footprint and uniform lot configuration, which will make more efficient use of the subject lands to achieve growth targets (Policy 5.5.4.2.1 and 5.5.4.2.2); and
- The proposal will refine the extent of the applicable General Industrial and Prestige Industrial designations, which will support and allow for a variety of employment uses within the Coleraine West Area Secondary Plan (Policy 5.6.2.2 and 5.6.2.6).

4.4 TOWN OF CALEDON OFFICIAL PLAN

The proposed Zoning By-law Amendment conforms with the Town of Caledon Official Plan for reasons including:

- The objectives for Employment Areas to attract a broad range of industries to provide for long-term local employment and economic stability (Objective 5.5.2.1) and to promote the expansion of an existing business and attract new industrial enterprises (Objective 5.5.2.2) are supported by improving the developability of the lands, which is accomplished through establishing a more uniform parcel to accommodate buildings and associated uses as part of the boundary refinement;
- The subject lands are located in an employment area within the Bolton Rural Service Centre, where a concentration of industrial activities is directed (Policy 5.5.3.1);
- The Zoning By-law Amendment will ensure a range of employment related uses are permitted under the Prestige Industrial and General Industrial designations on lands, which will be serviceable with full piped regional sewer and water services (Policies 5.5.3.21, 5.5.4, 5.5.4.1, 5.5.5 and 5.5.5.1);
- The proposed refinement to the zoning boundary will result in a more developable footprint and uniform lot configuration, which will make more efficient use of the subject lands to achieve growth targets (Policy 4.2.2.3.1);
- A future site plan approval application will be submitted to facilitate the development of the subject lands in accordance with the Zoning By-law regulations, which will consider the site design aspects of Policies 5.5.7.1, 5.5.7.2, and 5.5.7.4 to ensure compatibility and a high quality of site design;
- Within the context of Policies 5.7.3.1.2, 5.7.3.1.4 and 7.15.13.3, the proposed Zoning By-law Amendment to rezone EPA 1 lands to MS-579 and MP-580 represents a minor refinement that conforms with the Environmental Policy Area policies 5.7.3.1.1 and 5.7.3.1.3, and is supported by an Environmental Impact Study prepared by MTE Consultants that was prepared for review by the Town, Region and TRCA (Policy 5.7.3.7.1); and
- The subject lands are within in the boundary of the Bolton Rural Service Centre (Policy 5.10.4.5.2.1) and are subject to the Coleraine West Employment Area Secondary Plan (Policy 5.10.4.5.9.6).

4.5 COLERAINE WEST EMPLOYMENT AREA SECONDARY PLAN

The proposed Zoning By-law Amendment conforms with the Coleraine West Employment Area Secondary Plan for reasons including:

- The proposed Zoning By-law Amendment supports the goals under Section 7.15.4 for the Coleraine West Employment Area Secondary Plan by ensuring permissions for industrial development consistent with the Official Plan. A range of uses will be permitted under the proposed zoning by-law, which will have access to full municipal services. Development will proceed through a future site plan approval application, which will ensure a high standard of design. The refined zoning boundary will ensure the protection of the Environmental Policy Area;
- The proposed Zoning By-law Amendment conforms with the General Policies under Section 7.15.5 as a range of uses will be permitted in accordance with the Prestige Industrial and General Industrial designations, while respecting the natural features and functions of the Secondary Plan area, associated with the Clarkway Tributary Corridor;
- The Guide to Eco-Business Zone Planning and Development will be considered and implemented as appropriate through a future site plan approval application (Policy 7.15.6.4);
- A future site plan approval application will be prepared to facilitate the development of the subject lands in accordance with the Zoning By-law regulations, which will consider the community design aspects of the Secondary Plan, including Policy 7.15.6.5, 7.15.6.6, and 7.15.6.7;
- The General Design Policies of Section 5.5.7 and the Town of Caledon Comprehensive Town-Wide Design Guidelines will be considered and implemented as appropriate through a future site plan approval application (Policy 7.15.6.10);
- The proposed refined zoning boundary will ensure a range of employment uses are accommodated on the subject lands, which are partly designated Prestige Industrial (Policies 7.15.7.2.1 and 7.15.7.2.2);
- The proposed refined zoning boundary will ensure a range of employment uses are permitted on the subject lands, which are partly designated General Industrial (Policy 7.15.7.3.1);

- The lands associated with the Clarkway Tributary Corridor within the Coleraine West Employment Area Secondary Plan are designated as an Environmental Policy Area on Schedule C-7 and form part of the Natural Heritage System (Policies 7.15.8.1 and 7.15.8.3.1). As part of the Zoning By-law Amendment application, an Environmental Impact Study was prepared by MTE Consultants for review by the Town of Caledon, TRCA and the Region of Peel in order to refine the site-specific limits to the NHS (Policies 7.15.8.3.2 and 7.15.8.3.3). With the proposed Zoning By-law Amendment, the refined development limit for the lands zoned EPA 1 will result in an alteration to the Environmental Policy Area, which does not require amendment to the Official Plan (Policy 7.15.8.3.4);
- Future development of the subject lands will be serviced by full municipal water and sanitary sewers, municipal roads, hydro, fiber optic trenches and other utilities (Policy 7.15.11.1) and a Stormwater Management Report prepared by Odan Detech Group has been prepared in support of the Zoning By-law Amendment application for review by the Town and TRCA (Policy 7.15.11.2);
- As the land use pattern shown on Schedule C-7 is conceptual, the proposed Zoning By-law Amendment represents a minor variation of the EPA land use boundary, which does not require an amendment to the Secondary Plan as the intent of the Official Plan is maintained (Policies 7.15.13.2 and 7.15.13.3); and
- The proposed Zoning By-law Amendment is a modification to existing established zones, which is appropriate to implement the land use designations of the Official Plan and Coleraine West Employment Area Secondary Plan (Policy 7.15.13.5).

4.6 TOWN OF CALEDON'S COMPREHENSIVE TOWN-WIDE DESIGN GUIDELINES

The proposed amendment to the Zoning By-law is limited to the refinement of the existing zoning boundaries. Once the zoning boundaries have been refined under the Zoning By-law Amendment, site layout and building design matters will be addressed with consideration for the relevant TWDG guidelines.

The Guidelines will be addressed and applied, as appropriate, through a future site plan approval application, which can adequately address site design and built form matters.

4.7 GUIDE TO ECO-BUSINESS ZONE PLANNING AND DEVELOPMENT

The proposed amendment to the Zoning By-law is limited to the refinement of the existing zoning boundaries. Once the zoning boundaries have been refined under the Zoning By-law Amendment, site layout and building design matters will be addressed with consideration for the relevant Eco-Business Zone guidelines.

The Guide will be addressed and applied, as appropriate, through a future site plan approval application, which can adequately address site design and built form matters.

4.8 LOCATION AND COMPATIBILITY

The subject lands located within the Coleraine West Employment Area are well positioned for the proposed zoning boundary refinement.

A future site plan approval application will be submitted to the Town in order to facilitate the development of the subject lands, and will ensure development is compatible with the surrounding land uses and is consistent with applicable design guidelines.

4.9 ENVIRONMENTAL IMPACT STUDY

A Scoped Environmental Impact Study was prepared by MTE Consultants as it relates to the proposed Zoning By-law Amendment application, specifically to determine the limits of the Environmental Policy Area applicable to the Clarkway Tributary Corridor. The Report concludes that “the proposed refinement of the zoning boundary will ensure the protection of the features identified within the Environmental Policy Area.” The Report presents mitigation and wetland enhancement measures in order to provide a net gain in wetland area and quality. The Report further concludes that “the proposed development limits are reflective of the Environmental Policy Area boundary and that the proposed future development will not impact natural features found within the Environmental Policy Area”, and that the development limits avoid direct impact to

protected natural heritage features. The Report offers recommendations for further protection of adjacent features from indirect impact as a result of development.

4.10 FUNCTIONAL SERVICING AND STORMWATER MANAGEMENT REPORT

A Functional Servicing and Stormwater Management Design Brief was prepared by Odan Detech Group for the proposed Zoning By-law Amendment. The Report also contains the floodplain analysis/cut fill balance/hydraulics reporting.

The Report concludes that the site will be serviceable with sanitary extended from Coleraine Drive, and storm sewers to a downstream stormwater management pond, and has sufficient water supply. The availability of other functional services, including gas and hydro, are confirmed by the Report.

The Report further concludes that “the alterations proposed to the flood plain will not alter the current floodplain elevations both on the current and adjacent development”, and that “Flood Plain volumes have been maintained or improved on.”

The Odan Detech Group Report also contains a preliminary erosion and sediment control plan. The Report outlines a number of methods and ways to manage erosion and sediment control. The precise erosion and sediment control plan will be proposed once the development limit is refined and an anticipated built-form proposed (through a future Site Plan Approval application).

5.0 CONCLUSIONS

Given the findings of this report and the supporting materials, it can be concluded that the proposed Zoning By-law Amendment is consistent with and conforms to the applicable provincial and municipal land use planning policies, and represents good land use planning, as follows:

- The proposed Zoning By-law Amendment to refine the boundary of the EPA lands is consistent with the Provincial Policy Statement (2020) and conforms with the Growth Plan (2019), Regional Official Plan and Town of Caledon Official Plan;
- The Town of Caledon Comprehensive Town-wide Design Guidelines and Guide to Eco-Business Zone Planning and Development will be considered and implemented, as appropriate, during the site design phase and a future Site Plan Approval application;
- The subject lands located within the Coleraine West Employment Area are anticipated to accommodate employment uses;
- The proposed Zoning By-law Amendment is limited to the refinement of existing established zoning boundaries, and will not modify, add or remove applicable permissions or development standards;
- A future Site Plan Approval application will be submitted following the zone boundary refinement under the proposed Zoning By-law Amendment, which will ensure the proposed development is compatible with the surrounding land uses;
- The Environmental Impact Study concludes that the proposed refinement of the zoning boundary will ensure the protection of the features identified within the Environmental Policy Area; and
- The Stormwater Management and Functional Servicing Design Brief confirms the presence of adequate servicing connections, including water, wastewater, stormwater, gas and hydro, and concludes that the proposed alteration to the floodplain will not alter the current floodplain elevations both on the current and adjacent development.

APPENDIX A

**THE CORPORATION OF THE TOWN OF CALEDON
BY-LAW NO. 20xx-xxx**

Being a by-law to amend Comprehensive Zoning By-law 2006-50, as amended,
with respect to PT LT 5 CON 5 ALBION AS IN VS394773; TOWN OF CALEDON, being
all of PIN 14349-0140 (LT) and PT LT 5 CON 5 ALBION AS IN RO431110; TOWN OF
CALEDON, being all of PIN 14349-0141 (LT),
Town of Caledon, Regional Municipality of Peel,
municipally known as 8281 and 0 Healey Road

WHEREAS Section 34 of the Planning Act, as amended, permits the councils of local municipalities to pass zoning by-laws for prohibiting the use of land or the erecting, locating or using of buildings or structures for or except for such purposes as may be set out in the by-law;

AND WHEREAS the Council of The Corporation of the Town of Caledon considers it desirable to pass a zoning by-law to permit the use of PT LT 5 CON 5 ALBION AS IN VS394773; TOWN OF CALEDON, being all of PIN 14349-0140 (LT) and PT LT 5 CON 5 ALBION AS IN RO431110; TOWN OF CALEDON, being all of PIN 14349-0141 (LT), Town of Caledon, Regional Municipality of Peel, for industrial purposes.

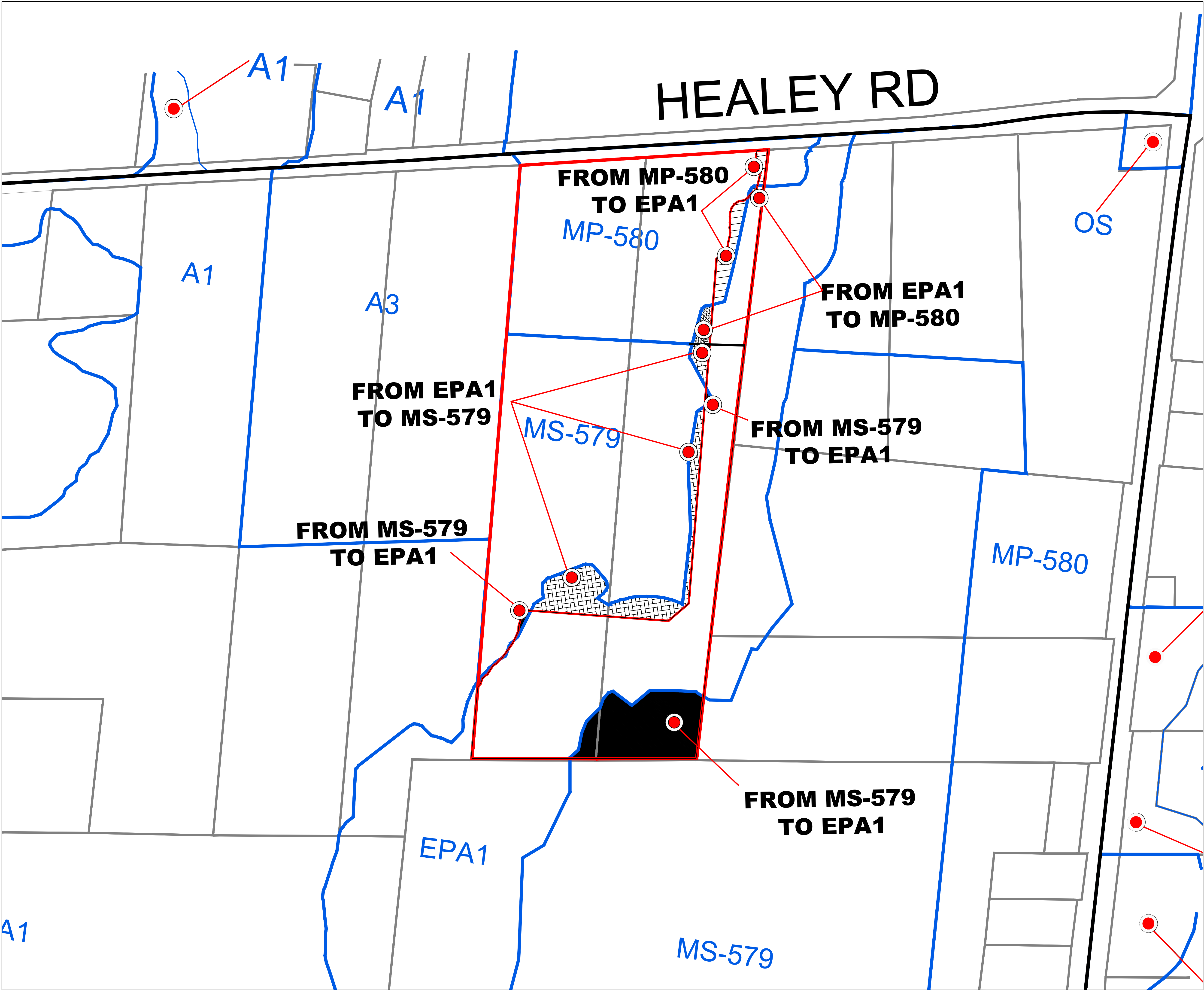
NOW THEREFORE the Council of The Corporation of the Town of Caledon enacts that By-law 2006-50, as amended, being the Comprehensive Zoning By-law for the Town of Caledon, shall be and is hereby amended as follows:

1. Schedule "A", Zone Map 2 of By-law 2006-50, as amended is further amended for PT LT 5 CON 5 ALBION AS IN VS394773; TOWN OF CALEDON, being all of PIN 14349-0140 (LT) and PT LT 5 CON 5 ALBION AS IN RO431110; TOWN OF CALEDON, being all of PIN 14349-0141 (LT), Town of Caledon, Regional Municipality of Peel, from Environmental Policy Area 1 (EPA1) to Serviced Industrial Exception-579 (MS-579) and Prestige Industrial Exception-580 (MP-580), and from Serviced Industrial Exception-579 (MS-579) and Prestige Industrial Exception-580 (MP-580) to Environmental Policy Area 1 (EPA1) in accordance with Schedule "A" attached hereto.

Read three times and finally
passed in open Council on the XX
day of XXXXXX, 20XX.

Allan Thompson, Mayor

Carey deGorter, Clerk

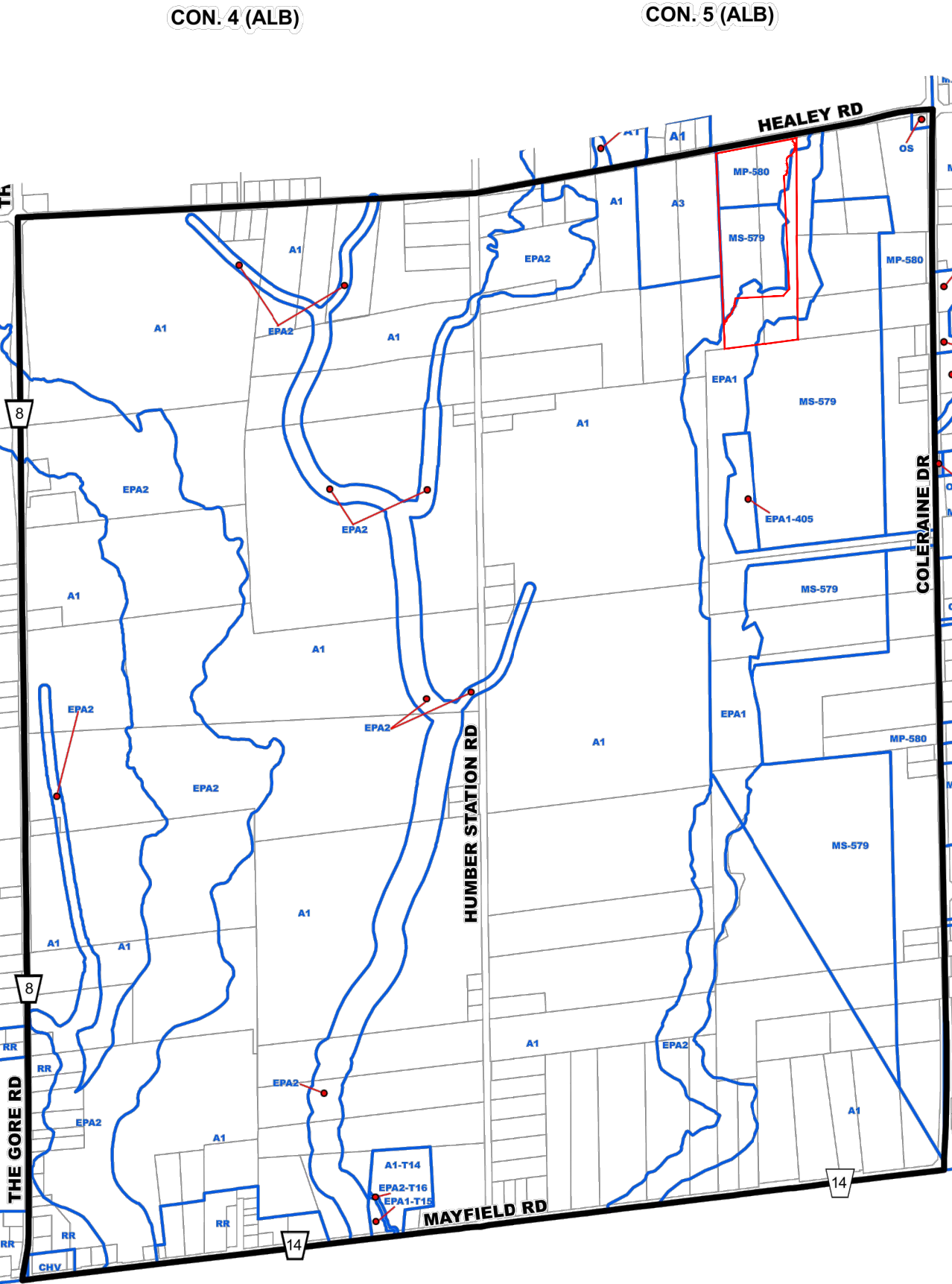


Schedule A
By-law No. BL-2020-XXX

Town of Caledon
Regional Municipality of Peel

- Legend**
- Lands to be rezoned from MP-580 to EPA1
 - Lands to be rezoned from EPA1 to MP-580
 - Lands to be rezoned from EPA1 to MS-579
 - Lands to be rezoned from MS-579 to EPA1

Key Map nts.



Date: xxx

File: RZ 2020-0007