

SITE SERVICING AND STORMWATER MANAGEMENT MEMO

DATE	August 2, 2019	PROJECT NO.	1651-5095
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TO	Jay Menary, C.E.T.
FROM	Jim Harnum, E.I.T. & Ashish Shukla, P.Eng.
CC	Jay Heming & Patrick Pearson

1.0 INTRODUCTION

C.F. Crozier & Associates Inc. (Crozier) was retained by Lions Group to prepare a Servicing & Stormwater Management Memo to support the Temporary Use Zoning By-Law Amendment for 10795 Highway 9, in the Town of Caledon and Region of Peel.

The purpose of this memo is to outline the existing site conditions and operations and justify the feasibility of the proposed Temporary Use Zoning By-Law Amendment from an engineering perspective. We will demonstrate that the site's existing servicing and stormwater conditions adequately support the proposed Temporary Use ZBA. Further discussion and justification concerning the proposed use of the existing buildings and site are provided in the Planning Justification Report prepared by Glen Schnarr & Associates Inc.

The following documents and design standards were used in the preparation of this memo:

- Existing Conditions Plan prepared by Glen Schnarr & Associates Inc. (GSAI), May 31, 2019
- Topographic survey prepared by Avanti Surveying Inc., May 10, 2019
- Region of Peel Public Works Design, Specifications & Procedures Manual for Linear Infrastructure, Sanitary Sewer Design Criteria, March 2017
- Region of Peel Public Works Design, Specifications & Procedures Manual for Linear Infrastructure, Watermain Design Criteria, June 2010
- Town of Caledon Public works & Engineering Department Development Standards, Policies & Guidelines, Version 4, January 2009;
- Nottawasaga Valley Conservation Authority Stormwater Technical Guide, December 2013;

2.0 GENERAL SITE DESCRIPTION

The subject property is approximately 3.95 ha and is located in a mixed residential and agricultural neighbourhood in the Town of Caledon. The site is currently occupied by a contractor's facility (673 m²) and business office building (579 m²), along with associated open storage, parking, and landscaped areas. We note that the subject property is identified as regulated by the Nottawasaga Valley Conservation Authority (NVCA). The property is currently zoned as A2-ORM, Rural - Oak Ridges Moraine.

The property is bounded by:

- Highway 9 to the north
- Commercial/residential properties to the east
- Forest to the south
- Aggregates facility to the west

3.0 WATER SERVICING

3.1 Existing Water Servicing

Under existing conditions and background review, our understanding of the water services available to the subject property are:

- There is currently no municipal watermain within Highway 9 Right-of-Way
- There is currently no watermain within Tottenham Road Right-of-Way
- The subject property is currently serviced by a private well within the property limits

According to the Region of Peel 2013 Water and Wastewater Master Plan for the Lake Based Systems, March 31, 2014, there are no future proposed water distribution plans extending nearby the subject property. The subject property lies within a rural area with no existing public water services, no future water services are proposed, and the existing facility is serviced by a private well.

Since no Site Plan changes are being proposed in terms of redevelopment, a temporary change in site zoning will not affect the site water demands, as the site has historically been in use as a contractor's facility, business office, and open storage area. Additionally, there are no connections to municipal infrastructure and as such, no municipal water servicing impacts from the existing use.

4.0 SANITARY SERVICING

4.1 Existing Sanitary Servicing

Under existing conditions and background review, our understanding of the sanitary services available to the subject property are:

- There is currently no municipal sanitary sewer within Highway 9 Right-of-Way
- There is currently no municipal sanitary sewer within Tottenham Road Right-of-Way
- The subject property is currently serviced by a private septic system within the property limits

According to the Region of Peel 2013 Water and Wastewater Master Plan for the Lake Based Systems, March 31, 2014, there are no future proposed sanitary sewer plans extending nearby the subject property. The subject property lies within a rural area with no existing public sanitary sewers, no future sanitary sewers are proposed, and the existing conditions are serviced by a private septic system.

Since no Site Plan changes are being proposed in terms of redevelopment, a temporary change in site zoning will not affect the site septic flows, which have historically been supported by the existing septic system. Additionally, there are no connections to municipal infrastructure and no municipal sanitary servicing impacts from the existing use.

5.0 SITE GRADING AND STORMWATER

5.1 Existing Site Drainage

The subject property currently consists of a gravel contractor's storage area, grass and treed area, and two buildings used in the operation of the contractor's facility. Per the existing survey included within this memo, the subject property generally drains overland from south to north. Also included within this memo is a sketch provided by the landowner which shows the external storm sewer network, including the outlet beneath Highway 9. Stormwater for the subject property ultimately outlets to headwaters of the Nottawasaga River. The subject property has been in operation in a historical capacity without site modifications and no external improvements or modifications are proposed.

6.0 EROSION AND SEDIMENT CONTROL

An Erosion and Sediment Control Plan has not been prepared given that there are no modifications proposed to the existing site as it is currently built out. Under the proposed Temporary Use Zoning By-Law Amendment, no works related to sanitary servicing/septic systems, water servicing/well works, site grading, or stormwater management are recommended and as such, there is no relevance to erosion and sediment control during construction.

Sincerely,

C.F. CROZIER & ASSOCIATES INC.



Jim Harnum, B.Eng.
Civil E.I.T.

C.F. CROZIER & ASSOCIATES INC.



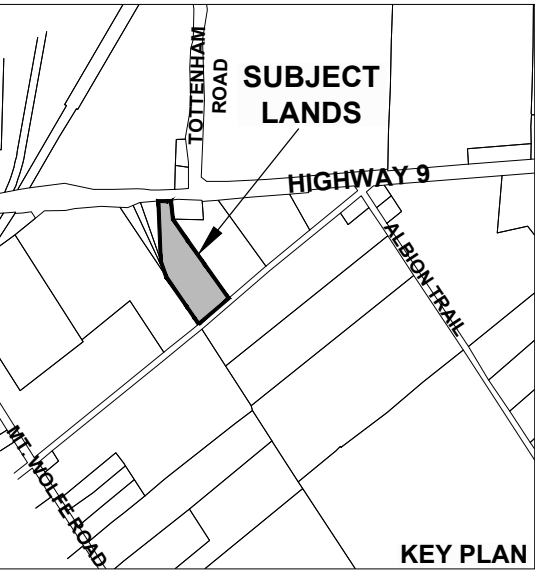
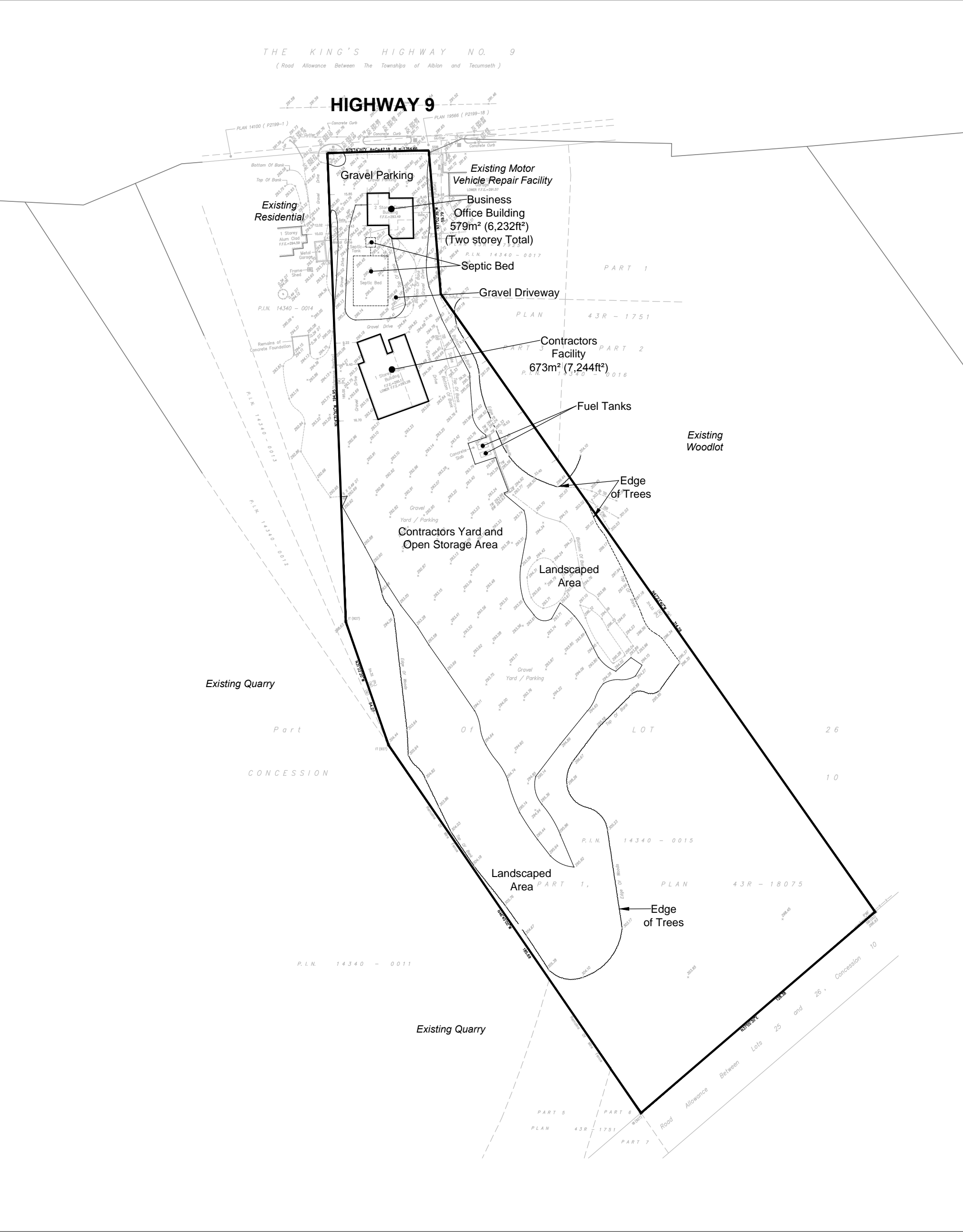
Ashish Shukla, P.Eng.
Associate

/jh

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Enclosures

- Item #1: Existing Conditions Plan, GSAI, May 31, 2019
- Item #2: Sketch of Existing Municipal Storm Service Location, Provided by Lions Group
- Item #3: Topographic Survey, Avanti Surveying Inc., May 10, 2019
- Item #4: Well Records for 10795 Highway 9

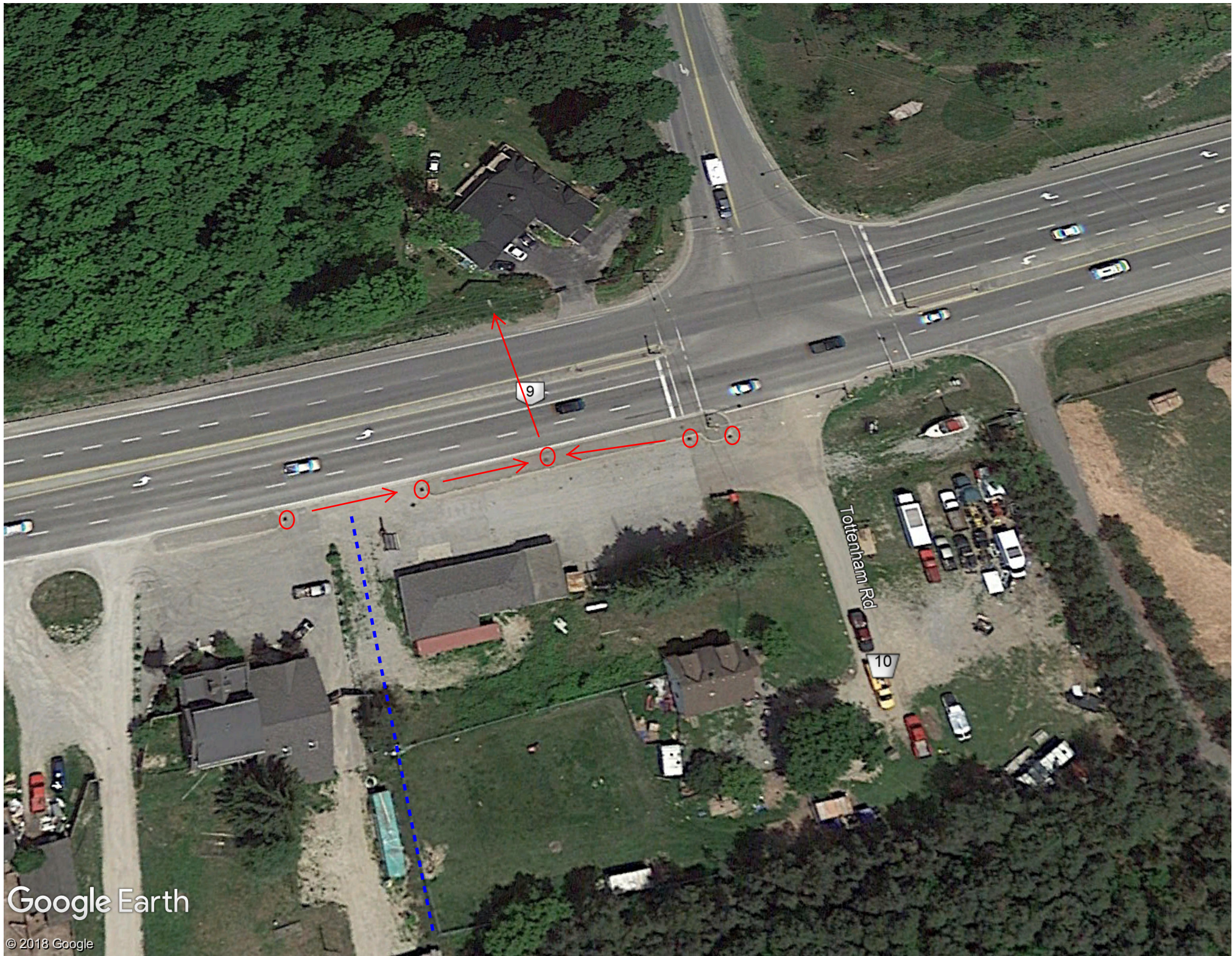


EXISTING CONDITIONS PLAN

10795 HIGHWAY 9
PART OF LOT 26, CONCESSION 10
GEOGRAPHIC TOWNSHIP OF ALBION
TOWN OF CALEDON
REGIONAL MUNICIPALITY OF PEEL

Site Statistics

Subject Lands: 3.95ha (9.76ac)

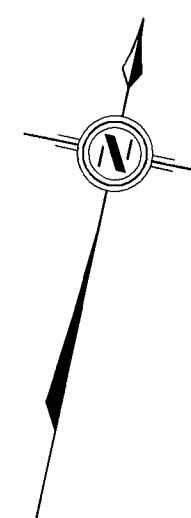


Google Earth

© 2018 Google

P.I.N. 14340 - 0133

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048




BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
EASTERLY LIMIT OF PART 1, PLAN 43R-18085, HAVING
A BEARING OF N17°03'00"W.

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE TOWN OF CALEDON BENCH MARK NO. 0011912U377, HAVING A PUBLISHED ELEVATION OF 271.20 METRES.

□	DENOTES	SURVEY MONUMENT SET
N.S.E.W.	—	SURVEY MONUMENT FOUND
—	—	NORTH, SOUTH, EAST, WEST
M	—	MISURED
P	—	PROPERTY IDENTIFIER NUMBER
IB	—	IRON BAR
SIB	—	STANDARD IRON BAR
SSIB	—	SHORT STANDARD IRON BAR
CP	—	CONCRETE CURB
IT	—	IRON TUBE
PL	—	PLAN 43R-18075
(882)	—	J. R. SNEATH, OLS
(927)	—	ORIGIN UNKNOWN
OU	—	OVERHEAD WIRES
—	—	—
PT	—	PROPANE TANK
FT	—	FUEL TANK
SP	—	SIGN POST
GP	—	GUARD POST
MP	—	METAL POST
CB	—	CATCH BASIN
TB	—	TOP OF BANK
BB	—	BOTTOM OF BANK
CC	—	CONCRETE CURB
TR	—	TRANS. RETAILING FENCE
CLF	—	CHAIN LINK FENCE
GW	—	GUY WIRE
F.F.E.	—	FINISHED FLOOR ELEVATION
CONW	—	CONCRETE WELL
DT	—	DECIDUOUS TREE
CT	—	CONIFEROUS TREE
Ø	—	DIAMETER
TW	—	TOP OF WALL
BW	—	BOTTOM OF WALL
A	—	PLAN BY AVANTI SURVEYING
WSG	—	OL.S., DATED JANUARY 22, 1961
	—	PLAN BY W.S. GIBSON, OLS.
	—	DATED NOVEMBER 8, 1961
(1836)	—	AVANTI SURVEYING INC., OLS.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2089910




THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 7TH DAY OF MAY, 2019.

MAY 10, 2019
DATE


CHRIS BERESIEWICZ
ONTARIO LAND SURVEYOR

NUCON PROPERTY MANAGEMENT

1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES.
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY : NONE
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS

Avanti
SURVEYING INC.
310 North Queen St. E., Unit 102, Toronto ON M9C-5K4
Tel: (416) 231-1174 - Fax: (416) 621-3360
www.avantisurveying.com

DRAWN: PAT/AM	CHECKED: C.B.	PROJECT 06-224-2
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JTM

1172 5796370
4879640
19950

Con X
Lot 26
CODED



4303034

The Ontario Water Resources Commission Act

WATER WELL RECORD

asin 122 L
County or District Peel Township, Village, Town or City Allion
Con 10 Lot 26 Date completed 30 May 68
Address RR 4 Tottenham

Casing and Screen Record

Inside diameter of casing 4"
Total length of casing 105 ft
Type of screen 18 slot
Length of screen 4 ft
Depth to top of screen 105 ft
Diameter of finished hole 4"

Pumping Test

Static level 67 ft
Test-pumping rate 6 G.P.M.
Pumping level 91
Duration of test pumping 4 hrs
Water clear or cloudy at end of test clear
Recommended pumping rate 4 G.P.M.
with pump setting of 91 feet below ground surface

Well Log

Water Record

Overburden and Bedrock Record	Well Log		Water Record	
	From ft.	To ft.	Depth(s) at which water(s) found	Kind of water (fresh, salty, sulphur)
+ sand	0	50	109	fresh
gravel	50	100		
land	100	105		
sand and gravel	105	109		

For what purpose(s) is the water to be used? D

Is well on upland, in valley, or on hillside? Upland

Drilling or Boring Firm

LUNNEY WELL DRILLING

Address 36 BUENA VISTA DR.

Phone ORANGEVILLE 941-2783

Licence Number 2819

Name of Driller or Borer Gordon Lunney

Address 36 Buena Vista Drive

Date May 31 1968

Gordon Lunney
(Signature of Licensed Drilling or Boring Contractor)

Location of Well

