



MTE Consultants
123 St. George St., London, Ontario N6A 3A1

July 30, 2020
MTE File No.: 45763-102

Jeffrey Marshall
8281 Healey Road GP Limited, c/o ONE Properties
333 Bay Street, Suite 2710
Toronto, ON M5H 2R2
jmarshall@oneproperties.com

TOWN OF CALEDON
PLANNING
RECEIVED
July 31, 2020

Dear Jeffrey:

RE: Letter Environmental Impact Study (EIS) – 8281 Healey Road, Bolton, ON

Introduction

MTE has been retained by 8281 Healey Road GP Limited, c/o ONE Properties to complete a letter Environmental Impact Study (EIS) to determine the limits of the Environmental Policy Area (EPA) and establish development zoning lines to obtain zoning amendment approval (ZBA) for the proposed future development located at 8281 Healey Road, Bolton, ON [Figure 1]. For the purposes of this report, the area of the proposed development is referred to as the Subject Lands. A Terms of Reference (TOR) has been established for this EIS and has been reviewed by Toronto Region Conservation Authority (TRCA) staff [Appendix A].

General Background

Environmental Designation

The Town of Caledon Official Plan Schedule C-7 (2018) identifies the Clarkway tributary corridor as an Environmental Policy Area (EPA) [Figure 2]. The remainder of the Subject Lands are classified as Industrial. Development activities, including Official Plan and Zoning amendments that are proposed adjacent to an EPA require the completion of an EIS.

Land Use Designation

The section of the Subject Lands that fronts Healey Road is designated as Prestige Industrial and the remainder of the site is designated as General Industrial under the Town of Caledon Official Plan (consolidated 2018, Schedule C-7) [Figure 2].

Zoning

The section of the Subject Lands fronting Healey Road is currently zoned as MP-580 (Prestige Industrial) with the back half of the site being MS-579 (Service Industrial). The Clarkway tributary corridor is zoned as EPA1 (Environmental Policy Area) [Figure 3]. A zoning by-law amendment has been initiated for the Subject Lands (By-law 2016-099) to accurately delineate the boundary of the EPA zone and to bring the site zoning into conformity with the proposed development limits established in consultation with this report.

Natural Heritage Features and Functions

Provincially Significant Areas

No Areas of Natural and Scientific Interest (ANSI) or Environmentally Significant Areas (ESA) are located within or 120 metres adjacent to the Subject Lands.

A review of the Natural Heritage Information Centre (NHIC) database identified the Clarkway tributary corridor (Official Plan Schedule C-7) as a wetland feature within and directly adjacent to the Subject Lands. The Ministry of Natural Resources and Forestry (MNRF) has not assigned a designation to this wetland feature at the time of this report. It is our opinion that the wetland feature should be treated as locally significant since a formal designation of provincial significance has not been made (discussions began several years prior).

Further review of the NHIC database did not identify any areas listed as woodlands within or adjacent to the Subject Lands. No woodlands were identified on any Official Plan schedules for the Subject Lands area.

Terms of Reference (MTE, 2019)

A Terms of Reference (TOR) was completed by MTE for the Subject Lands to establish the natural heritage features that required investigation for the proposed minor adjustment of the EPA boundary and establishment of the ZBA development limits. The TOR document was reviewed and accepted by TRCA staff. Aside from the Clarkway tributary EPA, no natural heritage features of significance were identified on Official Plan schedules. Targeted floral and faunal investigations were not required as a part of the TOR document [Appendix A]. Refinement of the wetland boundary and the floodplain limits (reflective of the EPA boundary) was deemed the major requirement for discussion in this EIS. Refined floodplain limits are discussed in greater detail later in this EIS.

Vegetation

One (1) vegetation community was identified within the Subject Lands during site investigations with the remainder of the site being active agriculture [Figure 4]. The wetland community within and adjacent to the Subject Lands is best described as a Cattail Graminoid Mineral Meadow Marsh Type (MAMM1-2) and is similar in composition to wetlands found immediately south of the Subject Lands. Previous studies completed for the wetland to the south of the Subject Lands as well as to the west indicate low biodiversity and sensitivity.

Refinement of the wetland boundary was a requirement established in the TOR to determine the current extent of the natural feature in order to establish appropriate setback distances for development. Soil probes were completed in transects for the wetland area to identify hydric soils (moisture regime of 6 or greater) indicative of wetlands. Based on the soil data and a comparison of historic natural heritage boundaries, the current wetland boundary is the accepted boundary used for discussions of natural heritage protection for the Subject Lands [Figure 4].

Floral Site Investigations

Targeted floral surveys were not deemed applicable as a condition of the approved TOR for the Subject Lands. However, a review of the NHIC database did not identify floral species protected under the *Endangered Species Act* (ESA, 2007) within the area of the Subject Lands. In addition, no protected floral species were identified during site investigations for wetland boundary delineation.

Faunal Site Inventories

Targeted faunal surveys were not deemed applicable as a condition of the approved TOR for the Subject Lands property. Neither review of the NHIC database nor data collected for separate reports on adjacent properties identified faunal species protected under the *ESA* (2007) within the Subject Lands property. In addition, no protected faunal species were identified during site investigations for wetland boundary delineation.

Natural Heritage Policy Considerations

Provincial Policy

The provincial policy considerations are based on the Provincial Policy Statement from MAH, 2020, Section 2.1 and reviewed using the Natural Heritage Reference Manual (Sections 5-11) (MNR, 2010).

Based on the review of the Provincial Policy Statement (2020), the following natural heritage features require further consideration with respect to potential impacts from future development as a condition of the ZBA and EPA adjustment

- Locally Significant Wetland

Town of Caledon Policy

Based on the review of the Town of Caledon Official Plan, the following natural heritage features of significance require further consideration with respect to potential impacts from future development as a condition of the ZBA and EPA adjustment.

- Environmental Policy Area

Environmental Policy Area (EPA)

The Natural Heritage system is classified as EPA under Caledon Official Plan policy. EPA's contain natural features that are protected from impacts of development, including wetland habitat. Section 7.15.8.3.2 of the Town of Caledon Official Plan states that proposed new development adjacent to an EPA requires an Environmental Impact Study (EIS) be completed to the satisfaction of the Town, the Region, and the TRCA. Where appropriate, the refined development limits of a proposal may result in the addition, elimination, or relocation of EPAs. In these cases, an Official Plan amendment is not required and the exact limits will be refined through zoning.

For EPA boundary refinement, The Town of Caledon Official Plan Section 7.15.8.3.8 states that the limit of the Natural System (EPA) shall be determined by the greatest outer limit of the natural feature and/or natural hazard to development or site alteration as follows:

- A 10 metre buffer from the greater of the long term stable top of slope/bank, stable toe of slope, regulatory floodplain, meander belt, and any contiguous natural feature;
- 10m buffer from the dripline and any contiguous natural feature;
- 30m buffer from Provincially Significant Wetlands (PSW); and,
- 10m buffer for all other wetlands

Proposed developments and zoning limits must adhere to all of the above setbacks that are applicable. Specifics of the setback distances for natural features and the limit of development are discussed further under Impacts and Mitigation of this report.

Region of Peel Policy

The Region of Peel natural heritage policy considerations (Section 2.0) are in agreement with the policies laid out in the Town of Caledon Official Plan Section (3.1 and 7.15). The policies of Section 2.0 of the Region of Peel Official Plan shall apply as amended by the Region.

Regulated Lands

Conservation Authority Regulation Limit

The Subject Lands are within the Toronto Region Conservation Authority (TRCA) watershed and are considered regulated under their regulator authority. The regulation limit is associated with the floodplain of the Clarkway tributary wetland and the associated drainage feature.

Summary of Identified Natural Heritage Features

The features and functions identified in Table 1, have been identified through policy review as requiring further consideration in this EIS. The approved Terms of Reference (TOR) identified the principal issue was refinement of the wetland and floodplain boundary to accurately delineate the EPA for the proposed zoning amendment.

Table 1: Environmental Considerations for the Subject Lands

Policy Category	Environmental Consideration	Natural Heritage Features
Provincial Policy Statement	Locally Significant Wetlands	Clarkway Tributary corridor wetland (Contained within EPA)
Town of Caledon Official Plan	Environmental Policy Area (EPA)	Clarkway tributary corridor (Schedule C-7)
TRCA Regulation Limit	Flood Hazard	Floodplain of Clarkway tributary corridor

Development Proposal

The purpose of this EIS is to identify the limits of key natural heritage features within the Subject Lands to accurately delineate the limits of the EPA and refine the limits of development through a zoning amendment. Establishment of the development limits in relation to identified natural features and setbacks is all that is required for the zoning amendment phase of development. 8281 Healey Road GP Limited (the proponent) are proposing a development within the Subject Lands that adheres to the permitted uses of the MP-580 and MS-579 zones under the Town of Caledon Zoning By-law (2006-50, as amended). Site plan details for the proposed development will be finalized once the limits of the zoning boundary have been established by the Zoning By-law Amendment application.

Impacts and Mitigation

This section reviews the identified setbacks from natural heritage features and the potential direct and indirect impacts to these features in relation to the defined limit of development. Appropriate avoidance, protection, and mitigation measures for the impacts are also presented where appropriate. Additional recommendations will be provided at Site Plan approval.

Wetland Boundary Delineation

The current agreed upon wetland boundary for the wetland community within the Clarkway tributary corridor is based on collected soil core data and a comparison of historic natural heritage boundaries. It is our opinion that the wetland feature should be treated as locally significant since a formal designation of provincial significance has not been made (discussions began several years prior with MNRF). The Town of Caledon Official Plan, in agreement with TRCA wetland policy, requires a 10m buffer be applied to all other wetlands that are not PSW.

Two setback distances have been provided (10m and 30m) from the current wetland boundary for discussion purposes [Figure 5]. A proposed development limit from the wetland boundary has been provided that is a minimum of 10m from the boundary up to and exceeding 30m in some areas [Figure 5]. A wetland memo was submitted by MTE for TRCA review in 2019 that detailed this wetland setback limit. TRCA were in agreement with the environmental concepts and setbacks put forward in the wetland memo.

As discussed in the 2019 wetland memo, if a 30m buffer were applied to the wetland boundary the area between the proposed wetland setback limit (>10m from wetland boundary) and the 30m buffer is approximately 0.9ha [Figure 5]. A similar 0.9ha area of land south of the wetland boundary is available for wetland enhancement opportunities, as it is also planned for floodplain creation (discussed further below). The enhancement area would be planted with wetland suitable forb and grass species. This proposed enhancement would result in a net benefit to wetland quality as the current wetland is primarily cattails and is generally of lower ecological quality. In addition, there would be no loss of wetland area post-development. Details of the proposed enhancement area were agreed upon by TRCA in their review of the previously submitted wetland memo.

Standard mitigation measures for works adjacent to wetland communities, to manage incidental impacts based on the development limits, will be provided at Site Plan approval. These mitigation measures will be site specific once the limits of development are finalized. Recommendations for improvements to the proposed wetland enhancement area are provided below. These measures are based on surrounding wetland vegetation and are conceptual recommendations only. It is recommended that a concept landscape plan be prepared prior to Site Plan approval.

Recommendation 1:

A concept landscape plan should be completed for the wetland enhancement area detailing species, planting timing, and spacing arrangement.

Recommendation 2:

It is recommended that a seed mix of native species be used for the proposed wetland enhancement area to promote biological diversity and increase overall wetland quality. The Wet Meadow Marsh Native Seed Mixture 8195 (Ontario Seed Company) would be a suitable option.

Regulated Floodplain Limit

There is a regulated floodplain identified by the TRCA that impacts the area of proposed development. A hydraulic analysis of this floodplain limit using the *HEC-RAS* modelling software was provided by the TRCA. In order to be in compliance with TRCA requirements for developments within a floodplain, a cut-fill balance analysis and post-development flood conveyance was completed by ODAN/Detech Consulting Engineers in the completed Functional Servicing Report and Stormwater Management Design Brief report (2020) [Figure 6]. Detailed descriptions of the analyses completed can be found in the report prepared by ODAN/Detech (2020). The summary of the report analysis, for the purposes of discussion in this EIS, indicates that a 10m setback can be provided from the flood line through grading of the site to allow the flood lines to generally fall outside of the Subject Lands. In addition, the TRCA's cut-fill balance is satisfied with a net gain in active flood storage volume post-development [Figure 7]. Active flood storage area is provided on the south side of the site in the same area proposed for wetland enhancement. No additional flood impacts to adjacent properties will occur as a result of the proposed future development.

As it relates to natural heritage, the addition of active flood storage (floodplain) area is beneficial as it provides a net gain in wetland area post-development where there is currently degraded or low quality floodplain. Floodplains provide an important ecological benefit for water balance and as an area that supports wetland floral species.

As the proposed cut and fill measures for floodplain management will involve excavation, measures for sediment and erosion protection will be required to protect the wetland community. Standard mitigation measures include but are not limited to robust sediment and erosion control fencing, interception swales, silt sacks, and mud mats. Additional mitigation measures are discussed in the ODAN/Detech report (2020). A detailed sediment and erosion control plan will be required at the Site Plan approval phase in accordance with the TRCA, the Town of Caledon, and the Erosion and Sediment Control Guidelines for Urban Development.

Summary and Conclusions

8281 Healey Road GP Limited, c/o ONE Properties (the proponent) has initiated the process of refining zoning lines through the adjustment of the boundaries of the EPA within the Subject Lands by way of a zoning amendment. This is being completed to establish the development limits for the future development project within the Subject Lands [Figure 8].

The proposed zone boundary development limits are primarily guided by the 10m floodplain setback as this is the natural feature/hazard at the greatest outer extent (Town of Caledon Official Plan, 2018). The proposed wetland setback limit (>10m from the wetland boundary) is protected within the 10m floodplain setback limit [Figure 8]. The proposed refinement of the zoning boundary will ensure the protection of the features identified within the EPA. Appropriate mitigation and wetland enhancement measures have been discussed as a component of this report to provide a net gain in wetland area and quality.

The proposed development limits avoid direct impacts to protected natural heritage features and recommendations have been provided to protect any adjacent features from indirect impacts. Provided these are met, it is our opinion that the proposed development limits are reflective of the EPA boundary



MTE Consultants

123 St. George St., London, Ontario N6A 3A1

and that the proposed future development will not impact natural features found within the EPA [Figure 8].

MTE seeks comments from the Region of Peel, the Town of Caledon, and the TRCA with respect to the contents of the EIS. Formal comments can be submitted in writing to MTE of behalf of the client. Should you wish to clarify any questions or require additional information as part of the review of this EIS, do not hesitate to contact us.

All of which is respectfully submitted,

MTE Consultants Inc.

A handwritten signature in black ink, appearing to read "Zachary Anderson", written over a light blue horizontal line.

Zachary Anderson, B.Sc.

Biologist

519-204-6510 ext. 2245

zanderson@mte85.com

ZJA:dh

Encl:

cc:



Figure 1: Site Location
(2018 Google Earth Air Photo)



0 1,000
Scale 1:50,000
Key Plan

* Locations are approximate and should be verified by survey where necessary.

Print on 11X17, Landscape Orientation

0 80

Scale 1:4000

July 2020



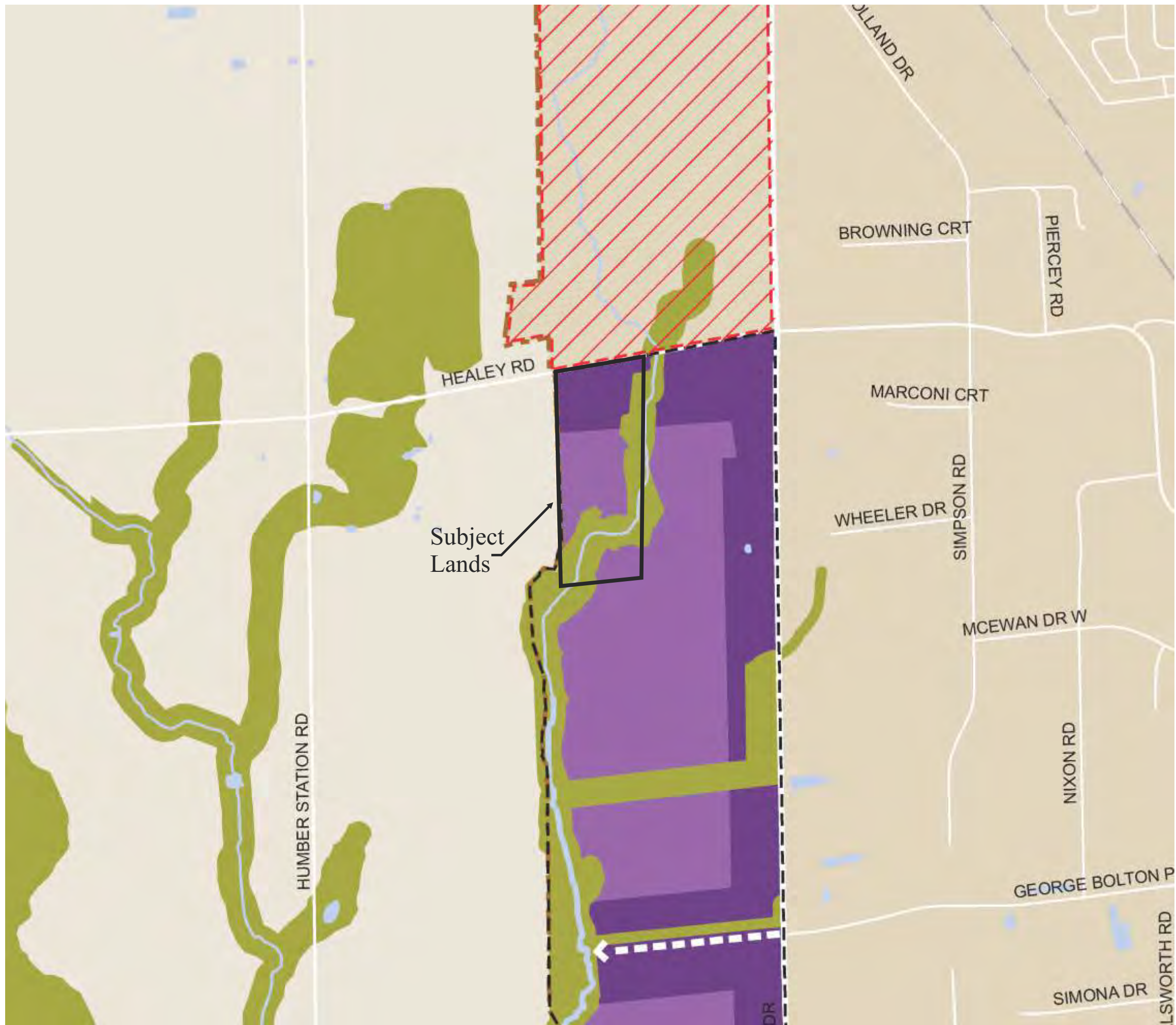


Figure 2: Land Use
(Town of Caledon Official Plan, Schedule C-7, 2018)



0 1,000
Scale 1:50,000
Key Plan

- Legend**
- Prestige Industrial
 - General Industrial
 - Environmental Policy Area
 - Secondary Plan Area
 - O.Reg 210/13 (Minister's Zoning Order)
Part of ROPA 28 (Approved by the OMB February 26th, 2016)
 - Bolton Settlement

* Locations are approximate and should be verified by survey where necessary.
Print on 11X17, Landscape Orientation
0 150
Scale 1:7500
July 2020



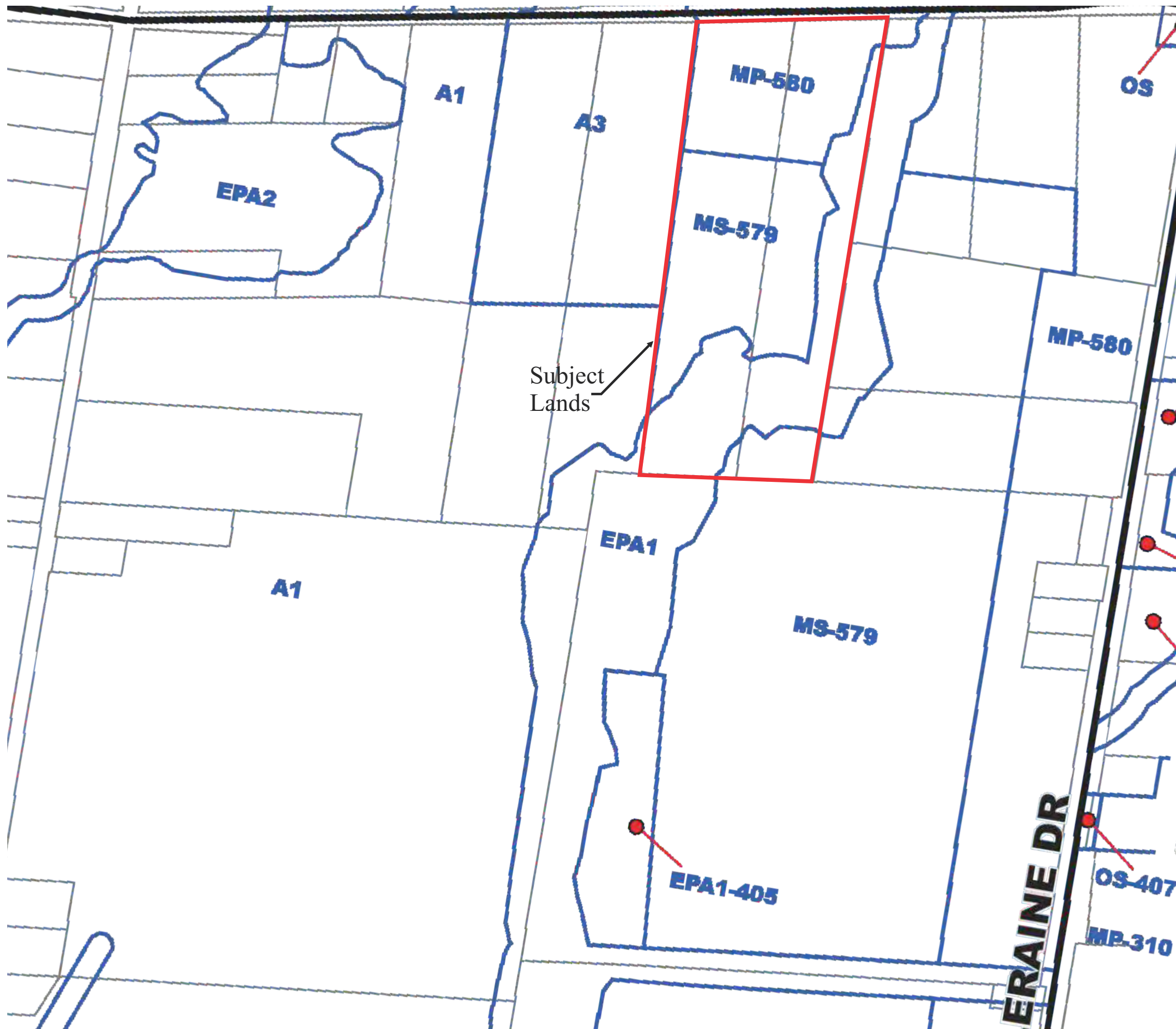


Figure 3: Zoning
(Town of Caledon Zoning Bylaw 2006-50, 2017)



0 1,000
Scale 1:50,000
Key Plan

Legend

- A1 - Agricultural
- A2 - Rural
- A3 - Small Agricultural Holdings
- MP - Prestige Industrial
- MS - Service Industrial
- EPA1 - Environmental Policy Area 1 Zone

* Locations are approximate and should be verified by survey where necessary.

Print on 11X17, Landscape Orientation

0 100

Scale 1:5000

July 2020



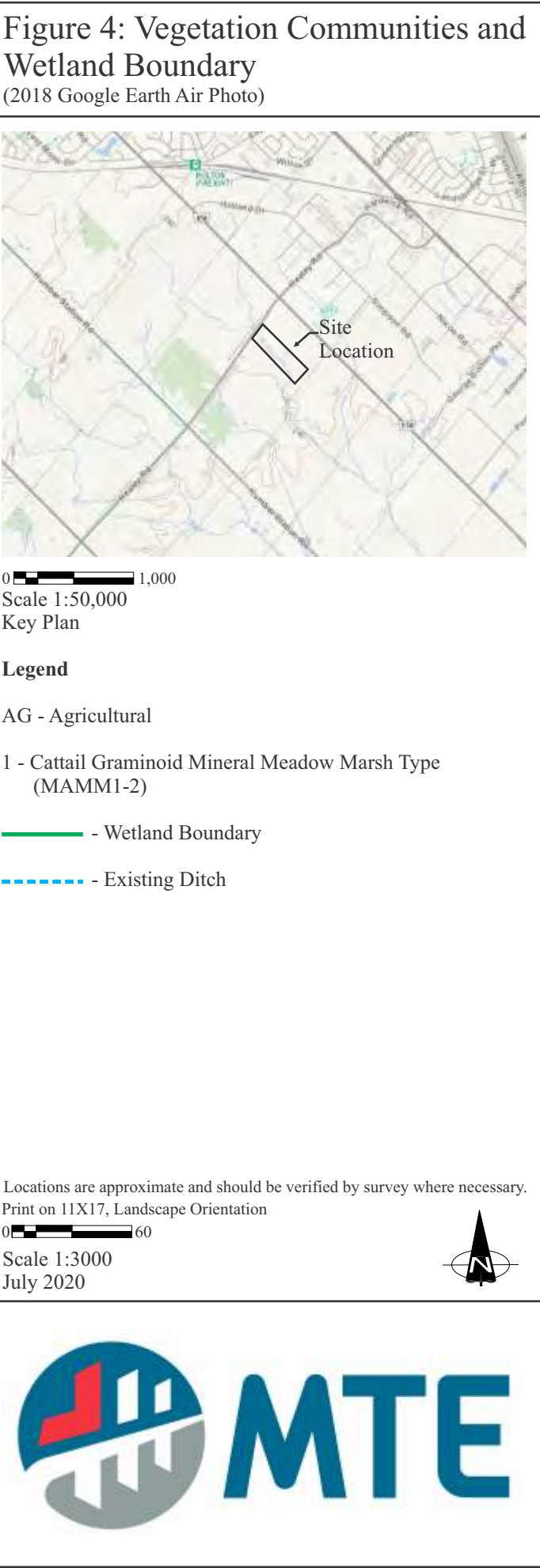




Figure 5: Wetland Buffers and Limit of Development for Natural Heritage
(2018 Google Earth Air Photo)



0 1,000
Scale 1:50,000
Key Plan

Legend

AG - Agricultural

1 - Cattail Graminoid Mineral Meadow Marsh Type (MAMM1-2)

— - Wetland Boundary

- - - Existing Ditch

- - - 10m Wetland Buffer

- - - 30m Wetland Buffer

— - Proposed Limit of Development (Wetland)

■ - Proposed Wetland Habitat Compensation Area (0.9ha)

* Locations are approximate and should be verified by survey where necessary.

Print on 11X17, Landscape Orientation

0 60

Scale 1:3000

July 2020



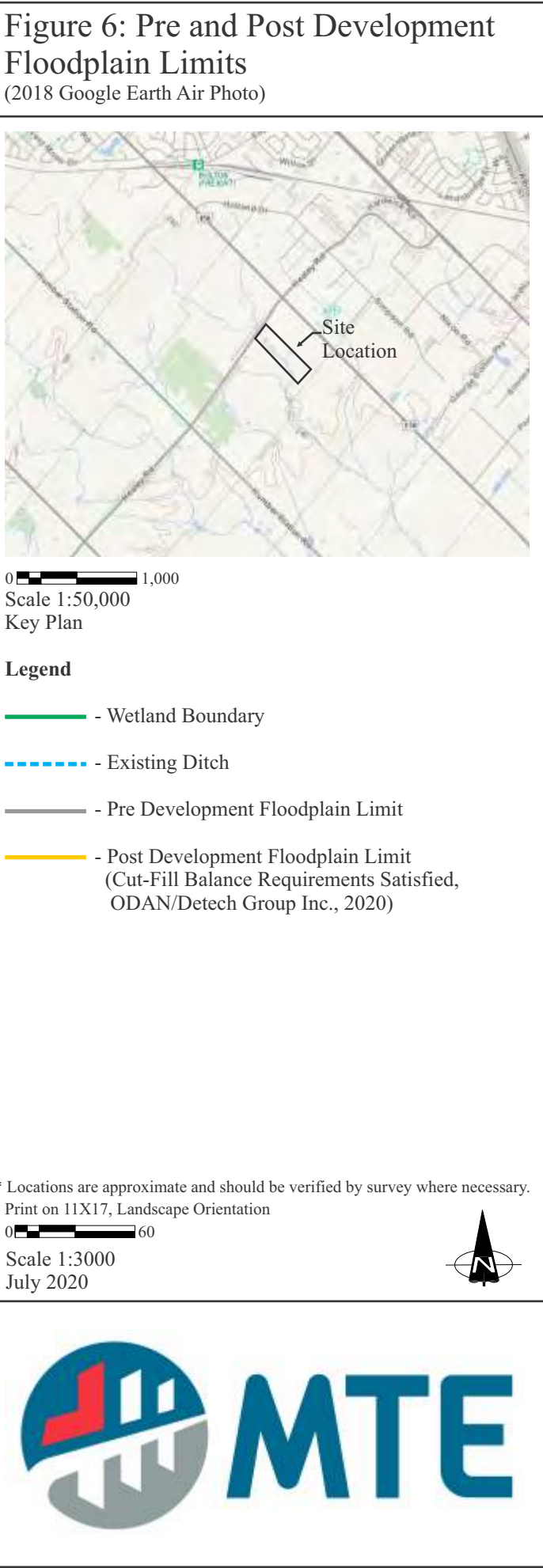




Figure 7: Post Development Floodplain Setback and Ditch Relocation
(2018 Google Earth Air Photo)



0 1,000
Scale 1:50,000
Key Plan

Legend

- - Wetland Boundary
- - - - Existing Ditch
- - - - Proposed Ditch Relocation Path
- - Post Development Floodplain Limit
(Cut-Fill Balance Requirements Satisfied,
ODAN/Detech Group Inc., 2020)
- - 10m Setback from Post Development Floodplain
- Post Development Active Flood Storage Area

* Locations are approximate and should be verified by survey where necessary.

Print on 11X17, Landscape Orientation

0 60

Scale 1:3000

July 2020



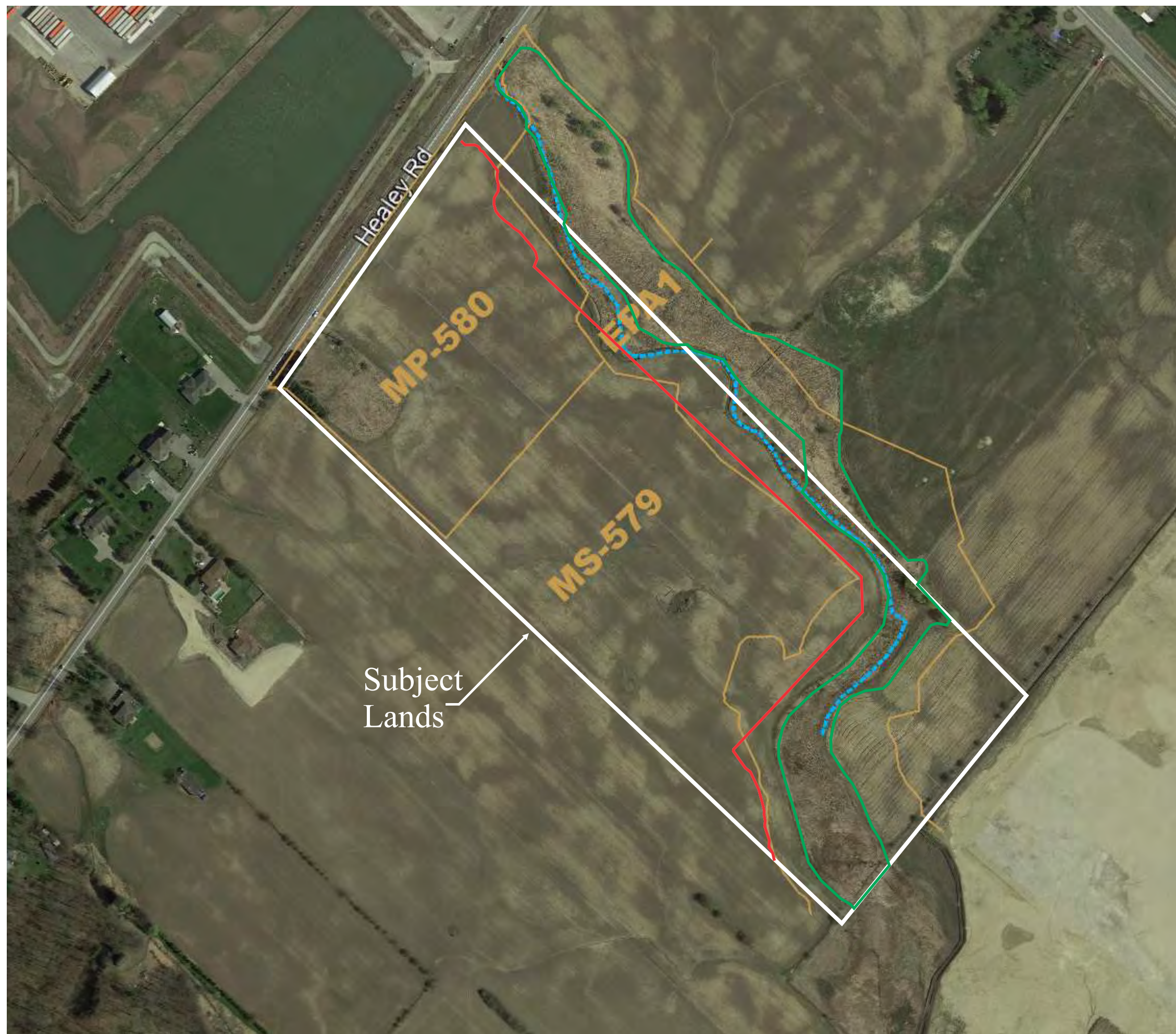


Figure 8: Proposed Development Boundary Setbacks with Zoning
(2018 Google Earth Air Photo)



0 1,000
Scale 1:50,000
Key Plan

- Legend**
- - Wetland Boundary
 - - - - Existing Ditch
 - - Proposed Zone Boundary Limit of Development
 - - Zoning By-law 2006-50, as amended

* Locations are approximate and should be verified by survey where necessary.
Print on 11X17, Landscape Orientation
0 60
Scale 1:3000
July 2020



Appendix A

Terms of Reference (TOR)



☐ Not Applicable (unless checked off by agency)
✓ Consultant Recommendation

Project Name: 8281 Healey Road – Bolton

MTE File No.: 45763-101

Client: 8281 Healey Road Properties

Date: February 12 2020

Location

Map: See Letter to TRCA December 17 2019

Watershed: Clarkway Tributary

Site information

Current OP: Industrial

Current Zoning: Industrial

Application Type – minor EPA adjust

☐ OPA ✓ ZBA ✓ Site Plan to follow

CA Regulations: Figure 2

✓ Flood ✓ Erosion ✓ Wetland Interference

Hydrogeology / Geotechnical Support

Source Water:

☐ Soils ☐ Feature-based review ☐ Slope Assessment

Biotic (see attached for timing guidance)

NHIC List: Nothing listed in square

Life Sciences Inventories Completed

✓ Background Data Available

Flora: ☐ Spring (Mar-June) ☐ Summer (July-Aug) ☐ Fall (Sept-Oct)

Amphibians ☐ Early Spring (Apr) ☐ Late Spring (May) ☐ Early Summer (Jun) ☐ Other (Mar-Apr)

Breeding Birds ☐ Visit 1 ☐ Visit 2 (2 weeks apart)

Reptiles (Incidental) ☐ Turtle Nesting (May-June) ☐ Turtle Basking (Apr-Jun) ☐ Snakes (Apr-Jun) ☐ Snake Habitat (Oct-Apr)

Aquatic Assessments ✓ Aquatic Habitat Assessment ☐ Fish Sampling ☐ Benthic Monitoring

Targeted Studies: ☐ Yes, _____ ✓ No

ELC References and Field Notes Letter (Dec/19) ✓ Preliminary (to be updated) ☐ Final

Evaluation

☐ ESAct ☐ Woodland ☐ Wetland ✓ Setbacks (biological and hazard)

Subject Lands – Potential Impacts to Natural Heritage Features

- ☐ Provincially Significant Wetland ☐ Significant Woodland ☐ Fish Habitat ☐ Habitat of Species at Risk
☐ Areas of Natural and Scientific Interest (ANSI) ☐ Significant Wildlife Habitat ☐ Significant Valley lands
☐ Environmentally Sensitive Areas ☒ Other Features Clarkway Trib and wetland

Adjacent Lands (within 120M) – Potential Impacts to Natural Heritage Features

- ☐ Provincially Significant Wetland ☐ Significant Woodland ☐ Fish Habitat ☐ Habitat of Species at Risk
☐ Areas of Natural and Scientific Interest (ANSI) ☐ Significant Wildlife Habitat ☐ Significant Valley lands
☐ Environmentally Sensitive Areas ☒ Other Features Clarkway Trib and wetland

EIS Requirements

- ☐ OPA ☒ ZBA ☐ Subdivision/Condo ☐ Site Plan
☒ Functional SWM ☐ Final SWM Report ☐ Prelim. Water Balance ☐ Final Water Balance
☐ Prelim. Tree Preservation ☐ Tree Preservation Report ☒ Concept Landscape Plan ☐ Detailed Landscape Plan
☐ Prelim. LID Measures ☐ Final LID Measures ☒ Other: Channel relocation and compensation area plan

Follow-up Report-Supporting Materials – For Site Plan to Follow

- ☒ Final SWM Report ☒ Final Water Balance Report ☐ Tree Preservation Report
☒ Detailed Landscape Plan ☐ Final LID Measures Report ☒ Feature Staking

Follow-up Report Documentation

- ☒ Summary of Prior EIS Findings and Changes ☒ Overview of New Information and Changes to Concept Plan

Comments

- Minor ZBA application to be submitted based on preliminary discussions with TRCA
- With the New EPA lands approved, a site plan application will be submitted with more detail on the development proposal next to the agreed boundaries.
- The new EPA boundary includes the feature and setbacks. Some additional landscape efforts will be needed in site plan application to address areas close to tributary along the east boundary.

Agreement with Terms of Reference (Valid for 2 years)

MTE: Dave Hayman Conservation Authority: _____
 Municipality: _____ Date: _____