



FERNBROOK SUBDIVISION

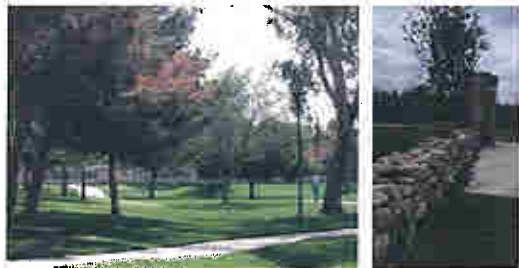


SNELL'S HOLLOW

Town of Caledon

Community Design Guidelines

November, 2007



Ref: Town File No. 21T-95058C

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Date: November, 2007

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1.0 INTRODUCTION

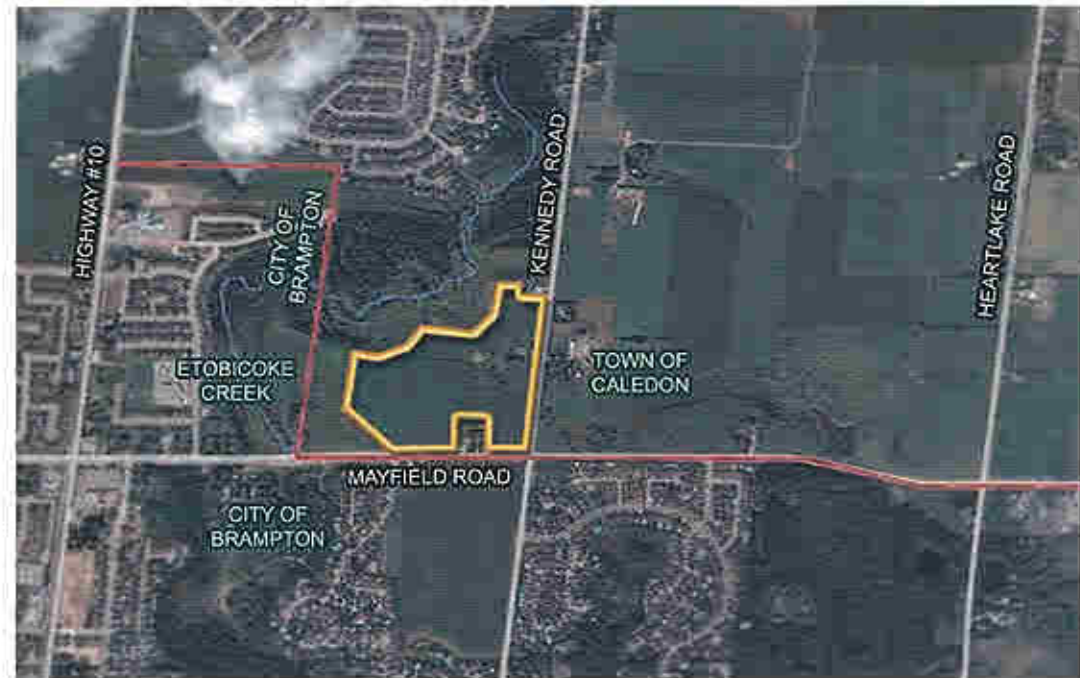
The Fernbrook Subdivision is located in the west portion of Snell's Hollow in the Town of Caledon, within the Regional Municipality of Peel. It is an area defined by Mayfield Road to the south, proposed Highway 410 extension to the north and Etobicoke Creek to the north-west. It is located in the Mayfield West Community and forms part of the Snell's Hollow Secondary Planning Area, (See Figures 1.0a and 2.0a).

This document, the Fernbrook Subdivision Community Design Guidelines, was prepared as part of the Town's planning approval process and builds upon the proposed land use designations in the secondary plan (O.P.A. 194) and the vision established in the planning and design workshops of June 18 and June 25, 2003, involving Town of Caledon staff, Landowners, Residents, Agencies, Region of Peel representatives and a team of consultants. These consultants, Walter H. Kehm & Associates Ltd., Patrick Morella, pgm Design Associates and Christopher Wallace, Architect prepared the Mayfield West Community: A summary report of the planning and design workshops, July 2, 2003, which documents the findings of these workshops. This document applies to the Fernbrook Subdivision only and not to the lands east of Kennedy Road.

The Community Design Guidelines should be read in conjunction with the Architectural Vision and Design Guidelines prepared by John G. Williams Limited, Architect, for Fernbrook Homes (Etobicoke Creek) Limited.

Most significant to this set of guidelines is the establishment of the following community design principles:

- Defining the distinct identity and rural character of the area,
- Creating linkages to the community,
- Providing community focus in the form of open space, and
- Establishing a series of gateways along neighbourhood / community boundaries.



FERNBROOK SUBDIVISION

Figure 1.0a - Context Map



2.0 VISION / COMMUNITY DESIGN PLAN (See Figure 2.0a, page 3)

The Fernbrook Subdivision is envisioned as a primarily residential neighbourhood whose physical form and design is influenced by its rural surroundings and the elements which may be found in them. Key to achieving this vision is the development of the various components of the plan which promote and support a high quality of community life.

Key elements are:

- The promotion of outdoor recreation through the provision of a park and interconnected system of trails.
- Connections to the natural environment through the provision of links to natural features.
- Opportunities for community interaction through the development of a park as a focal gathering place.
- The development of pedestrian-scaled and comfortable street zones that function as informal places for social interaction.
- The development of an appropriate vocabulary of community design / elements that promote the rural identity and character of the community.
- The development of distinct 'edges' and 'gateways' that reinforce the rural character and identity of the community, distinct from neighbouring communities in the City of Brampton.
- A variety of house designs that incorporate the rural / vernacular architectural styles.

The following sections will describe detailed design guidelines that will articulate these elements of the plan.

NEIGHBOURHOOD STRUCTURE PLAN

-  Environmental Policy Area
-  Park
-  Storm Water Management
-  Low Density Residential
-  Existing Trails
-  Proposed Pedestrian Trails
-  Trail Connections
-  Community Trail
-  Community Collector Road
-  Priority Lots
-  Character Street
-  Town Gateway (Primary Gateway)
-  Neighbourhood Gateway

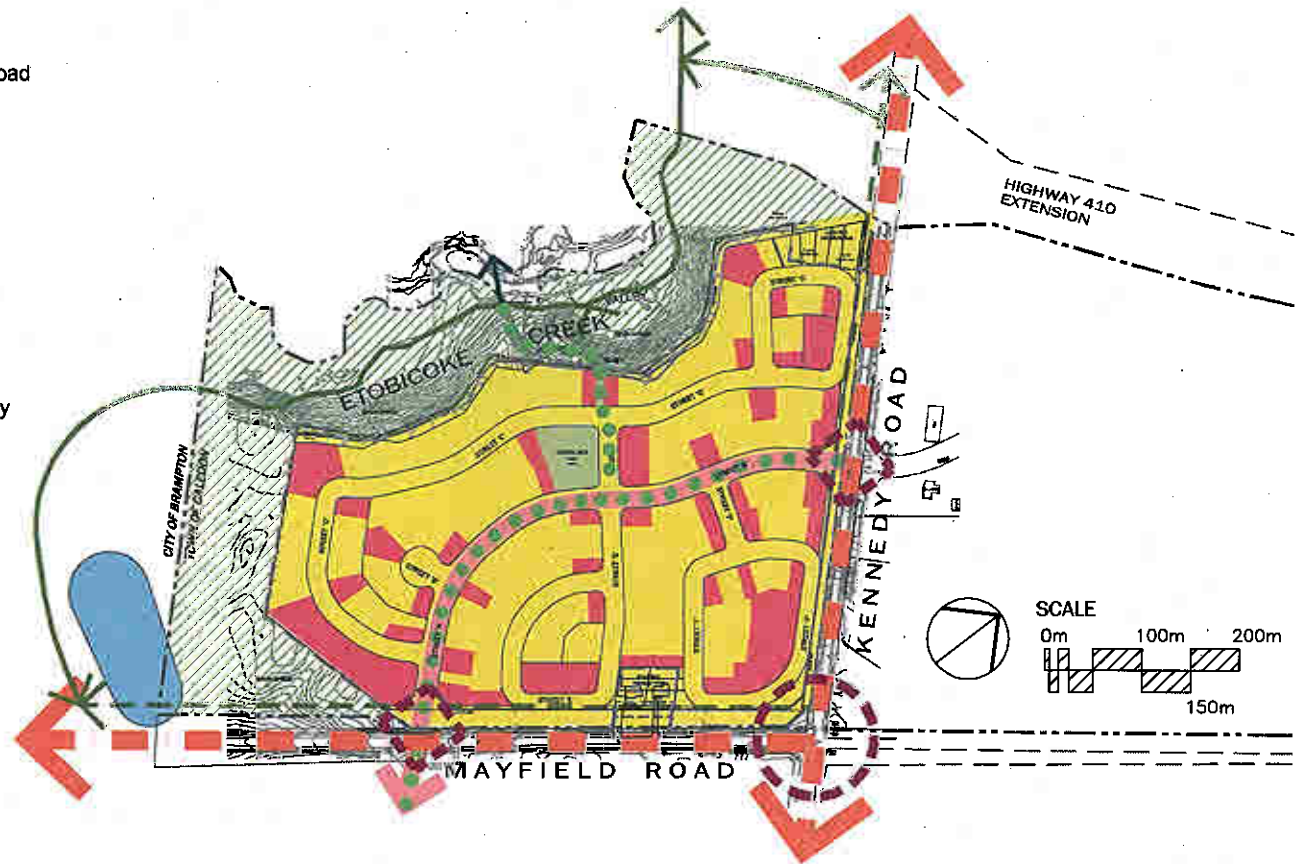


Figure 2.0a - Community Design Plan

3.0 OPEN SPACE SYSTEM

The Open Space System is a major structuring element within the neighbourhood. Its components include:

- Environmental Policy Area
- Trails
- Neighbourhood Park
- Stormwater Management Facilities

OPEN SPACE SYSTEM

-  Environmental Policy Area
-  Park
-  Storm Water Management
-  Existing Trails
-  Proposed Pedestrian Trails
-  Trail Connections
-  Community Trail

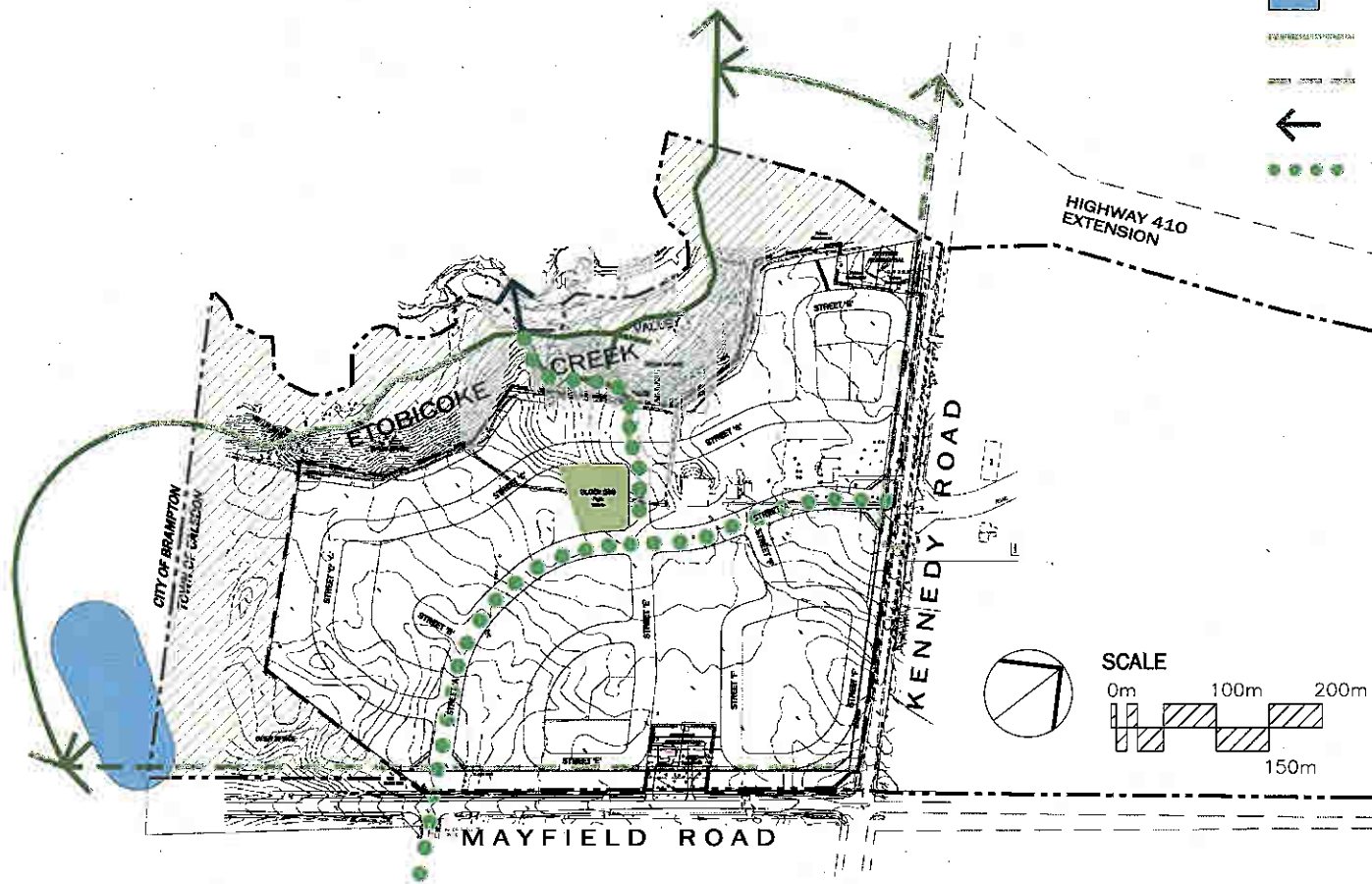


Figure 3.0a - Open Space Plan

3.1 ENVIRONMENTAL POLICY AREA

The Environmental Policy Area provides an opportunity to extend the Town's system of recreational trails. These areas will form part of the borrowed landscape within the community and potential trail locations.



Figure 3.2a - Trail within natural area



Figure 3.2b - Trail within right-of-way

3.2 TRAILS

Trails are important elements of the Open Space System, providing opportunities for recreation and linking the various components of the open space system throughout the community.

The objectives for the development of trails are:

- To enhance accessibility and continuity (and to minimize interruptions).
- To relate them to open space components as much as possible.
- To connect communities.

Guidelines:

- The Trails system will include the existing trail within the Etobicoke Creek Valley, a proposed linked trail within the Environmental Policy Area, a trail within the Kennedy Road right-of-way, an 'Urban Trail' within the Community Collector Road right-of-way and a trail within the Mayfield Road right-of-way. These various new trails are to be installed by the developer to the Town's satisfaction.

- Entrances to the trail system will be provided at convenient and accessible points. Enhanced walkway connections between residential lots will serve as staging areas.

- Signage will be incorporated to identify both the trail system and points of access.

- Transitions from trails within road right-of-ways to those within natural areas will be developed as nodes which may include decorative paving, signage and areas of naturalized planting. These enhancements will be designed to the Town's satisfaction and will be installed at the developer's cost.



Figure 3.2.1a - Trail connection at local road

3.2.1 TRAIL CONNECTIONS

A number of potential trail connections have been identified on the Open Space Plan, Figure 3.0a.

Guidelines:

- Trail connections from residential areas will be provided where the local road pattern allows.

- Trail connections will be enhanced by creating pedestrian nodes at the connection points. These may include signage and decorative paving, at the Town's discretion.

3.3 NEIGHBOURHOOD PARK

A neighbourhood park is located west of Kennedy Road, in a focal location central to the neighbourhood and connected to the Etobicoke Creek. In addition to accommodating the Town's approved recreation program, this park will be developed as a focal point within the community which may accommodate informal gathering, promote social interaction, and enhance the quality of life for residents.

Guidelines:

- The treatment along the street frontage(s) shall be coordinated with the streetscape along the abutting roads.
- A row of street trees shall be planted along the street line and coordinated with the street trees within the boulevard.
- Park entrances shall be enhanced with the addition of park entrance features, planting, signage.
- Park design should allow for flexibility in uses, accommodating informal active play as well as passive activities.
- A primary pedestrian area shall be provided, preferably along the street, that accommodates seating and gathering. This may be achieved through a combination of decorative paving, low stone walls, site furniture and landscape structures.
- A small play area and seating shall be provided within the park. These will be designed as the focus of the park.
- A park feature may also be incorporated within the design of the park. This may be a gazebo or shade structure.
- A pedestrian walkway shall be provided that connects the various areas within the park and provide a link to the trails system.
- Walkway connection to the existing trail within the Environmental Policy Area shall be provided.
- Site furniture and landscape features should be consistent and incorporate a 'rural' theme.
- Planting design will be based on providing screening from adjacent lots, creating focal areas of interest along the street edge and creating a naturalized transition to the abutting natural valleyland.
- Planting shall be used to define areas, provide shade and enhance the visual character of the open space.
- Adjacent residential lots to be fenced in accordance with Town Standards.
- Residential built form adjacent to the park should be attractive and support the community's envisioned rural vernacular character. For a more detailed description refer to Architectural Design Guidelines.



Figure 3.3 - Neighbourhood Park Concept - Subject to Town of Caledon Approval

COMMUNITY DESIGN GUIDELINES

3.4 STORMWATER MANAGEMENT FACILITIES

A stormwater management facility is included in the Community Design Plan. This facility forms part of the open space system and will be designed as a feature within the community.

Guidelines:

- Overall design of the SWMF shall be based on a 'naturalization' approach. This may be achieved through a combination of layout, geometry, configuration and planting design.
- Planting within the SWMF should consist of primarily low maintenance, native species which promote bio-diversity, enhance the natural environment and promote the rural character of the community.
- The treatment along Mayfield Road shall be coordinated with the streetscape along the abutting roads and shall include adequate buffers.
- A pedestrian trail may be provided within the SWMF and combined with a maintenance access route.
- The proposed trail will be designed with the opportunity to connect to the trail within the Environmental Policy Area.



Figure 3.4a - Street edge



Figure 3.4c - Naturalized design

4.0 STREET NETWORK

The Street Network is one of the major elements that defines the physical structure of the neighbourhood. The pattern of streets within the community will consist of:

- Existing Arterial and Collector Roads
- A Minor Collector Road
- A number of Local Roads

4.1 EXISTING ARTERIAL & COLLECTOR ROADS

Existing Arterial and Collector Roads will be developed as Character Streets within the community (Refer to section 6.2).

4.2 MINOR COLLECTOR ROAD

Street 'A' is the minor collector road within the community, functioning as the main road which provides access to the community, connects the various parts of the community to one another and to public amenities such as the park. Streetscape design along this road will be developed to reinforce its preeminent role within the road network and to promote a pedestrian-scaled community, (Refer to section 5.1).

4.3 LOCAL ROADS

Local Roads form the remainder of the streets within the community. These will be developed with the following objectives:

- To provide variety in the street pattern
- To promote ease of orientation
- To enhance pedestrian accessibility

5.0 STREETSAPES

Streetscape design shall be aimed at enhancing the attractiveness, livability and character of the community. It should also be designed to reinforce the functional role of the street network. The design objectives for the streetscape are:

- To enhance the visual appeal of the community by creating attractive, consistent and recognizable streetscapes.
- To develop a pedestrian-scaled street environment that promotes social interaction.
- To promote an identifiable image that is consistent with the rural character of the community.
- To provide visual landmarks within the community.
- To identify and guide the design of 'Priority Lots' (lots located in visually prominent location within the community) as important components of the streetscape (See Figure 5.0a).

The design of the streetscape should be a thoughtful arrangement of the elements within the public right-of-way and consideration of the site planning and built form within the adjacent private lands.

5.1 COMMUNITY COLLECTOR ROAD (Minor Collector Road)

Streetscape design for the community collector road should reinforce its important functional role within the community. This will include enhanced landscaping and careful consideration for site planning and built form in key locations along this road.

Guidelines:

- A consistent and coordinated approach to the types, placement and design of street elements shall be undertaken.
- Decorative street lighting shall be provided consistent with Town standards.
- Utilities shall be coordinated at the earliest possible stages of development to minimize conflict and their visual impact on the street.

Other elements of this road are described on the following pages.

5.1.1 THE COMMUNITY TRAIL

The sidewalk located on both sides of the community collector road (Street "A") shall be developed as a Community Trail.

Guidelines:

- Pedestrian crossings shall be indicated and may be enhanced with the use of decorative paving in the roadway. This may occur along park frontages, at local road intersections and at neighbourhood gateways.

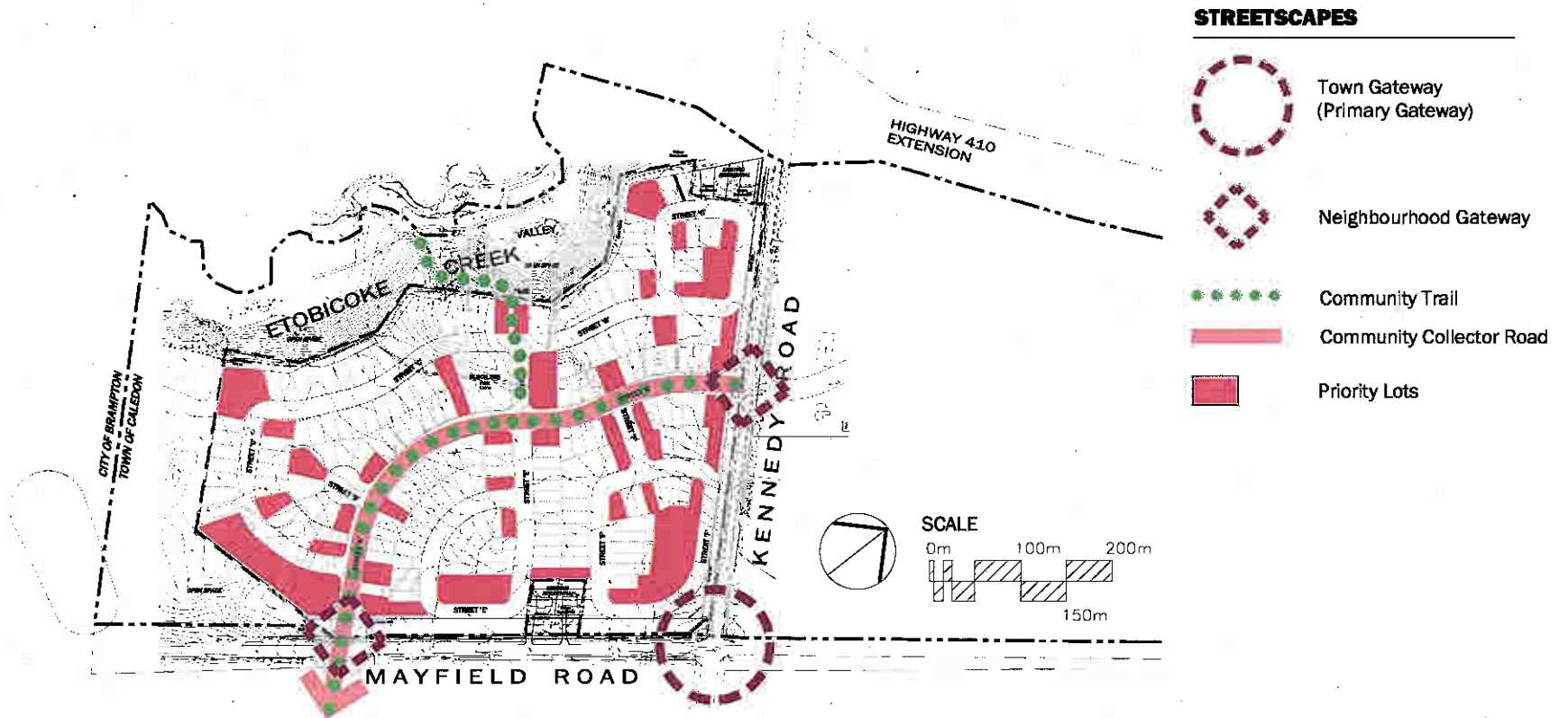


Figure 5.0a - Streetscape Plan - (Also refer to Schedule 'A')

5.1.2 NEIGHBOURHOOD GATEWAYS

Neighbourhood Gateways shall be located where the Community Collector Road meets Kennedy Road and Mayfield Road.

Guidelines:

- Within the adjacent residential lots, the siting and design of houses shall reinforce the Gateway location.
- Adjacent residential lots shall be developed as Priority Lots and include attractive elevations facing the corner or intersection. Additionally, upgraded architectural elements shall be incorporated to enhance the visual appeal of these locations.
- Entrance Features will be located within a 3.0m wide block of land conveyed to the Town and located behind the daylighting triangle. These features will be designed to act as visual landmarks and promote the character of the neighbourhood.
- Entrance Features shall be designed to the satisfaction of the Town and will be coordinated with the siting of the adjacent house and related fencing.
- Entrance Features may include a varied combination of walls, columns, ornamental fencing, planting, signage and lighting, to the satisfaction of and at the discretion of the Town. The Entrance Features will have a low maintenance design and the developer will be responsible for all design and construction costs, to the satisfaction of the Town.

5.1.3 COMMUNITY MARKERS

Community Markers will be located at the intersections of the minor collector road with local roads. The addition of these markers will reinforce community identity, enhance the appearance of the streetscape and provide visual landmarks to assist in wayfinding.

Guidelines:

- Community markers may consist of a combination of planting, architectural feature(s) and decorative paving.
- Community markers may be different for each intersection but shall retain some coordinating element as a unifying element of the community.

5.1.4 DECORATIVE LIGHTS

Decorative Lights shall be located along the entire roadway and shall be installed to Town standard.

Guidelines:

- Their placement shall be coordinated with street tree placement to minimize conflict.
- Their design should incorporate elements and motifs that reinforce the character of the community.



Figure 5.1.4a - Example of decorative street light

5.2 LOCAL ROADS

Streetscape design for the Local Roads should promote an attractive, pedestrian-scaled environment and active street life.

Guidelines:

- Streetscape design shall include a consistent and coordinated arrangement of street trees, lighting and street furniture.
- Utilities shall be located and arranged to minimize any adverse visual impact on the community and conflicts with houses, such as the visually overwhelming clustering of several utility boxes in any one location.
- The location of community mailboxes shall be coordinated within the streetscape to enhance accessibility while providing an attractive presence within the.
- Community mailboxes shall be located in the street right-of-way; their locations to be determined by Canada Post.
- Where community mailboxes are located at window streets along Mayfield Road, they will be integrated with landscape elements, planting, and street lighting to minimize their visual intrusion and maximize their utility.
- Cul-de-sacs shall be developed to Town standards and may include formalized landscaping and enhancements such as a landscaped centre median, a community marker, accent planting and decorative paving.
- Sidewalks shall be provided by the developer and designed to Town standards.



Figure 5.2b - Local road street zone

5.3 UTILITIES

Consideration shall be given to the location of utilities within the public rights of way as well as on private property.

Guidelines:

- Utilities shall be clustered or grouped where possible to minimize their visual impact on the street. (See comment regarding clustering of 'boxes' above)
- Utilities shall be placed in such a manner so as to not visually detract from the streetscape.
- Utility providers are encouraged to consider innovative methods of containing utility services on or within streetscape features such as Gateways, street lights and transit shelters, where feasible.

6.0 COMMUNITY GATEWAYS and EDGES

The edges and entry points of a community play an important role in communicating the image and character of the community. They are also important in establishing its identity both as a distinct community and as part of the Town of Caledon. The Mayfield Road edge has the further function as an interface with the City of Brampton and should be designed to convey the transition from the more urban character of the City of Brampton to the more rural character of the Town of Caledon (Refer to Section 6.2.1).

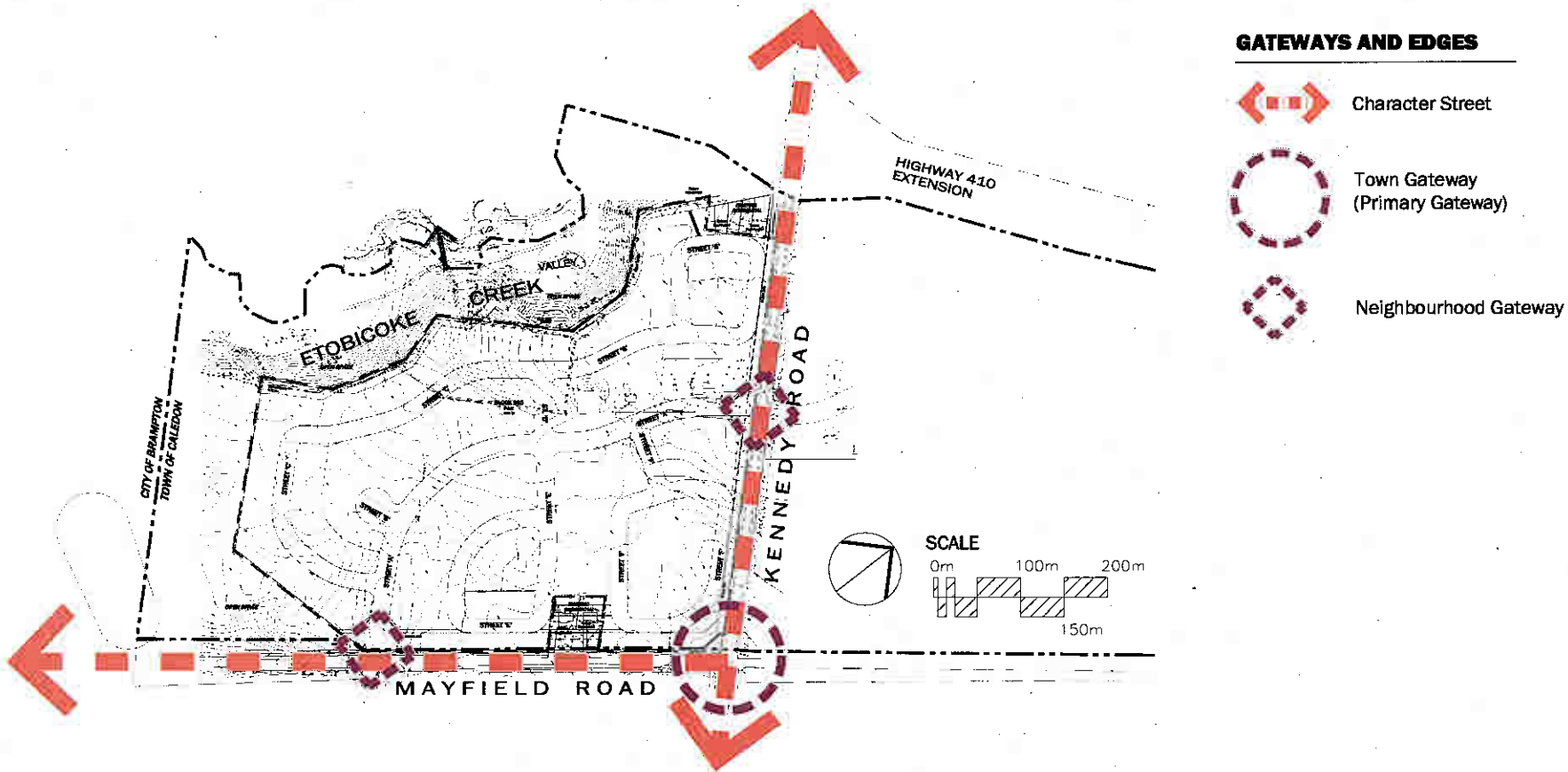


Figure 6.0a - Gateways and Edges Plan

6.1 TOWN GATEWAY

The intersection of Mayfield Road and Kennedy Road has been identified as a significant entrance to the Town of Caledon. As a Town Gateway, this location will serve an important role in promoting the image and identity of the Town of Caledon, enhancing the sense of arrival and assisting wayfinding. In order to achieve these objectives both landscaping and architecture should be coordinated to create a strong visual landmark in this location. The following guidelines will apply:

Guidelines:

- Built form in adjacent private lands shall be developed with attractive elevations facing the intersection.
- Utilities shall be coordinated and/or located to minimize any adverse visual impact on this Gateway location.
- Entrance Features will be provided and located in a minimum 6.0m wide separate, Town-owned block.
- Entrance Features may be a combination of walls, columns, piers, natural stone, wood structures, signage and lighting. Its scale should be proportionate to its role within the community and relative to other Gateways in the vicinity.
- Town of Caledon motifs and elements shall be incorporated.
- The materials, colours and forms used in the design of the Entrance Features shall be consistent with other community design elements and the character of the area.
- Plant species shall be selected for their ornamental qualities as well as their compatibility with the local palette of plants.
- Entrance Features will be designed to the satisfaction of the Town of Caledon.
- The developer will be responsible for their design and construction.

6.2 CHARACTER STREETS

Mayfield Road and Kennedy Road have been identified on the Community Design Plan as Character Streets. Their design should establish both the identity of the Snell's Hollow community as well as the identity of the Town of Caledon as a distinct community. These roads also provide the opportunity to connect Snell's Hollow to the rest of the Mayfield Community both physically and conceptually.

6.2.1 MAYFIELD ROAD (Arterial Road)

Mayfield Road forms part of the southern boundary of the Town of Caledon and its border with the City of Brampton. The following design elements are recommended. Their implementation will be coordinated with the Mayfield West Community Development Plan and the Region of Peel widening of Mayfield Road.

Recommendations:

- The streetscape will be developed as a rural character street in keeping with the Town of Caledon's rural heritage character.
- This will be achieved through a combination of the following design elements:
 - Creating a widened meandering sidewalk accommodating a combined walkway /bicycle trail,
 - The use of decorative paving (coloured, textured, materials) to distinguish this trail,
 - Planting groves of deciduous tree along the trail,
 - Planting groupings of native shrub and ornamental grasses along the trail.

Within the Fernbrook Subdivision, two conditions along Mayfield Road occur. These are:

- Residential / Window Streets & Side Yards
- An Environmental Policy Area



Figure 6.2.1a - Rural character street with meandering walkway / trail

The following guidelines will apply:

Residential Areas

- Window Streets
 - Low, decorative metal fence with pedestrian openings
 - Low, decorative stone piers
 - Native screen and ornamental planting / ornamental grasses
- Flankage Condition / Side Yards
 - Decorative privacy and acoustic fence
 - Decorative stone columns

Environmental Policy Areas

- A continuous and meandering band of native shrubs and grasses along the street line
- Low, stone wall at the northeast corner of the Town Gateway.

6.2.2 KENNEDY ROAD (Collector Road)

Kennedy Road bisects the community of Snell's Hollow. The Community Design Plan indicates that a pedestrian trail will be provided within the right-of-way to connect this community with the Etobicoke Creek Trail, existing Valleywood community to the northwest and the future Mayfield West community. This road will be developed as a primarily 'Green' street. The design and reconstruction of Kennedy Road in association with the extension of Highway 410 will include the incorporation of pedestrian linkages.



Figure 6.2.2a - Kennedy Road adjacent to natural areas

Guidelines:

Adjacent to the Environmental Policy Area

- A swath of native shrubs should be planted within the right-of-way adjacent to the street line.
- A pedestrian node will be provided in this area which will promote views and provide appropriate seating.
- Access to the existing trail within the Environmental Policy Area from the street shall be developed as a trail entrance. This will include signage, decorative paving and seating.

7.0 SITE PLANNING and BUILT FORM

The Westerly portion of the Snell's Hollow Community will be comprised of low density, detached residential development.

In addition to this document, detailed guidelines addressing the siting of built form and the design of buildings as they relate to the public street will be found in the Architectural Vision and Design Guidelines document prepared by John G. Williams Architect Limited.

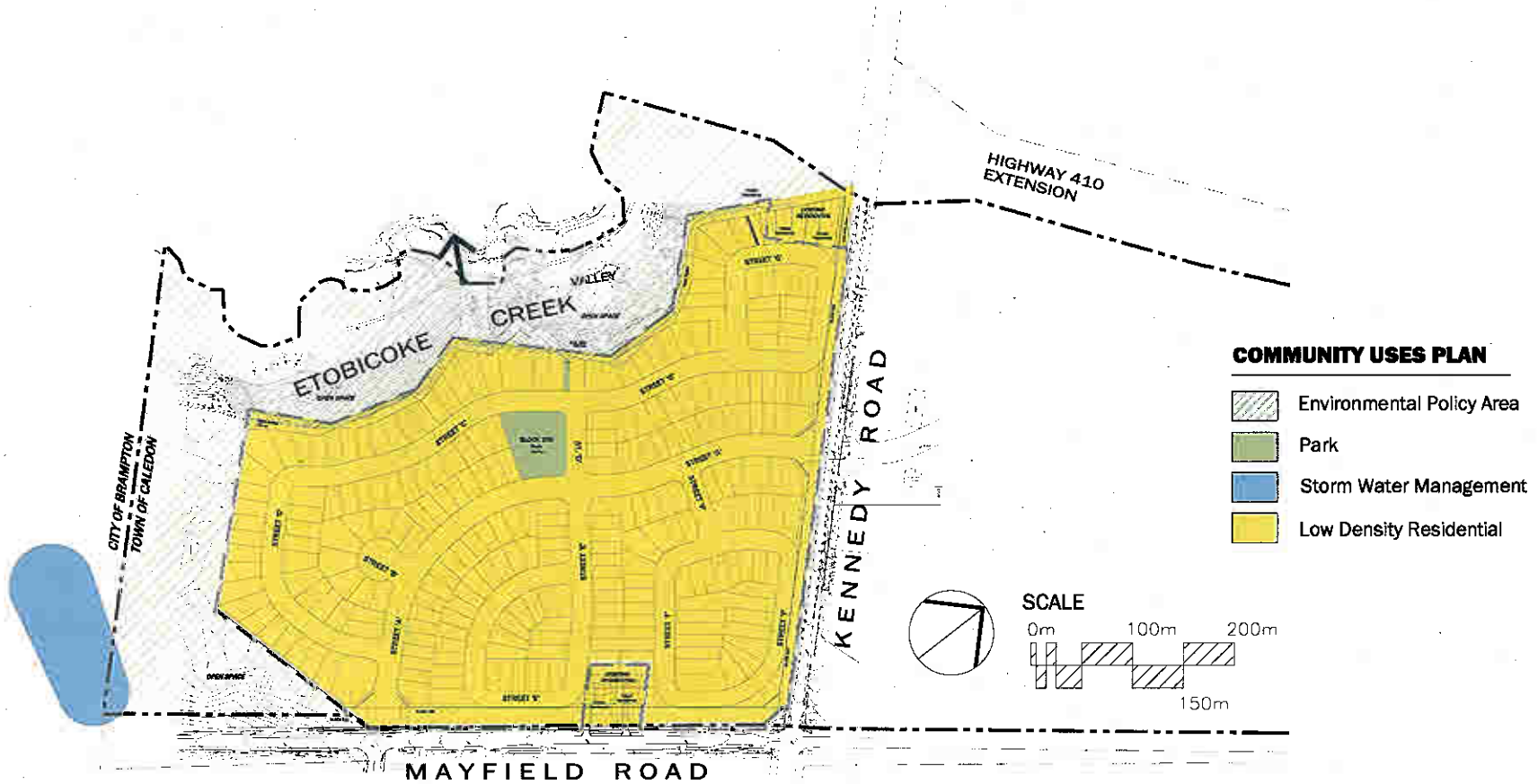


Figure 7.0a - Community Uses Plan (Based on the preliminary Land Use Plan prepared by Malone Given Parsons Ltd.)

7.1 LOW DENSITY RESIDENTIAL AREAS

In conjunction with the natural beauty of the surroundings, including the Environmental Policy Area, Caledon's natural landscape and predominance of green space provides the setting for the development of the residential community's rural character.

Guidelines:

- A variety of compatible and appropriate housing designs will be encouraged to support visually attractive streetscapes to enhance the character of the community.
- Houses shall be sited to enhance the pedestrian realm within the street.
- Houses shall be designed with attractive elevations facing the public street, parks or Gateway intersections.
- House designs shall be consistent with the rural character envisioned for the community.
- The visual impact of garages and driveways shall be minimized along the streets through a combination of setbacks, massing and enhanced designs for garages.

7.1.1 PRIORITY LOTS (Focal Lots)

Priority Lots are those which are in visually prominent locations. These have been identified on the Streetscape Plan (See Fig. 5.0a). They include:

- Gateway lots
- Corner lots
- Lots with rear and side elevations visible from Mayfield Road and Kennedy Road
- Window Street lots
- Lots facing, backing or flanking open space
- View terminus lots

Guidelines:

- Priority Lots shall be subject to careful siting and design considerations with the objective of providing an attractive presence within the streetscape.
- Priority Lots shall receive upgraded features and enhanced architectural elements. For a detailed description refer to the Architectural Design Vision and Design Guidelines document, prepared by John G. Williams Limited Architect.
- The visual impact of garages and driveways will be minimized along the streets through a combination of setbacks, massing and enhanced designs for garages.
- A landscaped edge shall be provided along the street line that defines the transition from public to private realms and that enhances the rural character along the street.
- The landscaped edge may include decorative stone piers, low decorative wood fences and ornamental plantings.

7.1.2 MAYFIELD ROAD and KENNEDY ROAD

Guidelines:

- Residential lots that back onto or flank Mayfield Road and Kennedy Road shall have upgraded rear and/or side elevations.
- Lots adjacent to the Town Gateway and Neighbourhood Gateway locations will be developed as Priority Lots, and include upgraded rear or side elevations and architectural features that enhance the visual appeal of these Gateway locations.
- Lots fronting onto Mayfield Road and Kennedy Road, along Window Streets, shall have upgraded front elevations.
- Fencing along rear lot lines shall be decorative and coordinated with the Entrance Feature at this location.

8.0 IMPLEMENTATION

8.1 COMPLIANCE

In addition to the provisions of the Secondary Plan, the Zoning By-law, the Conditions of Draft Approval, the Subdivision Agreement and all other applicable agreements and legislation, the developer is required to comply with these Community Design Guidelines and the Town's Development Standards, Policies and Guidelines throughout the design, marketing and construction process.

Approvals by the Control Landscape Architect do not release the developer from complying with the requirements of the Town of Caledon Project Engineer or any other approval authority.

These Guidelines and their interpretation by the Control Landscape Architect are intended to provide sufficient flexibility to encourage design creativity and innovation. Open space design solutions which do not strictly adhere to the performance standards prescribed in these Guidelines may, at the sole discretion of the Town, be considered based on their merits, provided that the spirit and intent of the Guidelines objectives is maintained.

8.2 DESIGN APPROVAL PROCESS

i) Control Landscape Architect

The design review process by the Control Landscape Architect will be conducted expeditiously and fairly. It shall generally comprise the following steps:

- Review and approval of community design plans

Submissions for urban design control review shall be made to:

The Control Landscape Architect selected by the Town.

ii) Preliminary Review

A Preliminary Community Design Plan shall be submitted to the Control Landscape Architect and accompanied by documentation (sketches, reports, drawings) which demonstrate the plan's ability to achieve the community design objectives outlined in this document. The submission shall describe:

- the structuring elements of the plan
- the hierarchy of land uses and circulation
- the preservation of significant natural features, views and vistas
- the distribution of key community focal features within the plan
- the overall intended character of the community

A copy of all key drawings / plans shall also be submitted to the Town's Planning and Development Department for information.

The Control Landscape Architect shall advise the developer / proponent promptly regarding any discrepancies and/or deficiencies in the submission and the required correction, and shall similarly advise the Town.

iii) Final Review and Approval

a) Design Plans

Community design plans are to be submitted to the Control Landscape Architect at a minimum scale of 1:500. The Open Space design plan shall be coordinated with the Lot plans submitted to the Control Architect and approved by the Town's Project Engineer. These plan(s) and accompanying drawings shall demonstrate a comprehensive and consistent treatment of all elements within the public realm and its intended character. The following information shall form part of the final submission:

- Primary and local street layout
- Land use layout and distribution
- Open space systems
- Primary streetscapes
- Community features such as gateways and lookouts

b) Working Drawings

Working drawings must depict exactly what the developer intends to construct. All landscape elements must be clearly shown on the drawings and include but is not limited to grading, surface treatment, planting, street trees, landscape structures, site furniture, lighting, signage and fencing.

c) Control Landscape Architect to stamp and sign final plans prior to submission to the Town.

d) Materials / Colours

Prior to final approval of the Community design plan, the developer must submit a summary /schedule of the site furniture and features to be used within the streetscape zone and public spaces. This will include descriptions of the materials, colours, styles of the following elements:

- Street lighting, pedestrian lighting
- Signage
- Entrance features
- Acoustic and privacy fencing
- Special paving at intersections and entrances to trails and open space
- Benches, trash receptacles, bollards, bicycle racks
- Pavilions / gazebos in parks
- Canada Post mailbox kiosks or housing

iv) Submission Requirements

The developer is required to submit to the Control Landscape Architect for final review and approval the following:

- 2 sets of community design plans
- 2 sets of working drawings
- 1 set of materials / colours schedule

Redline revisions made by the Control Landscape Architect to the aforementioned drawings must be incorporated on the original drawings by the builder's design consultant.

It is the builders' complete responsibility to ensure that all plans submitted for approval fully comply with these Guidelines and are implemented in accordance with all applicable approvals, regulations and requirements of the Town of Caledon.

8.3 TOWN OF CALEDON APPROVAL

All community design plans, working drawings and materials/colours schedules must be submitted for review and approval by the Control Landscape Architect prior to submission to the Town of Caledon for Building Permit approval.

8.4 MONITORING FOR COMPLIANCE

The Control Landscape Architect will conduct frequent drive-by site inspections to monitor development. Any visible deficiencies or deviations in construction from the approved plans and drawings will be reported in writing to the builder. The builder shall respond to the Control Landscape Architect in writing within 7 days of notification of their intention to rectify the problem after which the developer and the Town will be informed of the builder's response or lack of response. The developer and/or Town have the authority to take appropriate action to secure compliance.

The Control Landscape Architect, in association with the appropriate Town personnel, shall conduct a walk-through inspection of the site after streetscaping has been installed / constructed to ensure its compliance with these Guidelines. A further walk-through inspection shall be conducted in conjunction with the Town's representative prior to the expiry of all applicable warranty periods.

8.5 DISPUTE RESOLUTION

Where there is a dispute between the Control Landscape Architect and the developer or builder concerning the interpretation or application of these Guidelines or the failure to process plans expeditiously, then the following dispute resolution procedure shall apply:

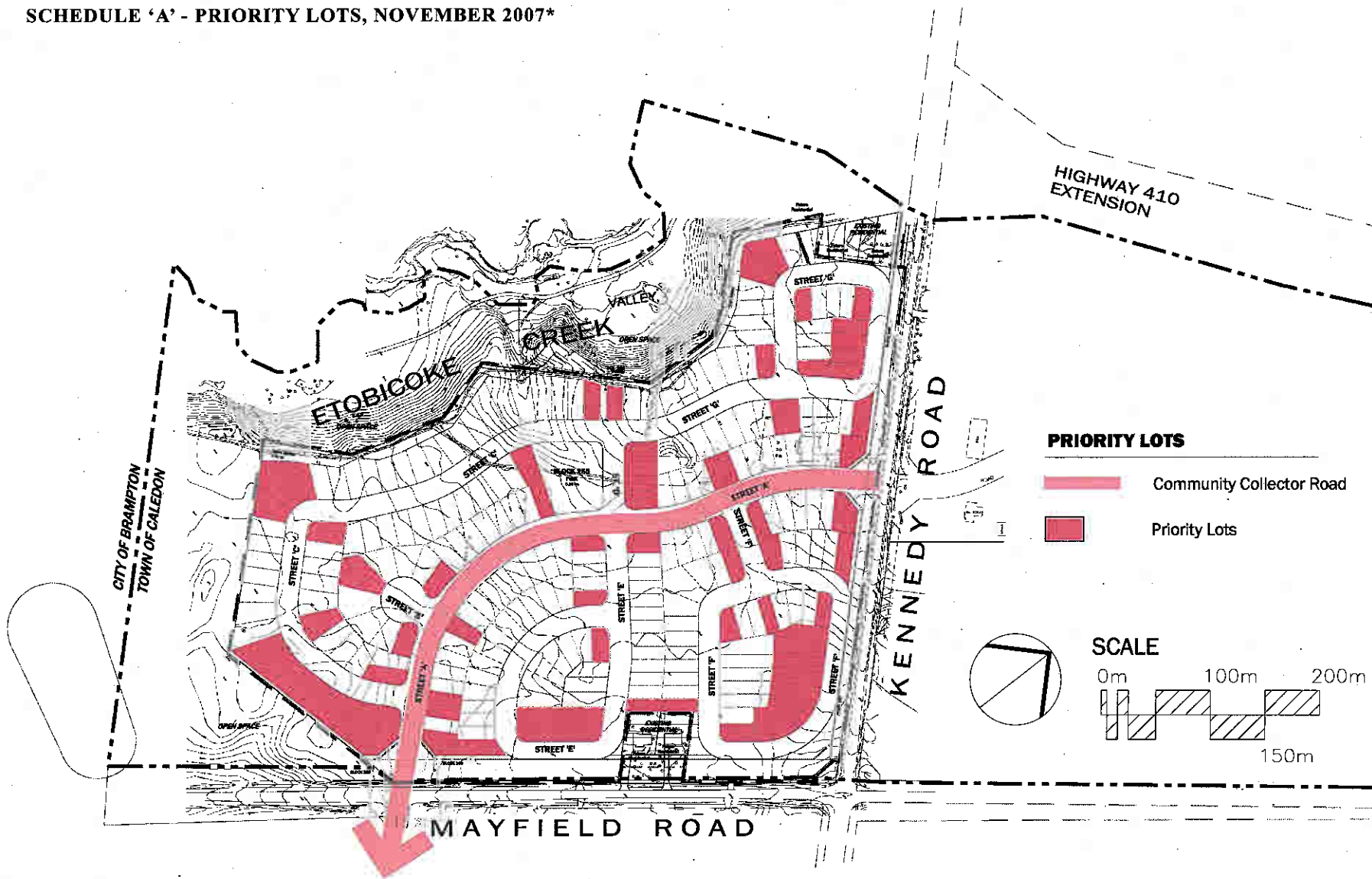
- The proponent shall promptly notify the Control Landscape Architect and the municipality of the specific reasons and basis for the dispute.
- The Control Landscape Architect shall promptly respond in writing to the municipality and the proponent.
- If the proponent is not satisfied with the Control Landscape Architect's response, they may request in writing for the municipality to intercede and state the Town's position on the matters in dispute.
- A decision on any continuing dispute shall rest solely with the Town.

9.0 CONCLUSION

The Community Design Guidelines are an important element in the design process, providing the master planning framework and specific design guidelines for the development of Snell's Hollow as an attractive and pedestrian-friendly community.

The Guidelines contained in this document are meant to complement the existing development review and approvals process. The evaluation criteria used to assess ensuing draft plans of subdivision should be based on these Guidelines as well as the Town of Caledon Development Standards, Policies and Guidelines and by-laws.

SCHEDULE 'A' - PRIORITY LOTS, NOVEMBER 2007*



*Subject to Draft Plan revisions